



Corcoran City Council Agenda
March 28, 2024
7:00 pm

REVISED

HYBRID MEETING OPTION AVAILABLE

The public is invited to attend the regular Council meetings at City Hall.

Meeting Via Telephone/Other Electronic Means

Call-in Instructions:

+1 312 626 6799 US

Enter Meeting ID: 845 8754 1654

Video Link and Instructions:

<https://us02web.zoom.us/j/84587541654>

visit <http://www.zoom.us> and enter

Meeting ID: 845 8754 1654

**Please note in-person comments will be taken at the scheduled meeting where noted.*

Comments received via email to City Clerk Friedrich at mfriedrich@corcoranmn.gov or via public comment cards will also be accepted. All email and public comment cards must be received by the Wednesday prior to scheduled Council meeting.

For more information on options to provide public comment visit:

www.corcoranmn.gov

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
 - a. Recognize Clyde Bechtold – Retirement 33 Years*
 - b. Review 4M Fund Investments – Corey Boyer from 4M*
 - c. Organics Recycling
 - i. **Updated:** Kira Berglund from Hennepin County*
 - ii. **Added:** Alison Cameron from MPCA*
 - iii. Matt Herman from Republic
7. **Consent Agenda**
 - a. **Updated:** March 14, 2024 DRAFT Regular Council Minutes
 - b. Financial Claims March 28, 2024*
 - c. NW Trails Resolution 2024-29 of Support DNR Trails Funding*
 - d. Larkin Road Improvements – Accept Plans/Specs; Authorize Bids*
 - e. Water Tower – Pay Request 11*
 - f. **Updated:** Cropland Bid Results*
 - g. Hennepin County Signal Agreement – County Road 116 and Hackamore Road*
 - h. **Removed:** April 13, 2023 DRAFT Work Session Minutes*
 - i. **Removed:** April 13, 2023 DRAFT Regular Council Minutes*
 - j. Bellwether 8th Easement Correction*
 - k. **Updated:** Tavera 6th FP and FPUD (City file 23-032)*
 - l. Resolution 2024-23 Honoring Clyde Bechtold Retirement*
8. **Planning Business – Public Comment Opportunity**
 - a. **Removed:** Khacholing Center CHOL IUP (City file 23-029)*
 - b. Woodland Hills CPA, RZ, PP and VAR (City file 23-033)*
 - c. Public Hearing: Tavera 4th Easement Vacation (City file 24-004)*
 - d. Public Hearing: Tavera 6th Easement Vacation (City file 23-032)*
 - e. Corcoran Industrial NE Concept Plan (City file 24-010)*
 - f. Revise Commercial/Industrial Zoning Districts – Three Phases (City file 23-023)*
9. **Unfinished Business - Public Comment Opportunity**
 - a. Watertower Logo*
10. **New Business**
11. **Staff Reports**
 - a. Planning Project Update Report*
12. **Council Reports**



Corcoran City Council Agenda
March 28, 2024
7:00 pm

13. Updated: 2024 City Council Schedule*

14. Closed Session

a. Closed Session 1: Real Estate Property

1. **Removed:** Stieg Road Improvements
2. **Removed:** City Center
3. **Added:** Consider offers for the purchase or sale of real or personal property

b. Closed Session 2:

1. Discuss Development Offers or Counteroffers for the purchase or sale of real or personal property

15. Adjournment

***Includes Materials -** *Materials relating to these agenda items can be found in the Council Chambers Agenda*

Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at www.corcoranmn.gov.



Corcoran City Council Agenda
March 28, 2024
7:00 pm

HYBRID MEETING OPTION AVAILABLE
The public is invited to attend the regular Council meetings at City Hall.

Meeting Via Telephone/Other Electronic Means

Call-in Instructions:

+1 312 626 6799 US

Enter Meeting ID: 845 8754 1654

Video Link and Instructions:

<https://us02web.zoom.us/j/84587541654>

visit <http://www.zoom.us> and enter

Meeting ID: 845 8754 1654

**Please note in-person comments will be taken at the scheduled meeting where noted.*

Comments received via email to City Clerk Friedrich at mfriedrich@corcoranmn.gov or via public comment cards will also be accepted. All email and public comment cards must be received by the Wednesday prior to scheduled Council meeting.

For more information on options to provide public comment visit:

www.corcoranmn.gov

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Commission Representatives***
5. **Open Forum – Public Comment Opportunity**
6. **Presentations/Recognitions**
 - a. Recognize Clyde Bechtold – Retirement 33 Years*
 - b. Review 4M Fund Investments – Corey Boyer from 4M*
 - c. Organcis Recycling
 - i. Matt Herman from Republic*
 - ii. Kira Berglund from Hennepin County*
7. **Consent Agenda**
 - a. March 14, 2024 DRAFT Regular Council Minutes*
 - b. Financial Claims March 28, 2024*
 - c. NW Trails Resolution 2024-29 of Support DNR Trails Funding*
 - d. Larkin Road Improvements – Accept Plans/Specs; Authorize Bids*
 - e. Water Tower – Pay Request 11*
 - f. Cropland Bid Results*
 - g. Hennepin County Signal Agreement – County Road 116 and Hackamore Road*
 - h. April 13, 2023 DRAFT Work Session Minutes*
 - i. April 13, 2023 DRAFT Regular Council Minutes*
 - j. Bellwether 8th Easement Correction*
 - k. Tavera 6th FP and FPUD (City file 23-032)*
 - l. Resolution 2024-22 Honoring Clyde Bechtold Retirement*
8. **Planning Business – Public Comment Opportunity**
 - a. Khacholing Center CHOL IUP (City file 23-029)*
 - b. Woodland Hills CPA, RZ, PP and VAR (City file 23-033)*
 - c. Public Hearing: Tavera 4th Easement Vacation (City file 24-004)*
 - d. Public Hearing: Tavera 6th Easement Vacation (City file 23-032)*
 - e. Corcoran Industrial NE Concept Plan (City file 24-010)*
 - f. Revise Commercial/Industrial Zoning Districts – Three Phases (City file 23-023)*
9. **Unfinished Business**
 - a. Watertower Logo*
10. **New Business**
11. **Staff Reports**
 - a. Planning Project Update Report*
12. **Council Reports**



Corcoran City Council Agenda
March 28, 2024
7:00 pm

13. 2024 City Council Schedule*

14. Closed Session

- a. Closed Session 1: Real Estate Property
 - 1. Stieg Road Improvements
 - 2. City Center
- b. Closed Session 2:
 - 1. Discuss Development Offers or Counteroffers for the purchase or sale of real or personal property

15. Adjournment

**Includes Materials - Materials relating to these agenda items can be found in the Council Chambers Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at www.corcoranmn.gov.*

STAFF REPORT

Agenda Item: 4.

Council Meeting March 28, 2024	Prepared By Michelle Friedrich
Topic Commission Representatives	Action Required Informational

Summary

The advisory commission representatives for the March 28, 2024, Council meeting are as follows:

- Planning Commission: Peter Hargreaves
- Parks and Trails Commission: Gary Erzberger

Financial/Budget

N/A

Council Action

N/A

Attachments

N/A

STAFF REPORT

Agenda Item: 6a.

Council Meeting: March 28, 2024	Prepared By: Jay Tobin
Topic: Resolution 2024-23 Honoring Clyde Bechtold Upon Retirement	Action Required: Approval

Summary

Clyde Bechtold has faithfully served the City of Corcoran for over 33 years in the Public Works Department. Staff would like to pause and take a moment to honor Mr. Bechtold and express gratitude and respect for his personal and professional investment in the Corcoran community. Mr. Bechtold is presented with a “33-years” bar award for his employee recognition tenure plaque, and the City Council is asked to approve Resolution 2024-23 Honoring Clyde Bechtold Upon His Retirement with the City of Corcoran and recognizing his tenure and faithful service.

Financial/Budget

N/A

Options:

1. Approve Resolution 2024-23 Honoring Clyde Bechtold Upon His Retirement with the City of Corcoran and recognizing his tenure and faithful service.

Recommendation

Approve Resolution 2024-23 Honoring Clyde Bechtold Upon His Retirement with the City of Corcoran and recognizing his tenure and faithful service.

Council Action

Consider a motion to approve Resolution 2024-23 Honoring Clyde Bechtold Upon His Retirement with the City of Corcoran and recognizing his tenure and faithful service.

Attachments

1. Resolution 2024-23 Honoring Clyde Bechtold Upon His Retirement with the City of Corcoran (Item 7I., under Consent Agenda)

STAFF REPORT

Agenda Item: 6b.

Council Meeting: March 28, 2024	Prepared By: Jay Tobin
Topic: 4M Investment Funds Presentation	Action Required: Information for Future Decisions

Summary

Mr. Corey Boyer, PMA's Vice President of Investment Services, will provide a presentation to enhance understanding of operating reserves and potential investment opportunities for city funds managed by PMA as the contracted administrators and investment advisors of the 4M Fund (Minnesota Municipal Money Market). The goal of reviewing this information is to identify potential opportunities to enhance city income on resources held in the 4M Fund while maintaining sufficient liquidity to respond to emerging financial demands.

Financial/Budget

Leveraging appropriate investment opportunities enhances city income.

Options

1. Ask questions of the presenter for understanding and clarification.
2. Direct staff to bring back potential investment alternatives at a future meeting.

Recommendation

Enhance understanding of operating reserves and potential investment opportunities for city funds managed by PMA to provide staff guidance on preferred courses of action.

Council Action

Consider information presented and provide staff guidance in how to prepare for future investment decisions.

Attachments

1. 4M Investments Presentation



PMA[®]

League of Minnesota Cities

4M Fund (Minnesota Municipal Money Market)

4M Fund

MINNESOTA MUNICIPAL MONEY MARKET FUND



CITY OF CORCORAN

Corey Boyer

Vice President, Investment Services
PMA Financial Network, LLC

March 28, 2024



PMA in Minnesota - Overview

Serving the Public Sector for 40 years

- PMA Financial Network has been a leading provider of financial services to public entities since 1984

The PMA Companies
(under common ownership)

- PMA Financial Network
- PMA Asset Management (SEC registered investment advisor)
- PMA Securities (Registered broker-dealer and municipal advisor member (FINRA and SIPC))



- PMA serves as the Administrator and Investment Advisor to the 4M Fund



4M Fund Overview

4M Fund
MINNESOTA MUNICIPAL MONEY MARKET FUND



League of MN Cities (LMC) started Cash/Investment Management program in 1987 under MN Statute, “Joint Powers Act” – *LMC Board governs the Fund*

LMC hired PMA as 4M Fund Administrator and Investment Advisor to perform:

- Daily activity processing for Participants
- Fund reporting – confirmations/statements
- Portfolio Investment Management Services

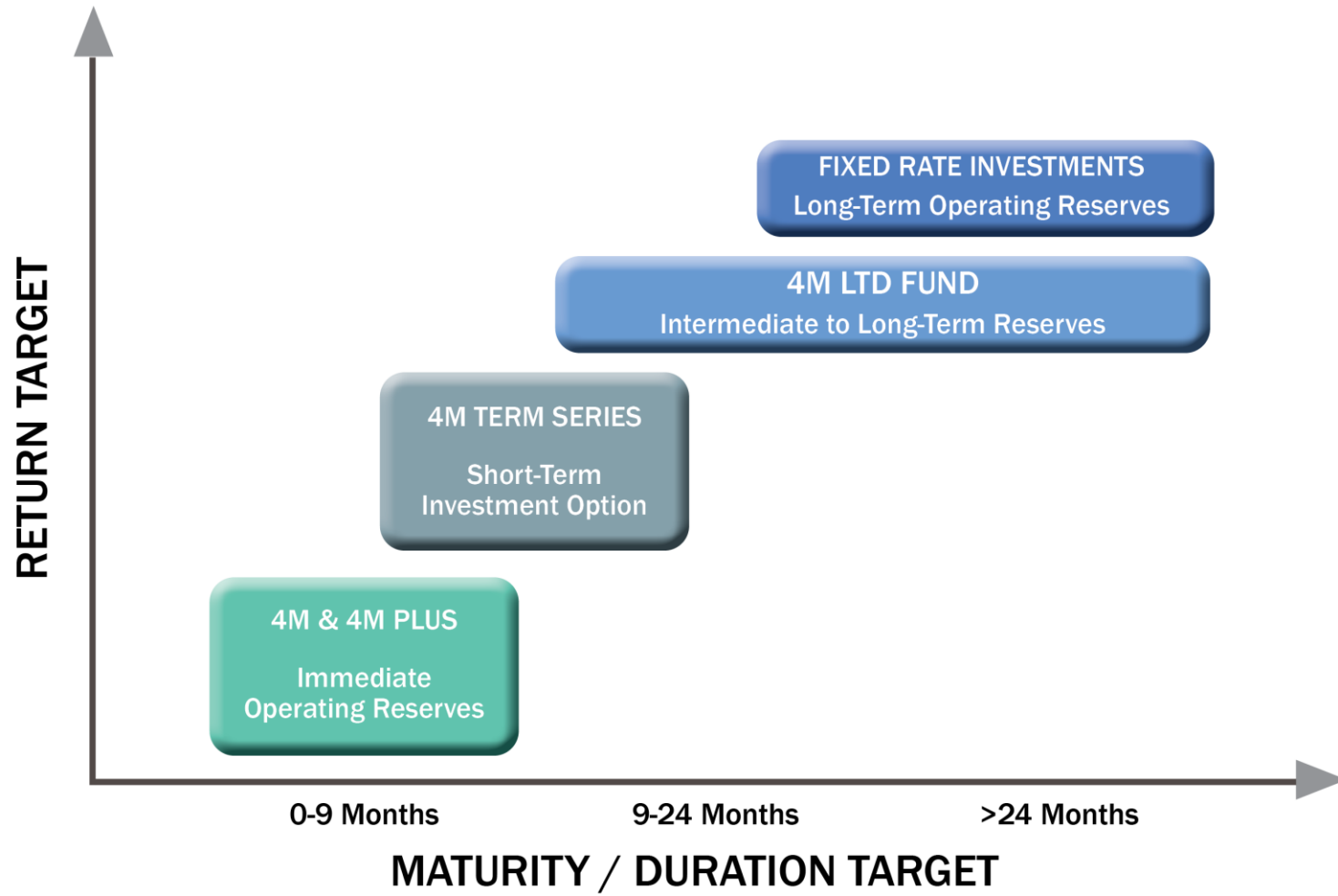
4M Fund Money Markets - AAAM-rated by S&P Global Ratings

Over 400 municipal entities participate in the 4M Fund

Directly linked to the City’s local bank account for ease of use



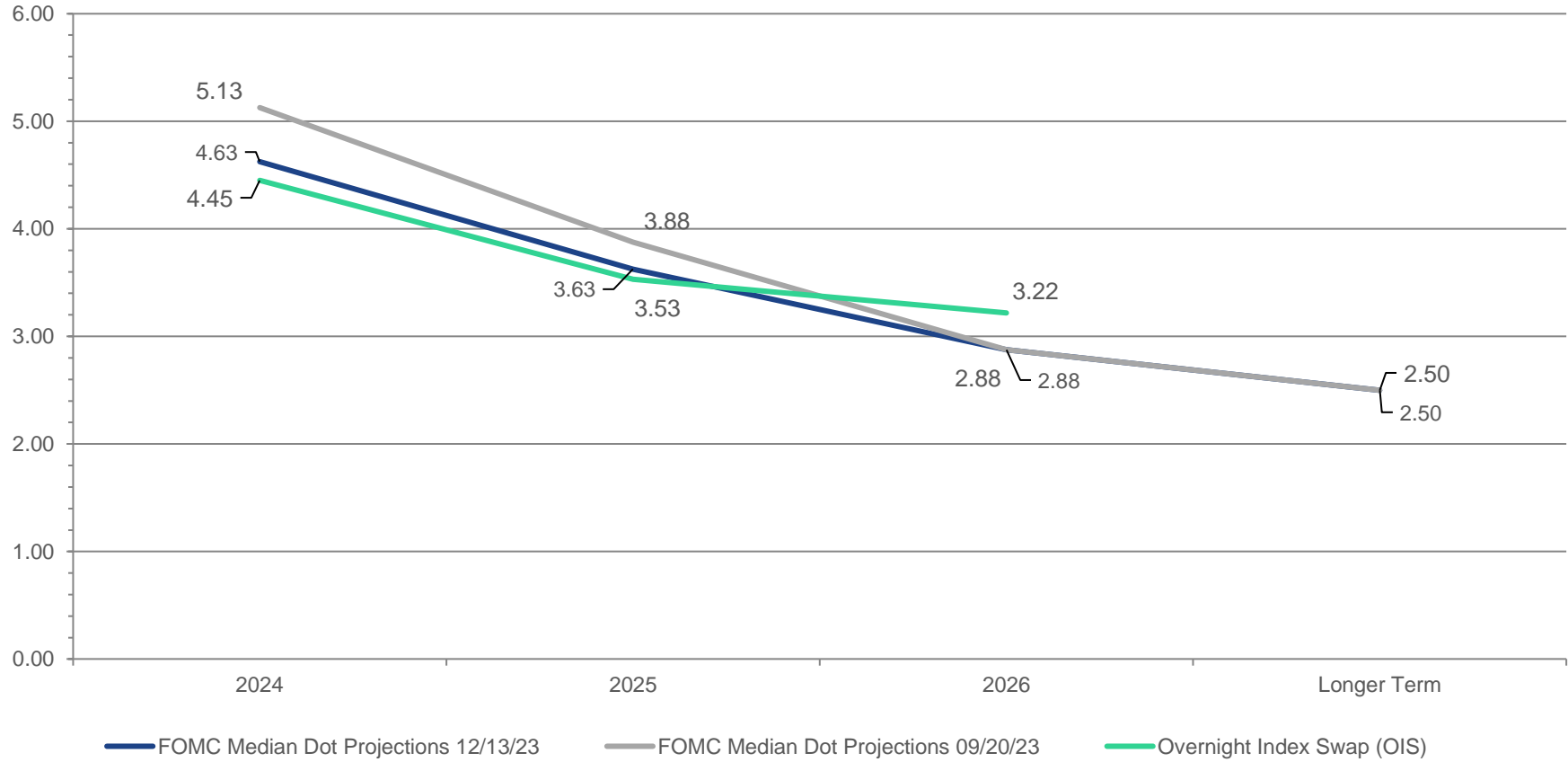
Investment Solutions for Operating Reserves:





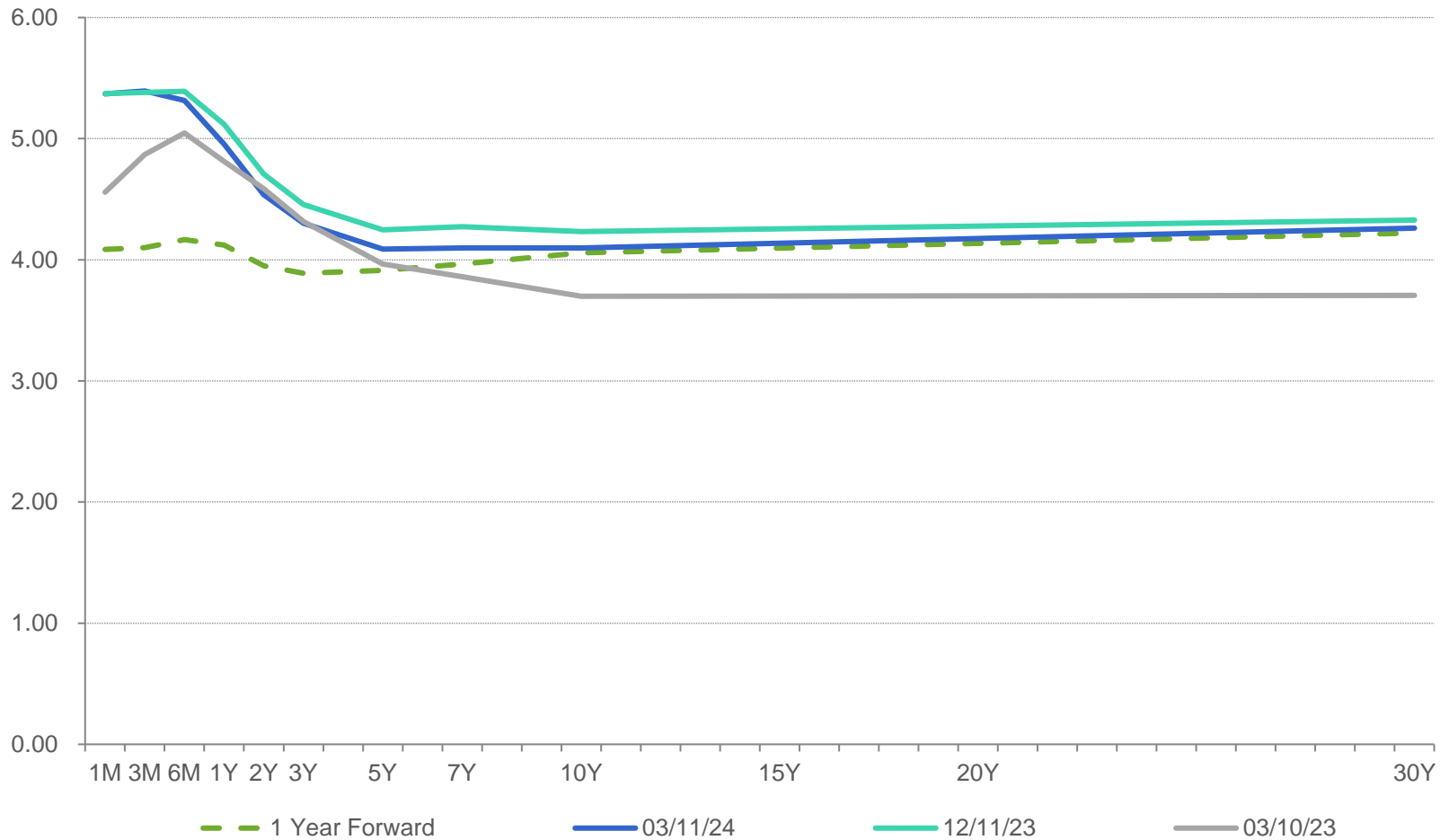
Rate Cuts and Higher for Longer

Fed and Market Rate Expectations





U.S. Treasury Yields



Source: Bloomberg

City of Corcoran – 4M Fund General Account



Audit Portfolio Report

Report as of 03/19/2024

PMA Financial Network
 2135 CityGate Lane
 7th Floor
 Naperville, IL 60563
 Phone: 630-657-6400
 Fax: 630-718-8701

City of Corcoran (35457-101 - General Account)

Under 6 months

Type	Holding ID	Settle Date	Maturity	FDIC #	Instrument	Par-Val/Mat. Val	Cost	Accrued Interest / Coupon Date	Market Val	Code	Rate
4M		03/19/2024			4M Fund Balance	\$5,532,849.19	\$5,532,849.19		\$5,532,849.19		
4MP		03/19/2024			4MP Fund Balance	\$2,186,890.36	\$2,186,890.36		\$2,186,890.36		
CD	CD-1350348-1	06/26/2023	03/25/2024	5744	State Bank of the Lakes, National Association	\$249,867.74	\$240,600.00	\$9,064.05	\$240,600.00	N	5.150
CD	CD-1350350-1	06/26/2023	03/25/2024	34717	Town Bank, National Association	\$249,867.74	\$240,600.00	\$9,064.05	\$240,600.00	N	5.150
CD	CD-1350351-1	06/26/2023	06/25/2024	29209	NexBank	\$249,868.44	\$237,550.00	\$9,011.02	\$237,550.00	N	5.186

6 months - 1 year

CD	CD-1350349-1	06/26/2023	12/24/2024	5496	Cornerstone Bank	\$249,671.80	\$231,800.00	\$8,723.53	\$231,800.00	N	5.112
Sub Totals --						\$8,719,015.27	\$8,670,289.55	\$35,862.65	\$8,670,289.55		
Totals --						\$8,719,015.27	\$8,670,289.55	\$35,862.65	\$8,670,289.55		



Investment Options

- ▶ Continue to build out fixed rate investment ladder.
 - ▶ Bank CD's
 - ▶ US Treasury/Agency bonds
 - ▶ High credit-quality municipal bonds
 - ▶ MN State Statute 118A compliant investments
- ▶ Limited Term Duration Fund
 - ▶ Shift dollars into a Fund with a longer-term focus to take advantage of current market conditions
- ▶ Goal of *enhancing income* while maintaining *sufficient liquidity*



Disclaimer

Securities, public finance services and institutional brokerage services are offered through PMA Securities, LLC. PMA Securities, LLC is a broker-dealer and municipal advisor registered with the SEC and MSRB, and is a member of FINRA and SIPC. PMA Asset Management, LLC, an SEC registered investment adviser, provides investment advisory services to local government investment pools. All other products and services are provided by PMA Financial Network, LLC. PMA Financial Network, LLC, PMA Securities, LLC and PMA Asset Management, LLC (collectively “PMA”) are under common ownership.

Securities and public finance services offered through PMA Securities, LLC are available in CA, CO, FL, IL, IN, IA, MI, MN, MO, NE, OH, OK, PA, SD, TX and WI. This document is not an offer of services available in any state other than those listed above, has been prepared for informational and educational purposes and does not constitute a solicitation to purchase or sell securities, which may be done only after client suitability is reviewed and determined. All investments mentioned herein may have varying levels of risk, and may not be suitable for every investor. PMA and its employees do not offer tax or legal advice. Individuals and organizations should consult with their own tax and/or legal advisors before making any tax or legal related investment decisions. Additional information is available upon request.

For more information visit www.pmanetwork.com

©2021 PMA Financial Network, LLC

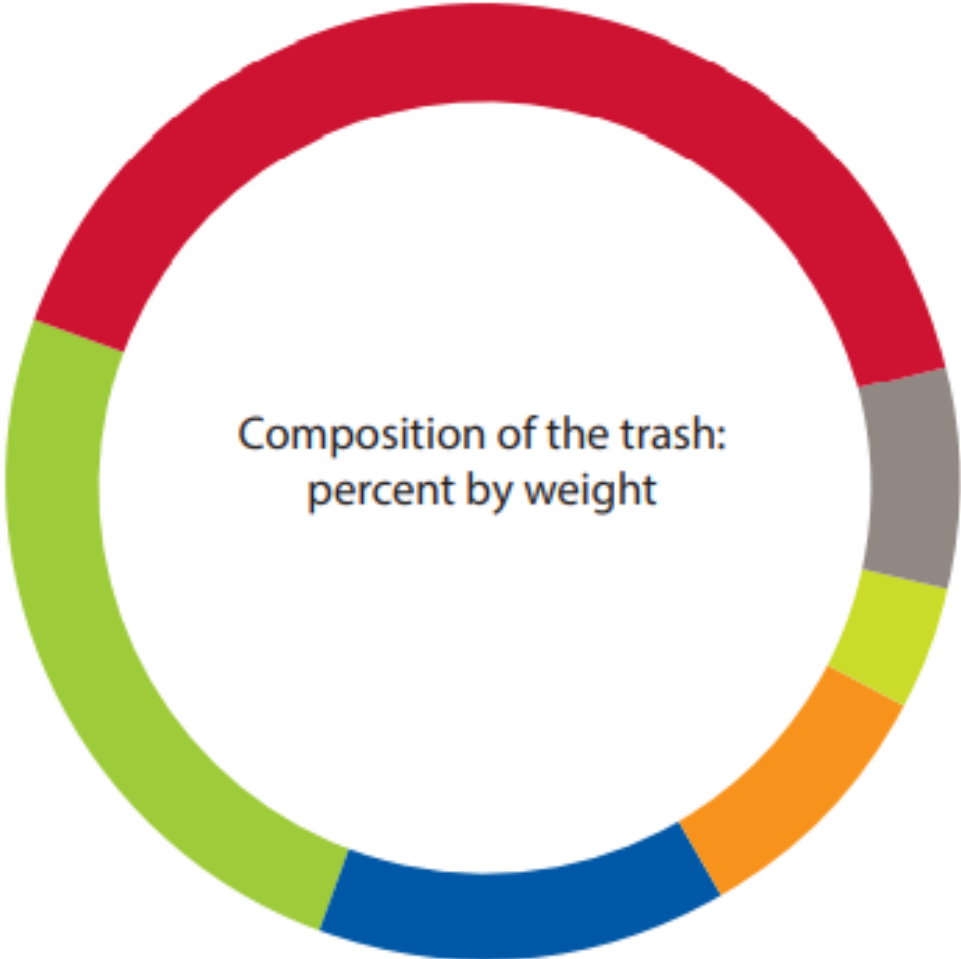


Composting and organics in Corcoran

Kira Berglund, Environment & Energy



What's in our trash?



- Trash 40.8%
- Organics 24.9%
- Recyclables 13.8%
- Construction and demolition 8.9%
- Yard waste 4.2%
- Other 7.4%:
 - Textiles 3.1%
 - Scrap metal, electronics, mattress 3.1%
 - Recyclable plastic bags and film 0.9%
 - Household hazardous waste 0.3%



Diversion as of 2022





Residential organics requirement: Ordinance 13

- County board voted on requirement for cities to offer organics in November 2018
- Cities had until January 1, 2022 to comply

Ordinance 13

- Cities with over 10,000 residents need to:
 - Provide a city-wide organics collection program OR
 - Require haulers to offer organics service
- Cities with under 10,000 residents:
 - Can choose one of the options above, or offer an organics drop-off



Residential options for organics

Curbside pickup



Drop-offs



Curbside organics



- City-wide programs
- Hauler requirement



Backyard composting vs. organics recycling

Backyard composting is the break down of organic materials (food, plants, etc) to become a nutrient rich soil additive



Organics recycling involves collecting food waste and sending it to a large-scale compost site





State Statute

- Minnesota State Statute 115A.93:
 - A licensing authority shall prohibit mixed municipal solid waste collectors from imposing a greater charge on residents who recycle than on residents who do not recycle.
- This statute also applies to organics since they are listed under the definition of recyclables in Sec. 115A.03



Metropolitan Solid Waste Management Policy Plan

- MN Pollution Control Agency released plan in early 2024
- Hennepin County is developing its 2025-2031 waste management plan this year



January 2024

Metropolitan Solid Waste Management Policy Plan 2022-2042

A 20-year policy plan for solid waste management that sets goals and policy for the metropolitan solid waste system.

Kira Berglund

Kira.berglund@hennepin.us, 612-596-1498





Curbside Organics Statutory Requirements

Alison Cameron | Senior Planner

March 28, 2024

Minn. Stat. 115A.551 RECYCLING

75%

Minn. Stat. 115A.552

OPPORTUNITY TO RECYCLE

1. Recycling Center
2. Curbside Pickup
3. Monthly Pickup

Minn. Stat. §115A.93, Subd. 3(c)

A licensing authority shall prohibit mixed municipal solid waste collectors from imposing a greater charge on residents who recycle than on residents who do not recycle

Why should everyone pay?

Clean water, air and land support healthy communities and ecosystems, and a strong economy in Minnesota.

“An ounce of prevention is worth a pound of cure.”

– *Benjamin Franklin*

Thank you!

Alison Cameron

Alison.cameron@state.mn.us

STAFF REPORT

Agenda Item: 7a.

Council Meeting March 28, 2024	Prepared By Michelle Friedrich
Topic Draft Regular Council Minutes – March 14, 2024	Action Required Informational

Summary

The draft Council Regular Minutes for March 14, 2024, will be emailed on Tuesday, March 26, with hard copy provided to Council the evening of the March 28 meeting.

Attachments (Hard copies will be provided March 28, 2024)

1. 2024-03-14 Draft Regular Council Minutes



**City of Corcoran
City Council Minutes
March 14, 2024 – 7:00 pm**

The Corcoran City Council met on March 14, 2024, in Corcoran, Minnesota. The City Council meeting was held in person and the public was present in person and remotely through electronic means using the audio and video conferencing platform Zoom.

Mayor McKee, Councilor Bottema, Councilor Nichols, Councilor Schultz, and Councilor Vehrenkamp were present.

City Administrator Tobin, City Clerk Friedrich, Planner Davis McKeown, Public Works Director Mattson, Director of Public Safety Gottschalk were present.

1. Call to Order/Roll Call

Mayor McKee called the meeting to order at 7:00 pm.

2. Pledge of Allegiance

Mayor McKee invited all in attendance to rise and join in the Pledge of Allegiance.

3. Agenda Approval

City Administrator Tobin noted attachment updates to Consent Agenda items 7h, 7k, and 7l; added reports to Staff Reports items 11a, and 11b; attachment updates to Council Report item 13b, and the addition of 13d SF 3964/SF3980/HF4009, and 13e 1370 Omnibus Bill.

Council requested all Council Report items be moved ahead of item 11a1 and 11a2 Closed Session items. City Administrator Tobin noted moving Closed Session item 11a to item 14, and moving up Staff Reports, Council Reports, and 2024 City Council Schedule to item 11, 12, and 13, respectively.

MOTION: made by Nichols, seconded by Schultz to approve the agenda as modified.

Voting Aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols.

(Motion carried 5:0)

4. Commission Representatives

Mayor McKee noted Planning Commissioner Brummond and Parks and Trails Commissioner Anderson were present.

5. Open Forum (Public Comment Opportunity)

Mayor McKee invited residents to communicate in-person during Open Forum for items not included on the agenda. City Administrator Tobin explained the instructions to participate in the public comment opportunity.

Jon Bottema, 10500 Trail Haven Road, opined on the Minneapolis City Council action contributing to the exit of Uber and Lyft from the Twin City's metro area.

6. Presentations/Recognitions

a. Hennepin County Commissioner Anderson Presentation

Council noted traffic is an issue and noted displeasure of future planned round-about on County Road 117 and County Road 19. Council noted the City does not have any oversight with County Roads, but the City is being asked to assist with funding a County Road intersection. Council noted a traffic control of some sort is needed at the intersection but questioned a round-about at the intersection. Council referenced the Hennepin County request for support on the County Road 116 stretch of road, and noted the City is working with Three River District on other trails in the same vicinity. Council noted the number of vehicles commuting or traveling through Corcoran's roads. Commissioner Anderson noted round-about intersection of County Road 117 and County Road 19 and pre-planning for major reconstruction or reconfiguration and is not a standard intersection. Commissioner Anderson noted planning over the next 20-30 years will be a part of the discussion. Commissioner Anderson noted bikes and peds trails and resurfacing. Council expressed desire for a 4-way stop. Commissioner Anderson noted determining where increases in traffic are occurring. Council noted traffic is moving from Wright County into Corcoran. Commissioner Anderson referenced green space with bikes and peds and safety and revisiting traffic studies and staying in front of trends.

Council thanked Commissioner Anderson for the presentation and for visiting the Council. Council noted crime is not prosecuted by Hennepin County Attorney, noted the light rail system cost of \$4 billion dollars to traffic the same amount of people that travel through Corcoran each day. Council noted another light rail that was approved in Hennepin County. Council asked Commissioner Anderson to support the City of Corcoran in the City's transportation needs. Commissioner Anderson noted progress in having the voices of western Hennepin heard at the County Board. Commissioner Anderson noted voting against the light rail for \$100 million, that is not located within our community. Commission Anderson mentioned the many programs approximately 800 residents in Corcoran participate in through Hennepin County. Council noted organics recycling is a large topic in Corcoran. Council noted a library branch in Corcoran for future planning in a capital improvement plan in the next 10-15 years. Commissioner Anderson noted collaboration with the community and noted the map of libraries does not extend in this area and would advocate for a library in the area.

7. Consent Agenda

- a. February 22, 2024 DRAFT Regular Council Minutes
- b. March 23, 2023 DRAFT Regular Council Minutes
- c. Financial Claims March 14, 2024
- d. PNP Results
- e. 7200 Willow Drive Construction Agreement
- f. Kvam CUP (City file 24-009)
- g. City Center Drive and 79th Place – Mass Grading and Stormwater Improvements – Pay Request 5
- h. **Updated:** Water Treatment Plant – Pay Request 10
- i. Water Treatment Plant – Change Order 2
- j. City Hall - Utility Service Connections (ARPA Eligible)
- k. **Updated:** February 29, 2024 DRAFT Special Meeting Council Minutes
- l. **Update:** Amendment to 2024 Fee Schedule

Council requested items 7e be pulled for discussion.

MOTION: made by Nichols, seconded by Bottema to approve consent agenda items 7a-d and 7f-l as presented.

Voting Aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries: 5:0)

Regarding 7e, Council questioned dual residence on the property. Construction Services Supervisor Pritchard clarified the agreement is a solid agreement and noted a \$10,000 escrow in the case of the applicant not following the agreement, and confirmed the Certificate of Occupancy would not be issued until original residence has been confirmed destroyed by West Suburban Fire.

MOTION: made by Schultz, seconded by Vehrenkamp to approve consent agenda item 7e as presented.

Voting Aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries: 5:0)

8. Planning Business (Public Comment Opportunity)

- a. Public Hearing: Interim Ordinance Discussion

Mayor McKee opened the Public Hearing.

Mayor noted continuation of Public Hearing after presentation by Planner David McKeown prior to the Public Hearing.

Planner Davis McKeown reviewed the interim ordinance and noted concerns regarding perceived ambiguity and development rights within the City Code have historically been interpreted with the rural commercial and transitional rural commercial districts. Planner Davis McKeown noted a potential desire to move away from historical precedent raises questions on how underlying district standards and development intensity interplay with and without development rights in these districts. Planner Davis McKeown directed staff to prioritize reviewing development rights and the district standards of the two districts within the 2024 work plan and part of an ongoing study of commercial industrial district standards already underway. Planner Davis McKeown noted the moratorium would allow staff to review standards and address concerns within the rural commercial and transitional rural commercial districts.

Mayor McKee continued the Public Hearing.

Scott Dahlke, civil engineer, on behalf of Craig Scherber, opined on the rural commercial interim ordinance, and would like to appeal exclusion of Mr. Scherber's property from the interim ordinance and noted an

application is currently in process. Mr. Dahlke asked for confirmation that the letter from Mr. Sherber's attorney regarding exclusion from the interim ordinance was received by Council and will be placed in the public record. Mr. Dahlke reviewed the application non-compliance over the past two years with additional plans submitted in the last two weeks. Mr. Dahlke noted applicant has been working with staff for compliance of application and inquired why the interim ordinance was being implemented now.

MOTION: made by McKee, seconded by Nichols, to close the Public Hearing.

City Administrator Tobin responded to Mr. Dahlke's question regarding the unclear ordinance regarding rural commercial zoning and why the interim ordinance is being completed now. City Administrator Tobin noted the applicants concerns regarding the clarity of the rural commercial and transitional rural commercial ordinance is the reason for the interim ordinance so staff can better assess and address applicant concerns.

Voting Aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries 5:0)

Council noted moratorium does not slow the work of staff but ensures other applications cannot be processed while staff is reviewing concerns of ordinance. City Administrator Tobin noted it ensures that future applicants cannot come in with another application and allows staff to resolve the current application and move the project forward in the most expeditious process. Council asked if the current application was complete. Planner Davis McKeown noted the application was incomplete as the infrastructure feasibility study is not complete, but added it is anticipated to be complete by the beginning of April, which would make the application complete. Planner Davis McKeown noted at that time the interim moratorium would be in place and staff would work with the city attorney to determine application processing. City Administrator Tobin noted staff is addressing the concern of applicant and noted the moratorium is the process for the city to follow and complete. Council and staff discussed reviewing the ordinance update regarding rural commercial in the second quarter and including on the agenda for the April 4 Planning Commission Meeting. City Administrator Tobin noted the intent is to bring feedback to Council by end of second quarter. Craig Scherber, opined on the application completeness and noted dissatisfaction on the interim moratorium.

Council and staff reviewed dates of when the first application was received. Planner Davis McKeown noted the process was explained regarding a concept plan, with an application letter noting what was omitted on December 8, 2022. Planner Davis McKeown noted the applicant resubmitted in October 2023, with another incomplete submission. Planner Davis McKeown reviewed the applicant requested a 30-day stay which the city granted, with a resubmission on January 24, which was incomplete. Planner Davis McKeown noted a recent application was resubmitted March 13, 2024, with everything complete except for the feasibility study. Planner Davis McKeown noted presenting a phased work plan for Council review at the March 28 meeting, obtaining Planning Commission feedback on April 4, for Council review on April 25, and a first draft available at a June Public Hearing. Planner Davis McKeown noted allowing time in July as well in case there are implications of any changes. Council noted a moratorium is standard when staff is reviewing and studying a process.

Scott Dahlke, civil engineer for applicant, noted the Industrial Park at Pioneer Trail requested exemption for a moratorium and requested extending the same to Mr. Scherber's application from this moratorium.

Planner Davis noted the specific project example by Mr. Dahlke had already received preliminary approvals and why it was exempted; it was not a request, it had to be exempted by State law.

MOTION: made by Nichols, seconded by Schultz, adopting Ordinance 2024-515 An Interim Ordinance of the City Of Corcoran, Minnesota Prohibiting Approval of Subdivision And Development Applications Within Lands Zoned and/or Guided Rural Commercial or Transitional Rural Commercial or Those Lands Proposed To Be Guided or Zoned Rural Commercial, with a friendly amendment made by Nichols, seconded by Schultz to amend Ordinance 2024-515 to not exclude the application as requested by the applicant, Craig Scherber, from the interim moratorium.

Voting aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries: 5:0)

MOTION: made by Nichols, seconded by Schultz, adopting Ordinance 2024-516 An Interim Ordinance of the City of Corcoran, Minnesota Prohibiting Approval of New Plats, Site Plans, and Other Land Use Applications in the Rural Commercial and Transitional Rural Commercial Districts.

Council and staff reviewed with the current pace of development the moratorium will allow staff time to

review the current request to review by the applicant. Council noted applicant position and is sympathetic to the work the applicant has completed.

Voting aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion Carries: 5:0)

9. Unfinished Business

10. New Business (Public Comment Opportunity)

Mayor McKee invited residents to communicate in-person during the public comment opportunity for New Business items. City Administrator Tobin explained the instructions to participate in the public comment opportunity.

a. Stanchion Bar Music and Event Request for July 12 and 13, 2024

Kristy Monnens, Stanchion business owner, presented to Council the Stanchion event on July 12 and 13, and requested an extension to 1:00 am for band play time. Ms. Monnens reviewed the specific items and parameters of event and the reason for the 1:00 am band play time extension. City Clerk Friedrich added the applicant does have a license to remain open until 2:00 am. Director of Public Safety Gottschalk noted there have not been any complaints regarding past events at The Stanchion.

MOTION: made by Vehrenkamp, seconded by Nichols approving the Stanchion Bar Music and Event Request for July 12 and 13, 2024.

Voting aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries: 5:0)

11. Staff Reports (Moved from Item 12)

a. Updated: Cropland Bid Update

City Clerk Friedrich reviewed the timeline for the RFP Cropland Bid and noted March 27, at 1:00 pm was the deadline for all bids to be accepted. City Clerk Friedrich added once bidding was complete, if Option 1 is not a viable option which was what Council directed staff to proceed with through Hennepin County, staff would bring maintenance cost options back to Council for either spraying or mowing the cropland parcels for weed control.

b. Updated: Timeline for Staff/Granicus Project Status

City Clerk Friedrich presented a summary of Council approval for Granicus Peak software, which is an agenda building software to assist staff with building Council and commission packets. City Clerk Friedrich noted specific staff have been training, to assist with training staff on the new software application. City Clerk Friedrich noted an introduction rollout to staff on the new software at the beginning of April, with tentative dates for implementation and trail runs possibly the last Council meeting in April. City Clerk Friedrich mentioned some of the benefits of the new software to streamline minutes, notetaking, and viewing of agenda packets. City Administrator Tobin added Granicus would allow Council and commission to go paperless with packets and move to distribution of electronic packets.

12. Council Reports (Moved from Item 13)

a. SF 3303/HF 3168

b. Updated: SF 3080/HF2235

c. SF 3964/HF 4009

d. Added: SF 3964/SF 3980/HF 4009

Mayor McKee noted drafting a Council opposition via a resolution regarding a middle housing bill which would allow significant changes to density, housing types allowed, elimination of single-family housing, eliminates local control and requirements, design standards, would cut down setbacks, and reduce lot sizes, and mandate density increases. Mayor McKee specifically noted SF 1370. Mayor McKee noted drafting a resolution opposing SF 1370, at the March 28 meeting or as soon as possible, indicating the City of Corcoran remains in favor of local authority.

MOTION: made by Bottema, seconded by Vehrenkamp to authorize Mayor McKee and City Administrator Tobin to create a resolution opposing legislation.

Voting aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols
(Motion carries 5:0)

13. 2024 City Council Schedule (Moved from Item 14)

City Administrator Tobin noted necessity of work sessions for the City Park Planning with Parks and Trails Commission and a separate work session for Planning Commission. Mayor McKee called a joint work session on April 25 with the Parks and Trails Commission, and on May 23 with the Planning Commission.

14. Closed Session (Moved from Item 11)

- a. Real Estate Property
 - 1. Stieg Road Improvements
 - 2. City Center

Mayor McKee stated:

“City Council is going into closed to consider an offer for real estate. Under the authority of Minnesota Stat. § 13D.05 subd. 3(c)(3) the City is permitted to close a meeting to consider offers and counteroffers for the purchase or sale of real or personal property. The city council is going into closed session to consider an offer for real estate; the following property is the subject of the closed meeting: PID 01-119-23-32-0006 and PID 24-119-23-33-0001 .”

Mayor McKee recessed the Council meeting at 8:43 pm.

Mayor McKee reconvened the Council meeting at 9:18 pm.

Mayor McKee stated:

“In the closed session, the City Council discussed an offer for real estate staff and personal property; staff was provided direction.”

15. Adjournment

MOTION: made by Nichols, seconded by Schultz to adjourn.

Voting Aye: McKee, Schultz, Bottema, Vehrenkamp, and Nichols.

(Motion carries 5:0)

Meeting adjourned at 9:20 pm on March 14, 2024.

Michelle Friedrich – City Clerk

FINANCIAL CLAIMS

CHECK RANGE

FUND #500 ESCROW CLAIMS

Paid to	Amount	Project name
SEE THE REGISTER FOR #500 CLAIMS		

Total	\$0.00	
Total Fund #500 =		\$ -
(See attached Payments Detail)		

ALL OTHER FINANCIAL CLAIMS

Check Register		\$560,656.77
(See attached Check Detail Registers)		
Total Checks		\$560,656.77
Total of Auto Deductions		\$ 125,810.21
 TOTAL EXPENDITURES FOR APPROVAL		\$ 686,466.98

Auto Deductions / Electronic Fund Transfer / Other Disbursements

Date	Paid to	Amount	Description
3/8/2024	INVOICE CLOUD	\$ 1,453.30	Credit Card Processing Fee
3/8/2024	Optum Bank	\$ 4,341.89	Employee HSA
3/8/2024	MN PERA	\$ 26,608.49	Employee Pension
3/11/2024	THE HARTFORD	\$ 1,649.80	Employee Disability Premium
3/11/2024	EMPOWER	\$ 5,517.65	Employee Deferred Comp/Healthcare Savings
3/14/2024	POSTALIA	\$ 800.00	Postage
3/15/2024	ADP PAYROLL FEES	\$ 328.12	Payroll Processing Fee
3/19/2024	MN DEPT OF REVEN	\$ 100.04	Fuel Tax
3/21/2024	ADP Tax	\$ 125,710.17	Net Payroll and Taxes
 Total		\$ 125,810.21	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35163							
100-41500-50207	03/12/24	ABDO LLP	HR DEVELOPMENT SERVICE TRAINING -	485465	03/28/24	2,250.00	35163
100-41500-50300	02/29/24	ABDO LLP	ABDO FINANCE MANAGER SUPPORT	484756	03/28/24	36,152.00	35163
Total For Check 35163						38,402.00	
Check 35164							
100-43100-50210	03/18/24	ACME TOOLS	MILWAUKEE CUTTER	12534911	03/28/24	73.94	35164
100-43100-50210	03/15/24	ACME TOOLS	ROTARY HAMMER	12527516	03/28/24	219.00	35164
100-43100-50210	03/15/24	ACME TOOLS	ROTATING CRADLE CAULK GUN	12528209	03/28/24	38.00	35164
411-43100-50210	03/18/24	ACME TOOLS	GRIP RITE REBAR SAFETY CAP	12536458	03/28/24	9.91	35164
Total For Check 35164						340.85	
Check 35165							
100-43100-50401	02/29/24	ADAMS PEST CONTROL, INC.	PW BUILDING PEST CONTROL	3859310	03/28/24	130.57	35165
Total For Check 35165						130.57	
Check 35166							
100-42100-50207	02/06/24	ALLIED MEDICAL TRAINING	EMT RECERTIFICATION - WILCOX	3503	03/28/24	325.00	35166
Total For Check 35166						325.00	
Check 35167							
100-41900-50200	03/16/24	AMAZON CAPITAL SERVICES	REFUND FOR PAINTERS TAPE	11NJ-NH41MFLQ	03/28/24	(13.47)	35167
100-42100-50210	03/12/24	AMAZON CAPITAL SERVICES	SMOKE ALARM BATTERIES	1RR6-HGYP-61WQ	03/28/24	186.29	35167
204-42100-50210	03/17/24	AMAZON CAPITAL SERVICES	FIREAREM SAFETY SUPPLIES	1636-WQ1N-VRDK	03/28/24	479.42	35167
204-42100-50210	03/18/24	AMAZON CAPITAL SERVICES	NAME BADGE PINS	13TL-PN6V-3F9W	03/28/24	13.39	35167
Total For Check 35167						665.63	
Check 35168							
100-41900-50212	03/05/24	BEAUDRY OIL COMPANY	UNLEADED FUEL	2584625	03/28/24	22.60	35168
100-42100-50212	03/05/24	BEAUDRY OIL COMPANY	UNLEADED FUEL	2584625	03/28/24	1,027.97	35168
100-43100-50212	03/05/24	BEAUDRY OIL COMPANY	UNLEADED FUEL	2584625	03/28/24	79.07	35168
100-43100-50212	03/05/24	BEAUDRY OIL COMPANY	ULS DYED FUEL	2584624	03/28/24	1,330.57	35168
Total For Check 35168						2,460.21	
Check 35169							
601-00000-22200	03/14/24	CARNOY, CHRISTIAN/CHARLYN	CLOSED UTILITY BILLING ACCOUNT REF	21850	03/28/24	10.00	35169
Total For Check 35169						10.00	
Check 35170							
411-43100-50210	03/11/24	CEMSTONE PRODUCTS COMPANY	CHAIR	7384477	03/28/24	122.20	35170
Total For Check 35170						122.20	
Check 35171							
100-41900-50381	02/29/24	CENTERPOINT ENERGY	GAS BILL FEBRUARY 2024	02292024	03/28/24	17.10	35171
100-43100-50381	02/29/24	CENTERPOINT ENERGY	GAS BILL FEBRUARY 2024	02292024	03/28/24	145.43	35171
Total For Check 35171						162.53	
Check 35172							
100-43100-50400	03/15/24	CINTAS - 470	SURFACE DISINFECTANT	5202329*063	03/28/24	7.15	35172
Total For Check 35172						7.15	
Check 35173							
100-41900-50400	03/06/24	CINTAS - 470	CITY HALL FLOOR MATS	4185589376	03/28/24	146.37	35173
100-43100-50400	03/06/24	CINTAS - 470	CRT CABINET/DISPOSABLE BATHROOM MA	4185589452	03/28/24	30.55	35173
100-43100-50400	03/06/24	CINTAS - 470	UNIFORM/BATHROOM MAT SERVICE	4185589434	03/28/24	6.60	35173
100-43100-50400	03/13/24	CINTAS - 470	SMALL SHOP TOWELS	4186309244	03/28/24	83.70	35173

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35173							
100-43100-50400	03/13/24	CINTAS - 470	DISPOSABLE BATHROOM MATS/UNIFORM	4186309275	03/28/24	30.09	35173
100-43100-50417	03/06/24	CINTAS - 470	UNIFORMS	4185589579	03/28/24	212.99	35173
100-43100-50417	03/06/24	CINTAS - 470	UNIFORM/BATHROOM MAT SERVICE	4185589434	03/28/24	35.27	35173
100-43100-50417	03/13/24	CINTAS - 470	UNIFORMS	56	03/28/24	212.99	35173
100-43100-50417	03/13/24	CINTAS - 470	DISPOSABLE BATHROOM MATS/UNIFORM	4186309275	03/28/24	35.27	35173
Total For Check 35173						793.83	
Check 35174							
100-00000-22205	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - KARINEMI MEA	12-2023	03/28/24	45.00	35174
100-00000-22205	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - BELLWETHER 2	12 2023	03/28/24	270.00	35174
100-00000-22205	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - BELLWETHER F	02-2024	03/28/24	270.00	35174
100-00000-22205	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - KARINEMI MEA	1.2024	03/28/24	135.00	35174
100-00000-22205	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - BELLWETHER J	202401	03/28/24	90.00	35174
100-00000-22205-008	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - BASS LAKE CR	2024-2	03/28/24	45.00	35174
100-00000-22205-013	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - BECHTOLD FAR	2024-02	03/28/24	90.00	35174
100-00000-22205-017	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - COOK LAKE HI	2023 12	03/28/24	270.00	35174
100-00000-22205-017	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - COOK LAKE HI	02.2024	03/28/24	45.00	35174
100-00000-22205-017	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - COOK LAKE HI	2024-1	03/28/24	180.00	35174
100-00000-22205-024	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - D&D DEC 2023	2023.12	03/28/24	45.00	35174
100-00000-22205-056	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - TAVERA JAN.	01.2024	03/28/24	90.00	35174
100-00000-22205-056	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - TAVERA DEC.	122023	03/28/24	180.00	35174
100-00000-22205-087	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - AMBERLY/BELL	02 2024	03/28/24	495.00	35174
100-00000-22205-087	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - AMBERLY/BELL	12024	03/28/24	540.00	35174
100-00000-22205-098	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - RUSH CREEK R	12.2023	03/28/24	180.00	35174
100-00000-22205-098	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - RUSH CREEK R	02224	03/28/24	45.00	35174
100-00000-22205-111	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - GARAGES TOO	2023-12	03/28/24	45.00	35174
100-00000-22205-130	03/19/24	CITY OF CORCORAN	STAFF ENGINEER TIME - RCR/ST THERE	202312	03/28/24	270.00	35174
Total For Check 35174						3,330.00	
Check 35175							
100-41900-50321	03/05/24	COMCAST - 0023202	CITY HALL/POLICE INTERNET	03052024	03/28/24	269.18	35175
100-42100-50321	03/05/24	COMCAST - 0023202	CITY HALL/POLICE INTERNET	03052024	03/28/24	269.17	35175
Total For Check 35175						538.35	
Check 35176							
100-43100-50321	03/05/24	COMCAST 0044893	PHONE SERVICES 03/10/24-04/09/2024	03052024	03/28/24	128.66	35176
Total For Check 35176						128.66	
Check 35177							
100-41920-50300	02/29/24	COMPUTER INTEGRATION TECH	SERVICE ENGINEER SUPPORT - ONSITE/	370324	03/28/24	4,835.00	35177
100-41920-50300	03/07/24	COMPUTER INTEGRATION TECH	MANAGED SERVICES MONTHLY BILLING F	370387	03/28/24	2,600.00	35177
100-41920-50300	03/15/24	COMPUTER INTEGRATION TECH	OFFICE 365 AGREEMENT FOR MARCH 202	370841	03/28/24	1,867.00	35177
100-41920-50300	03/15/24	COMPUTER INTEGRATION TECH	SIRIS 4 - P4000 BACKUP BILLING - A	370534	03/28/24	885.00	35177
100-41920-50300	03/15/24	COMPUTER INTEGRATION TECH	AGREEMENT MANAGED SERVICES APRIL 2	371329	03/28/24	3,816.00	35177
Total For Check 35177						14,003.00	
Check 35178							
601-00000-22200	03/14/24	CRAWFORD, PAM/ROD	CLOSED UTILITY BILLING ACCOUNT REF	19414	03/28/24	46.36	35178
Total For Check 35178						46.36	
Check 35179							
100-41900-50210	02/29/24	CULLIGAN BOTTLED WATER	OFFICE WATER	114X95919102	03/28/24	0.60	35179
Total For Check 35179						0.60	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35180							
601-00000-22200	03/14/24	D'SOUZA, RACHEL/DERRIC	CLOSED UTILITY BILLING ACCOUNT REF	6484	03/28/24	18.49	35180
			Total For Check 35180			18.49	
Check 35181							
100-41900-50350	02/22/24	ECM PUBLISHERS INC	MARCH 12 PUBLIC HEARING FOR WOODLA	986695	03/28/24	130.81	35181
100-41900-50350	02/22/24	ECM PUBLISHERS INC	MAR 12 PH FOR IUP-KHACHOLING CEN	986694	03/28/24	107.07	35181
100-41900-50350	03/07/24	ECM PUBLISHERS INC	CROPLAND BIDS NOTICE	988868	03/28/24	166.22	35181
100-41900-50350	03/07/24	ECM PUBLISHERS INC	ORDINANCE NO. 2024-514 NOTICE	988867	03/28/24	142.47	35181
			Total For Check 35181			546.57	
Check 35182							
411-43100-50303	03/18/24	FEHN COMPANIES	SELECT GRANULAR	18097	03/28/24	134.78	35182
			Total For Check 35182			134.78	
Check 35183							
100-00000-22205	03/18/24	GONYEA COMPANY	10585 CO RD 101 WCA ESCROW RELEASE	10585	03/28/24	470.00	35183
			Total For Check 35183			470.00	
Check 35184							
100-42100-50323	03/04/24	HENNEPIN COUNTY INFO TECH	RADIO FLEET FEE FEBRUARY 2024	1000223476	03/28/24	1,477.62	35184
100-43100-50323	03/04/24	HENNEPIN COUNTY INFO TECH	RADIO FLEET FEE 02/2024	1000223543	03/28/24	333.36	35184
			Total For Check 35184			1,810.98	
Check 35185							
100-41900-50210	03/12/24	HENNEPIN COUNTY TREASURER	TRUTH IN TAXATION NOTICES	03122024	03/28/24	2,055.16	35185
			Total For Check 35185			2,055.16	
Check 35186							
100-41900-50433	11/03/23	I-94 WEST CHAMBER	MEMBERSHIP RENEWAL	11179	03/28/24	350.00	35186
			Total For Check 35186			350.00	
Check 35187							
100-00000-22205	03/19/24	IAN DRUMMOND	COMMERCE STREET ESCROW RELEASE	03192024	03/28/24	944.00	35187
			Total For Check 35187			944.00	
Check 35188							
100-41320-50331	03/20/24	JASON TOBIN	MILEAGE REIMBURSEMENT	03202024	03/28/24	566.59	35188
			Total For Check 35188			566.59	
Check 35189							
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP22-0045 PLANNING SERVICES TIME	35325	03/28/24	40.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP22-0015 PLANNING SERVICES TIME	35327	03/28/24	40.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP22-0031 PLANNING SERVICES TIME	35328	03/28/24	26.25	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-00174 PLANNING SERVICES TIME	35329	03/28/24	240.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0041 PLANNING SERVICES TIME	35331	03/28/24	371.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0045 PLANNING SERVICES TIME	35332	03/28/24	73.75	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0046 PLANNING SERVICES TIME	35332-2	03/28/24	86.25	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0050 PLANNING SERVICES TIME	35333	03/28/24	280.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0053 PLANNING SERVICES TIME	35335	03/28/24	160.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0001 PLANNING SERVICES TIME	35336	03/28/24	160.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0006 PLANNING SERVICES TIME	35338	03/28/24	1,575.00	35189
100-00000-22205	03/18/24	LANDFORM PROFESSIONAL SERVIC	BP23-0014 PLANNING SERVICES TIME	35339	03/28/24	40.00	35189
100-00000-22205	03/11/24	LANDFORM PROFESSIONAL SERVIC	SOLAR IUP 16-032	35318	03/28/24	80.00	35189
100-00000-22205-013	03/12/24	LANDFORM PROFESSIONAL SERVIC	BECHTOLD FARMS FINAL PLAT CITY FIL	35326	03/28/24	40.00	35189
100-00000-22205-056	03/12/24	LANDFORM PROFESSIONAL SERVIC	TAVERA 6TH FPUD AND FP 23-033	35334	03/28/24	229.50	35189

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35189							
100-00000-22205-061	03/11/24	LANDFORM PROFESSIONAL SERVIC	RAVINIA 6TH ADDITION FINAL PUD AND	35317	03/28/24	40.00	35189
100-00000-22205-087	03/11/24	LANDFORM PROFESSIONAL SERVIC	ENCORE FINAL PUD & FP 18-027	35319	03/28/24	25.50	35189
100-00000-22205-087	03/11/24	LANDFORM PROFESSIONAL SERVIC	BELLWETHER 3RD FP (CITY FILE 19-01	35320	03/28/24	80.00	35189
100-00000-22205-087	03/11/24	LANDFORM PROFESSIONAL SERVIC	AMBERLEY & BELLWETHER 6TH FP & FPU	35321	03/28/24	25.50	35189
100-00000-22205-087	03/12/24	LANDFORM PROFESSIONAL SERVIC	BELLWETHER 8TH FP & FPUD CITY FILE	35322	03/28/24	145.50	35189
100-00000-22205-087	03/12/24	LANDFORM PROFESSIONAL SERVIC	AMBERLEY 2ND ADD FP AND FPUD 22-00	35323	03/28/24	91.75	35189
100-00000-22205-087	03/12/24	LANDFORM PROFESSIONAL SERVIC	BELLWETHER 9TH FP & FPUD CITY FILE	35324	03/28/24	52.50	35189
100-41910-50300	03/12/24	LANDFORM PROFESSIONAL SERVIC	CITY BUSINESS	35337	03/28/24	1,680.00	35189
100-41910-50300	03/12/24	LANDFORM PROFESSIONAL SERVIC	CITY BUSINESS	35340	03/28/24	1,120.00	35189
101-41910-50300	03/12/24	LANDFORM PROFESSIONAL SERVIC	COMMERCIAL INDUSTRIAL ORD UPDATES	35330	03/28/24	80.00	35189
						<u>6,782.50</u>	
Total For Check 35189							
Check 35190							
100-41900-50401	03/11/24	LOBERG ELECTRIC INC	RECONNECT PUMP AT CITY HALL LABOR	29869	03/28/24	312.50	35190
						<u>312.50</u>	
Total For Check 35190							
Check 35191							
100-41600-50300	03/08/24	MADDEN, GALANTER, HANSEN LLP	LABOR RELATION SERVICES FEBRUARY 2	03082024	03/28/24	2,075.33	35191
						<u>2,075.33</u>	
Total For Check 35191							
Check 35192							
100-42100-50207	03/13/24	MAGTECH AMMUNITION	AMMUNITION	22098	03/28/24	2,945.95	35192
						<u>2,945.95</u>	
Total For Check 35192							
Check 35193							
100-43100-50381	01/04/24	CITY OF MEDINA	SHARED SIGNAL LIGHTS	00008188	03/28/24	504.92	35193
						<u>504.92</u>	
Total For Check 35193							
Check 35194							
100-43100-50210	03/08/24	MENARDS BUFFALO	HAMMER SET/GARAGE DOOR LIFT HANDLE	3319	03/28/24	173.93	35194
						<u>173.93</u>	
Total For Check 35194							
Check 35195							
411-43100-50210	03/04/24	MENARDS MAPLE GROVE	HAMMER SET/TRANSPORT	29422	03/28/24	265.05	35195
411-43100-50210	03/05/24	MENARDS MAPLE GROVE	2X12 BETTER DOUGLAS FIR LUMBER	29461	03/28/24	14.18	35195
						<u>279.23</u>	
Total For Check 35195							
Check 35196							
100-42400-50300	02/16/24	METRO WEST INSPECTION SERVIC	FINALIZED PERMITS FEBRUARY 2024	4043	03/28/24	29,554.73	35196
						<u>29,554.73</u>	
Total For Check 35196							
Check 35197							
602-00000-20800	03/11/24	METROPOLITAN COUNCIL	FEBRUARY 2024 SAC CHARGES	02-2024	03/28/24	79,520.00	35197
						<u>79,520.00</u>	
Total For Check 35197							
Check 35198							
100-43100-50220	01/23/24	MILLER CHEVROLET	BOLT	182255	03/28/24	25.85	35198
						<u>25.85</u>	
Total For Check 35198							
Check 35199							
100-41400-50207	03/18/24	MN CHIEFS OF POLICE ASSOC	2024 ETI CONFERENCE	15650	03/28/24	325.00	35199
100-42100-50207	03/18/24	MN CHIEFS OF POLICE ASSOC	2024 ETI CONFERENCE	15650	03/28/24	120.00	35199
						<u>445.00</u>	
Total For Check 35199							
Check 35200							

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35200 100-42100-50207	02/29/24	MN OCCUPATIONAL HEALTH	REASONABLE SUSPICION TRAINING CLAS	453547	03/28/24	66.00	35200
			Total For Check 35200			<u>66.00</u>	
Check 35201 601-00000-22200	03/14/24	MOSHER, TYLER/AMANDA	CLOSED UTILITY BILLING ACCOUNT REF	7207	03/28/24	80.09	35201
			Total For Check 35201			<u>80.09</u>	
Check 35202 601-00000-22200	03/14/24	NARAYAN, PRAJAKTA	CLOSED UTILITY BILLING ACCOUNT REF	6672	03/28/24	3.06	35202
			Total For Check 35202			<u>3.06</u>	
Check 35203 100-00000-21710	03/18/24	NATALIE DAVIS MCKEOWN	DEPENDENT CARE REIMBURSEMENT	03182024	03/28/24	192.31	35203
			Total For Check 35203			<u>192.31</u>	
Check 35204 100-42100-50207 100-42100-50209	01/30/24 01/30/24	NORTH MEMORIAL NORTH MEMORIAL	EMR REFRESHER - BURNS/EMERSON EMR REFRESHER - BURNS/EMERSON	02292024 02292024	03/28/24 03/28/24	100.00 100.00	35204 35204
			Total For Check 35204			<u>200.00</u>	
Check 35205 100-43100-50223	02/29/24	NOVA FIRE PROTECTION INC	PUBLIC WORK BUILDING SERVICE WORK	58441	03/28/24	1,627.50	35205
			Total For Check 35205			<u>1,627.50</u>	
Check 35206 601-00000-16500 601-00000-20610	03/21/24 03/21/24	PHOENIX FABRICATORS & ERECTO PHOENIX FABRICATORS & ERECTO	CORCORAN WATER TOWER STORAGE TANK CORCORAN WATER TOWER STORAGE TANK	2277052074 PAY 2277052074 PAY	03/28/24 03/28/24	243,347.65 (12,167.38)	35206 35206
			Total For Check 35206			<u>231,180.27</u>	
Check 35207 601-00000-22200	03/14/24	PICKAR, SCOTT/PATRICIA	CLOSED UTILITY BILLING ACCOUNT REF	19389	03/28/24	77.09	35207
			Total For Check 35207			<u>77.09</u>	
Check 35208 100-41130-50350	03/11/24	POSTMASTER	SPRING/SUMMER NEWSLETTER POSTAGE	03112024	03/28/24	2,400.00	35208
			Total For Check 35208			<u>2,400.00</u>	
Check 35209 601-00000-22200 601-00000-22200 601-00000-22200 601-00000-22200 601-00000-22200 601-00000-22200 601-00000-22200 601-00000-22200	03/14/24 03/14/24 03/14/24 03/14/24 03/14/24 03/14/24 03/14/24 03/14/24	PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC PULTE HOMES OF MN, LLC	CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF CLOSED UTILITY BILLING ACCOUNT REF	19356 19319 19518 19483 19350 10247 19585 19535	03/28/24 03/28/24 03/28/24 03/28/24 03/28/24 03/28/24 03/28/24 03/28/24	7.60 71.72 160.29 72.34 84.88 52.00 18.90 43.22	35209 35209 35209 35209 35209 35209 35209 35209
			Total For Check 35209			<u>511.03</u>	
Check 35210 100-42151-50404	11/16/23	READY WATT ELECTRIC	SIREN TESTING, BATTERY AND FUSE RE	2216047	03/28/24	925.00	35210
			Total For Check 35210			<u>925.00</u>	
Check 35211 100-41900-50380 100-43100-50380	02/29/24 02/29/24	REPUBLIC SERVICES REPUBLIC SERVICES	CITY HALL GARBAGE FEBRUARY/MARCH 2 PUBLIC WORKS GARBAGE FEBUARY 2024	0894-006595583 0894-006596388	03/28/24 03/28/24	1,517.05 168.62	35211 35211

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35211							
100-45200-50380	02/29/24	REPUBLIC SERVICES	CITY PARK GARBAGE FEBRUARY/MARCH 2	0894-006595438	03/28/24	411.81	35211
100-45200-50380	03/07/24	REPUBLIC SERVICES	WILDFLOWER PARK GARBAGE FEBRUARY 2	0894-006597482	03/28/24	89.37	35211
Total For Check 35211						2,186.85	
Check 35212							
601-00000-22200	03/14/24	RODRIGUEZ, JUAN CARLOS	CLOSED UTILITY BILLING ACCOUNT REF	6471	03/28/24	151.87	35212
Total For Check 35212						151.87	
Check 35213							
601-00000-22200	03/14/24	SELTMAN, RACHEL	CLOSED UTILITY BILLING ACCOUNT REF	7303	03/28/24	27.95	35213
Total For Check 35213						27.95	
Check 35214							
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	RED BARN PET RETREAT	2198819	03/28/24	2,299.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	HOPE COMMUNITY DEVELOPMENT PROJECT	2202472	03/28/24	7,657.45	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	3019 ADDITION DEVELOPMENT PROJECT	2198818	03/28/24	1,134.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	BELLWETHER DEVELOPMENT PROJECT	2198784	03/28/24	5,040.32	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	LARKIN ROAD IMPROVEMENT	2203638	03/28/24	1,825.50	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	KACHOLING CENTER	2203636	03/28/24	450.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	MINKS PLAT APPLICATION	2203635	03/28/24	190.60	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	LISTER GARAGE CUP	2203634	03/28/24	212.60	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	SUNRAM	2203633	03/28/24	391.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	REFUGE AT RUSH CREEK WETLAND BANK	2203632	03/28/24	787.50	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	WOODLAND HILLS	2198827	03/28/24	3,943.80	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	SCHERBER CR 30	2198826	03/28/24	480.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	CHASTEK FAMILY FARMS	2198825	03/28/24	1,857.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	BECHTOLD FARM	2198823	03/28/24	160.00	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	KARINIEMI-MEADOWS	2198822	03/28/24	201.25	35214
100-00000-22205	03/07/24	STANTEC CONSULTING SERVICES	WCA PROJECTS	2203639	03/28/24	1,684.60	35214
100-00000-22205-008	03/07/24	STANTEC CONSULTING SERVICES	BASS LAKE CROSSING	2203631	03/28/24	115.00	35214
100-00000-22205-017	03/07/24	STANTEC CONSULTING SERVICES	COOK LAKE HIGHLANDS	2198799	03/28/24	1,628.60	35214
100-00000-22205-017	03/07/24	STANTEC CONSULTING SERVICES	COOK LAKE TURN LANES ENGINEERING C	2203652	03/28/24	619.10	35214
100-00000-22205-056	03/07/24	STANTEC CONSULTING SERVICES	TAVERA DEVELOPMENT PROJECT	2198800	03/28/24	3,528.30	35214
100-00000-22205-058	03/07/24	STANTEC CONSULTING SERVICES	RAVINIA DEVELOPMENT PROJECT	2198783	03/28/24	3,582.15	35214
100-00000-22205-076	03/07/24	STANTEC CONSULTING SERVICES	NELSON TRUCKING CSAH 101 TURN LANE	2203645	03/28/24	126.50	35214
100-00000-22205-087	03/07/24	STANTEC CONSULTING SERVICES	AMBERLY (1,2) BELLWETHER (6,7,9)	2198817	03/28/24	1,532.10	35214
100-00000-22205-087	03/07/24	STANTEC CONSULTING SERVICES	STIEG ROAD IMPROVEMENTS	2203648	03/28/24	13,276.45	35214
100-00000-22205-098	03/07/24	STANTEC CONSULTING SERVICES	RUSH CREEK RESERVE DEVELOPMENT PRO	2198803	03/28/24	2,620.45	35214
100-00000-22205-098	03/07/24	STANTEC CONSULTING SERVICES	WCA PROJECTS	2203639	03/28/24	1,307.60	35214
100-00000-22205-111	03/07/24	STANTEC CONSULTING SERVICES	GARAGES TOO	2198821	03/28/24	123.00	35214
100-00000-22205-117	03/07/24	STANTEC CONSULTING SERVICES	ST THERESE SENIOR LIVING	2198820	03/28/24	2,199.80	35214
100-00000-22205-129	03/07/24	STANTEC CONSULTING SERVICES	WALCOTT GLEN DEVELOPMENT PROJECT	2198816	03/28/24	3,379.92	35214
100-00000-22205-130	03/07/24	STANTEC CONSULTING SERVICES	CITY CENTER DR & 79TH PL STREET &	2203649	03/28/24	2,394.95	35214
100-41910-50300	03/07/24	STANTEC CONSULTING SERVICES	ZONING APPLICATION GENERAL ENGINEE	2202789	03/28/24	278.80	35214
100-42400-50303	03/07/24	STANTEC CONSULTING SERVICES	NEW CONSTRUCTION INSPECTIONS	2203644	03/28/24	4,220.50	35214
100-43170-50300	03/07/24	STANTEC CONSULTING SERVICES	GENERAL ENGINEERING SERVICES	2203640	03/28/24	12,934.00	35214
100-43170-50309	03/07/24	STANTEC CONSULTING SERVICES	WCA PROJECTS	2203639	03/28/24	375.00	35214
408-48005-50530	03/07/24	STANTEC CONSULTING SERVICES	66TH STREET DESIGN AND CONSTRUCTIO	2203641	03/28/24	299.00	35214
408-48007-50303	03/07/24	STANTEC CONSULTING SERVICES	CORCORAN TRAILS IMPROVEMENTS	2203646	03/28/24	632.50	35214
601-00000-16500	03/07/24	STANTEC CONSULTING SERVICES	WATER SUPPLY TREATMENT AND STORAGE	2203647	03/28/24	21,665.40	35214
601-49400-50300	03/07/24	STANTEC CONSULTING SERVICES	NE CORCORAN TRUNK INFAStructure	2203651	03/28/24	5,239.00	35214
601-49400-50303	03/07/24	STANTEC CONSULTING SERVICES	NE CORCORAN WATER TOWER	2203650	03/28/24	1,827.60	35214
601-49400-50303	03/07/24	STANTEC CONSULTING SERVICES	NEW CONSTRUCTION INSPECTIONS	2203644	03/28/24	632.50	35214
601-49400-50303	03/07/24	STANTEC CONSULTING SERVICES	WATER UTILITY	2203643	03/28/24	525.00	35214

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35214							
601-49400-50303	03/07/24	STANTEC CONSULTING SERVICES	SE CORCORAN TRUNK WATERMAIN	2203642	03/28/24	230.00	35214
601-49400-50303	03/07/24	STANTEC CONSULTING SERVICES	STATE BOND FUND ASSISTANCE	2203637	03/28/24	1,879.40	35214
602-49450-50303	03/07/24	STANTEC CONSULTING SERVICES	NEW CONSTRUCTION INSPECTIONS	2203644	03/28/24	632.50	35214
Total For Check 35214						116,119.74	
Check 35215							
100-42100-50207	03/12/24	STREICHER'S POLICE EQUIPMENT	12GA PROJECTILE	I1687543	03/28/24	355.00	35215
100-42100-50207	03/12/24	STREICHER'S POLICE EQUIPMENT	12GA PROJECTILES	I1687509	03/28/24	213.00	35215
100-42100-50209	03/11/24	STREICHER'S POLICE EQUIPMENT	BATON & HOLDER	I1687128	03/28/24	1,461.77	35215
Total For Check 35215						2,029.77	
Check 35216							
100-43100-50210	03/07/24	TERMINAL SUPPLY CO	CABLE TIE	20966-00	03/28/24	56.52	35216
Total For Check 35216						56.52	
Check 35217							
100-41410-50210	03/04/24	CREDIT CARD PURCHASES	ELECTION SUPPLIES	3032	03/28/24	87.48	35217
100-41500-50433	02/21/24	MNGFOA	MNGFOA ANNUAL MEMBERSHIP - PETERSO	17076	03/28/24	70.00	35217
100-41910-50207	03/18/24	CREDIT CARD PURCHASES	SENSIBLE LAND COALITION TRAINING	03182024	03/28/24	48.00	35217
100-42100-50200	03/06/24	MN CHIEFS OF POLICE ASSOC	PERMITS TO AQUIRE HANDGUN FORMS	15581	03/28/24	77.00	35217
100-42100-50300	03/05/24	CREDIT CARD PURCHASES	FAA REGISTRATION OF FOTOKITE	34AMERH	03/28/24	5.00	35217
100-42100-50300	03/09/24	FLEETIO	FLEET MANAGEMENT SOFTWARE 03/09/24	683952	03/28/24	60.00	35217
416-42100-50210	03/06/24	CREDIT CARD PURCHASES	SQUAD 578 LIGHT MOUNT	10557	03/28/24	150.85	35217
601-49400-50207	03/07/24	CREDIT CARD PURCHASES	TRAINING - PARKING FEES	03072024	03/28/24	7.50	35217
601-49400-50207	03/07/24	CREDIT CARD PURCHASES	TRAINING - MEAL	240307-11-17	03/28/24	57.99	35217
601-49400-50207	03/05/24	CREDIT CARD PURCHASES	TRAINING - MEAL	240305-06-15	03/28/24	117.59	35217
601-49400-50207	03/06/24	CREDIT CARD PURCHASES	TRAINING - MEAL	240306-08-9	03/28/24	100.26	35217
Total For Check 35217						781.67	
Check 35218							
100-41920-50210	03/19/24	US BANKCORP EQUIPMENT FINANC	COPIER LEASE	525042784	03/28/24	464.26	35218
Total For Check 35218						464.26	
Check 35219							
601-00000-22200	03/14/24	VAKITI, SATYANARAYANA	CLOSED UTILITY BILLING ACCOUNT REF	19155	03/28/24	158.89	35219
Total For Check 35219						158.89	
Check 35220							
100-41900-50321	02/26/24	VERIZON WIRELESS	PD/CH CELL PHONE SERVICE	9957647124	03/28/24	210.97	35220
100-42100-50321	02/26/24	VERIZON WIRELESS	PD/CH CELL PHONE SERVICE	9957647124	03/28/24	517.88	35220
100-42100-50323	02/26/24	VERIZON WIRELESS	PD/CH CELL PHONE SERVICE	9957647124	03/28/24	480.12	35220
Total For Check 35220						1,208.97	
Check 35221							
100-00000-20802	03/22/24	VIKING CONTRACTORS	DUPLICATE PAYMENT REFUND FOR INV-P	P24-0178	03/28/24	1.00	35221
100-00000-32210	03/22/24	VIKING CONTRACTORS	DUPLICATE PAYMENT REFUND FOR INV-P	P24-0178	03/28/24	90.00	35221
Total For Check 35221						91.00	
Check 35222							
601-49400-50300	03/08/24	WATER LABORATORIES, INC.	COLIFORM TEST	86697	03/28/24	54.00	35222
Total For Check 35222						54.00	
Check 35223							
601-00000-22200	03/14/24	WHITE, CHRIS/HEATHER	CLOSED UTILITY BILLING ACCOUNT REF	6480	03/28/24	125.87	35223

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
Check 35223							
Total For Check 35223						125.87	
Check 35224							
100-00000-22205	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	395.58	35224
100-00000-22205-007	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	278.87	35224
100-00000-22205-056	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	825.09	35224
100-00000-22205-065	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	1,200.21	35224
100-00000-22205-087	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	628.53	35224
100-00000-22205-098	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	218.19	35224
100-00000-22205-132	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	96.60	35224
100-41900-50381	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	2,214.70	35224
100-42151-50381	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	61.08	35224
100-43100-50381	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	205.28	35224
100-45200-50381	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	90.08	35224
601-49400-50380	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	74.97	35224
602-49450-50380	02/09/24	WRIGHT-HENNEPIN COOP ELECT	UTILITY SERVICES	35031177726	03/28/24	336.13	35224
Total For Check 35224						6,625.31	
Check 35225							
100-00000-22205	03/04/24	XCEL ENERGY	BELLWETHER - STREET LIGHTS	867434010	03/28/24	532.14	35225
Total For Check 35225						532.14	
Check 35226							
601-49400-50381	03/04/24	XCEL ENERGY	9820 CO RD 101 WATER METER	867500385	03/28/24	20.68	35226
Total For Check 35226						20.68	
Check 35227							
100-45200-50221	02/29/24	ZARNOTH BRUSH WORKS INC	GUTTER BROOM/HOLE PATTERN	0197171-IN	03/28/24	1,574.00	35227
Total For Check 35227						1,574.00	
Check 35228							
601-00000-22200	03/14/24	ZORN, CYDNIE	CLOSED UTILITY BILLING ACCOUNT REF	19222	03/28/24	201.48	35228
Total For Check 35228						201.48	

JOURNALIZED

PAID - CHECK TYPE: PAPER CHECK

CHECK REGISTER - COUNCIL

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Chk Date	Amount	Check
-----------	--------------	--------	---------------	---------	----------	--------	-------

Fund Totals:

Fund 100	GENERAL FUND					212,942.52	
Fund 101	LONG-TERM PLANNING FUND					80.00	
Fund 204	FIREARMS SAFETY					492.81	
Fund 408	PAVEMENT MANAGEMENT					931.50	
Fund 411	PUBLIC WORKS FACILITY					546.12	
Fund 416	CAPITAL-EQUIPMENT CERTS					150.85	
Fund 601	WATER					265,024.34	
Fund 602	SEWER					80,488.63	

Total For All Funds:

560,656.77

RESOLUTION NO. 2024-29

Motion By:
Seconded By:

**RESOLUTION SPONSORING THE NORTHWEST TRAILS ASSOCIATION TO ACQUIRE
STATE OF MINNESOTA DNR FUNDING (2024-2025 SEASON)**

WHEREAS, the City of Corcoran desires to establish a public snowmobile trail in furtherance of its public recreation program; and

WHEREAS, the Northwest Trails Association has asked the City of Corcoran to act as a sponsor to help acquire, construct, and maintain its trails; and

WHEREAS, the Northwest Trails Association has indicated it will help and assist the City to acquire, construct, and maintain said trail; and

WHEREAS, the State of Minnesota offers financial and technical assistance to the City for the construction of an approved trail; that the trail sponsored by Corcoran would be known as the Snowmobile Trails of Northwest Hennepin County.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CORCORAN:

1. The City of Corcoran shall apply to the State of Minnesota, through the Department of Natural Resources, for financial and technical assistance in accordance with the laws, rules and regulations governing said assistance.
2. If said assistance is granted, the City of Corcoran shall contract with the Northwest Trails Association for the acquisition of the necessary interests in land and the subsequent construction and maintenance of the trail.
3. With the exception of the financial assistance provided by the State contract with the City, the City of Corcoran shall not be liable for any costs incurred by the club. The City shall be responsible only for the allocation of funds to the extent of the actual monies provided through the State contract.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

Whereupon, said Resolution is hereby declared adopted on this 28th day of March, 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal



Memo

To: Kevin Mattson, City of Corcoran
 From: Steve Hegland, PE,
 Nick Wyers, PE

Project: 193806610
 Date: March 21, 2024

Subject: Larkin Road Improvements –
 Authorization to Bid

Council Action Requested

- We ask the City Council to consider the Larkin Road Improvements Project as presented and accept plans and specifications and authorize bidding for the project.

Background

- Larkin Road from County Road 116 to County Road 10 is posted at a 4-ton limit on a year-round basis. Wright Hennepin Electric recently completed construction of a substation near the intersection of County Road 116 and Larkin Rd. To accommodate heavier vehicles which are required for maintenance of the substation, Larkin Road directly east of County Road 116 to just past the substation driveway will be improved to a 10-ton standard.
- Work will include reclaiming existing gravel and aggregate material, installing new geotextile fabric and gravel, and paving Larkin Road. The attached plans outline the work to be completed associated with the Larkin Road improvements.

Schedule

The following is an anticipated schedule:

- | | |
|----------------------------------|--------------|
| • Council Authorizes Ad for Bids | March 28 |
| • Project Bidding Period | March/April |
| • Bid Opening | April 23 |
| • Council Awards Bid | May 9 |
| • Project Construction | May - July |
| • Substantial Completion | September 2 |
| • Final Completion | September 15 |

Cost and Funding

This project is funded via an escrow from the Wright Hennepin Substation project. The total construction cost for this project is estimated to be \$94,862.02 as shown in the attached table. Prior to award, the developer will contribute cash escrow to cover all remaining project costs which aren't already provided by the other project partners including construction, engineering, administration, utility relocations, etc.

March 19, 2022

Kevin Mattson

Page 2 of 2

Reference: Larkin Road Improvements – Authorization to Bid

Recommendations

Staff is recommending that Council review and accept the plans and specifications and authorize the advertisement for bids for the Larkin Road Reconstruction.

Sheets G-103, C-001, and C-101 are attached for reference. A complete set of plans and specifications are available for review upon request.

Stantec Consulting Services Inc.



Steve Hegland, PE
Project Engineer

Phone: 763-479-4237

steven.hegland@stantec.com

Attachments:

- Cost Estimate
- Larkin Road Reconstruction Plan Sheets

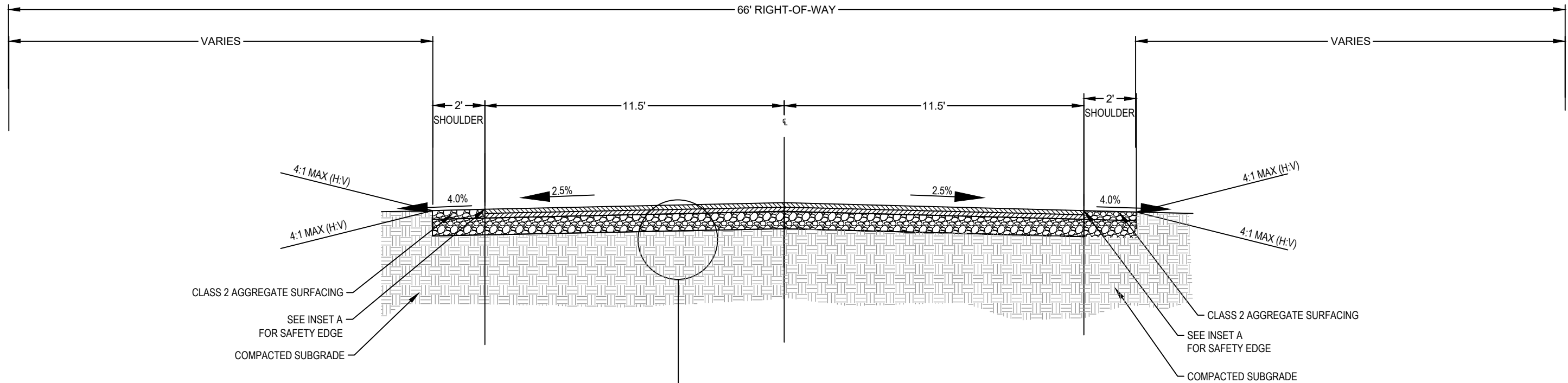
**LARKIN ROAD IMPROVEMENTS
COST ESTIMATE**

Bid Item	Description	Units	Unit Price	Quantity	Total Cost
1	MOBILIZATION AND DEMOBILIZATION	LUMP SUM	\$ 5,000.00	1.00	\$ 5,000.00
2	TRAFFIC CONTROL	LUMP SUM	\$ 5,000.00	1.0	\$ 5,000.00
3	SALVAGE AND REINSTALL SIGN	EACH	\$ 175.00	2.0	\$ 350.00
4	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	\$ 2.50	88.0	\$ 220.00
5	RECLAIM BITUMINOUS PAVEMENT	SQ YD	\$ 1.50	1210.0	\$ 1,815.00
6	SALVAGE AND PLACE RECLAIM BITUMINOUS RECLAIM MATERIAL (LV)	CU YD	\$ 15.00	270	\$ 4,050.00
7	COMMON EXCAVATION - OFFSITE (LV)	CU YD	\$ 25.00	440.0	\$ 11,000.00
8	SUBGRADE EXCAVATION - OFFSITE (EV)	CU YD	\$ 20.00	85	\$ 1,703.70
9	GEOTEXTILE FABRIC TYPE 5, NON-WOVEN (P)	SQ YD	\$ 2.50	1210.0	\$ 3,025.00
10	AGGREGATE SURFACING CLASS 2, 100 % CRUSHED LIMESTONE	TON	\$ 45.00	60.0	\$ 2,700.00
11	AGGREGATE BASE CLASS 5, 100% CRUSHED	TON	\$ 23.00	490.0	\$ 11,270.00
12	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$ 3.00	60.0	\$ 180.00
13	TYPE SP 12.5 WEARING COURSE MIXTURE (3,C)	TON	\$ 105.00	150.0	\$ 15,750.00
14	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	\$ 100.00	150.0	\$ 15,000.00
14	INSTALL SIGN PANELS	SQ FT	\$ 60.00	2.0	\$ 120.00
15	STABILIZED CONSTRUCTION EXIT - MAINTAINED	LUMP SUM	\$ 2,500.00	1.0	\$ 2,500.00
16	SILT FENCE, TYPE MS - MAINTAINED	LIN FT	\$ 3.00	1000.0	\$ 3,000.00
17	HYDRAULIC STABILIZED FIBER MATRIX	LB	\$ 3.50	855.0	\$ 2,992.50
18	MnDOT SEED MIXTURE 25-141	SQ YD	\$ 2.00	1341.0	\$ 2,682.00
BASE BID CONSTRUCTION COSTS					\$ 88,358.20
10% CONTINGENCY					\$ 8,835.82
TOTAL BASE BID COSTS					\$ 97,194.02

3/21/2024 12:54:24 PM

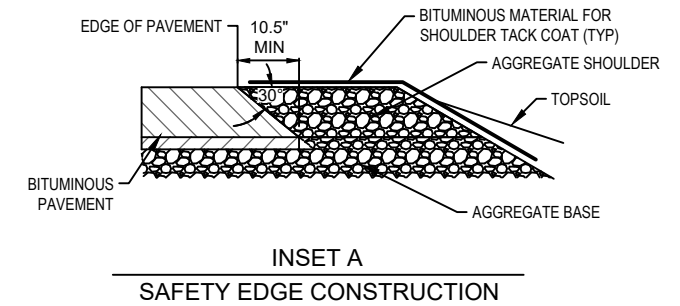
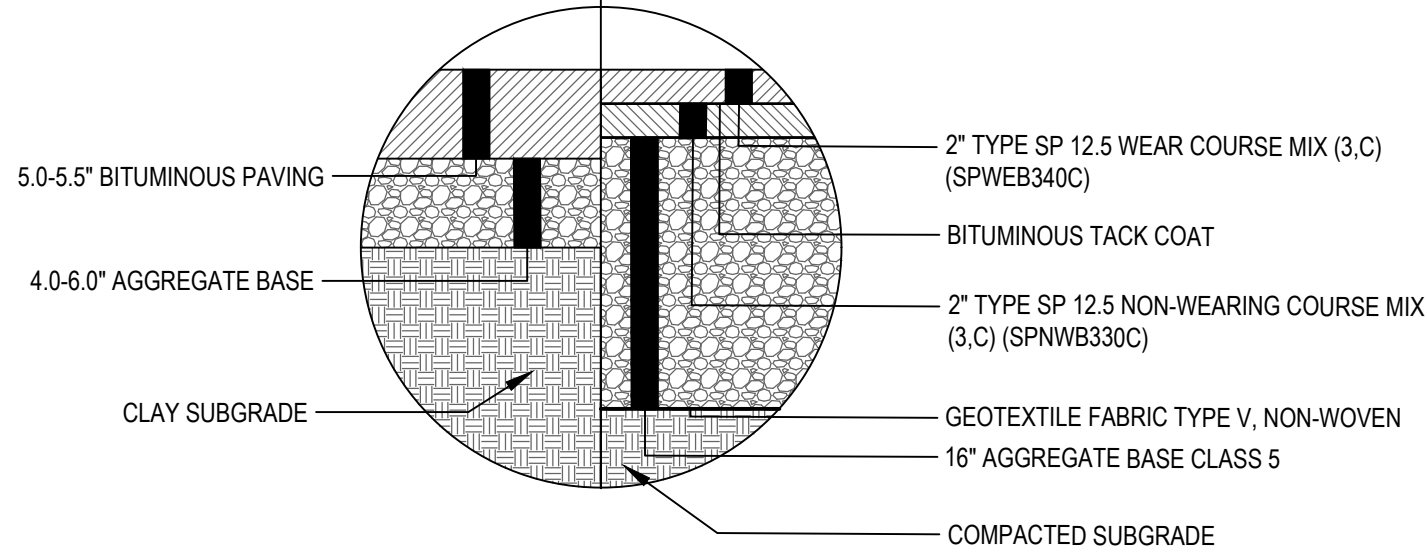
TYPICAL SECTION 1

LARKIN ROAD



EXISTING SECTION

PROPOSED SECTION



Stantec
 ONE CARLSON PARKWAY N.
 SUITE 100
 PLYMOUTH, MN 55447
 PHONE: 763-479-4200
 FAX: 763-479-4242
 WWW.STANTEC.COM

CLIENT:
CITY OF CORCORAN
 8200 COUNTY ROAD 116
 CORCORAN, MN 55340



LARKIN ROAD IMPROVEMENTS
 CORCORAN, MINNESOTA

PROJECT TITLE:

ISSUE NO.:

0

DESCRIPTION:

ISSUED FOR QUOTE

DATE:

03/26/2024

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.:
 DATE:

PROJECT NO.: 193806610

DWN BY: CJK CHKD BY: NPW APP'D BY: SH

ISSUE DATE: 03/26/2024

ISSUE NO.: 0

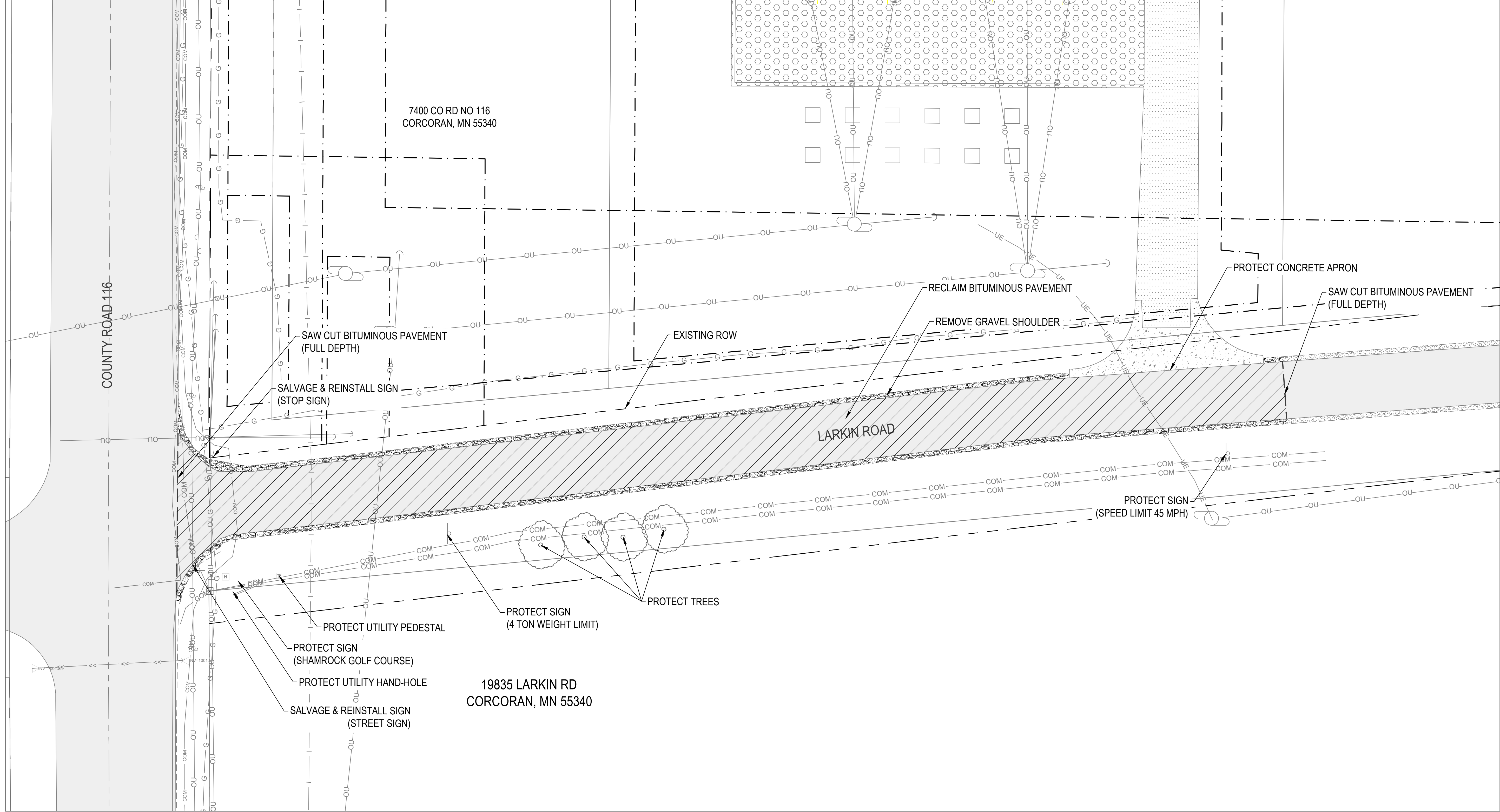
SHEET TITLE:

TYPICAL SECTIONS

SHEET NO.:

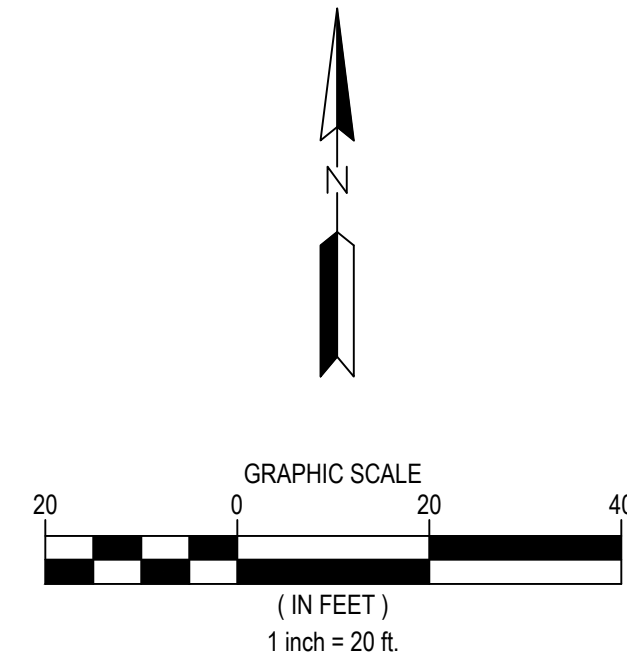
G-103

J:\193806610\drafting\03 - DESIGN\1 - CAD\3 - PLAN\SHEET\G-103 TYPICAL SECTIONS.dwg



NOTES

1. SEE SHEET G-102 FOR ADDITIONAL PROJECT NOTES.
2. SEE SHEET G-102 FOR LEGEND.
3. UTILITIES SHOWN ON EXISTING CONDITIONS ARE UTILITY QUALITY LEVEL D. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ENGINEER IMMEDIATELY OF ANY UTILITY CONFLICTS WITHIN THE PROJECT AREA AND SHALL BE RESPONSIBLE FOR COORDINATING WORK AROUND SUCH UTILITIES.



LARKIN ROAD IMPROVEMENTS
 CORCORAN, MINNESOTA

PROJECT TITLE:	LARKIN ROAD IMPROVEMENTS
ISSUE NO.:	0
DESCRIPTION:	ISSUED FOR QUOTE
DATE:	03/26/2024

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.:
 DATE:

PROJECT NO.: 19380610

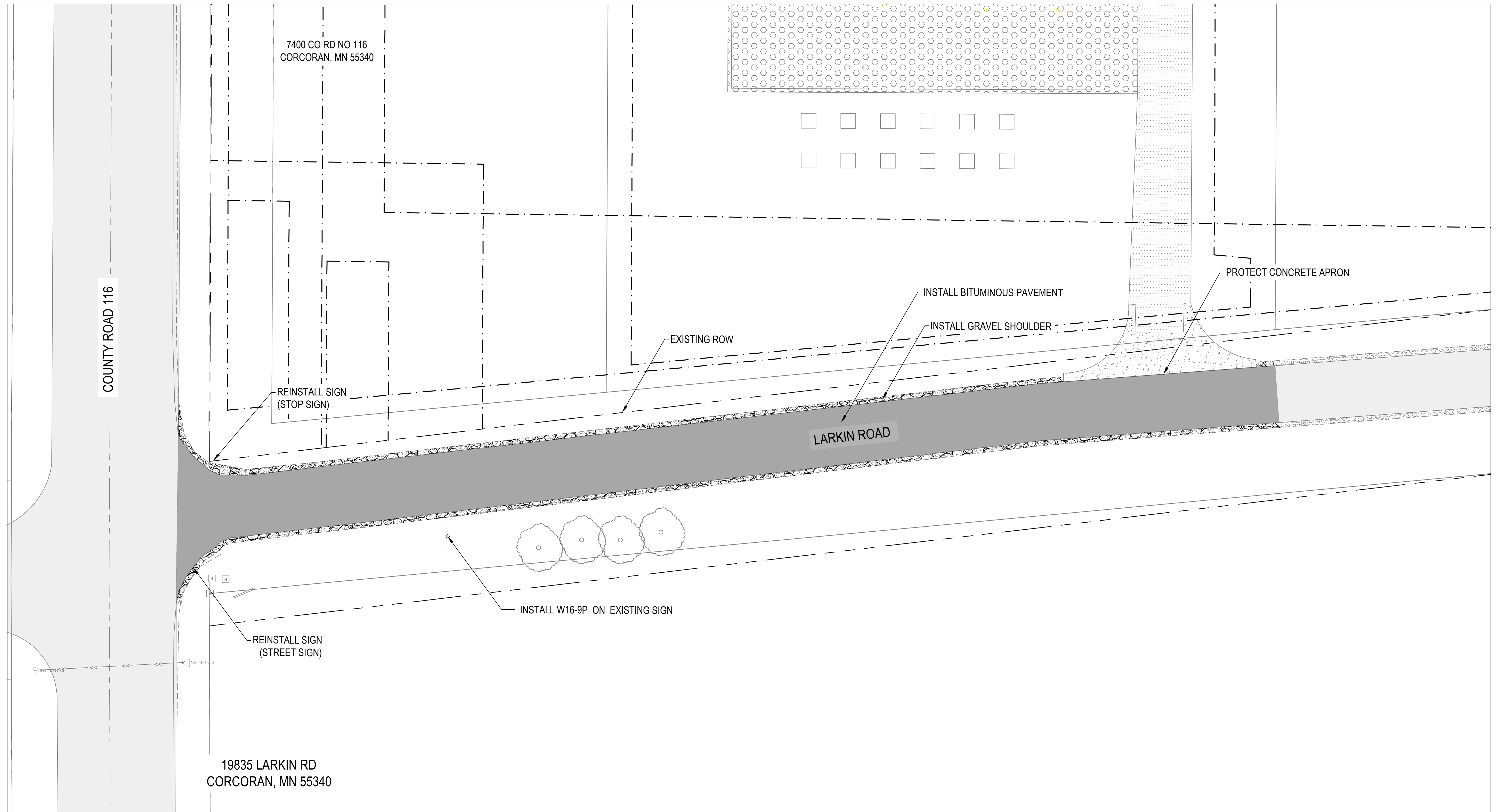
DWN BY: CJK CHKD BY: NPW APPD BY: SH

ISSUE DATE: 03/26/2024

ISSUE NO.: 0

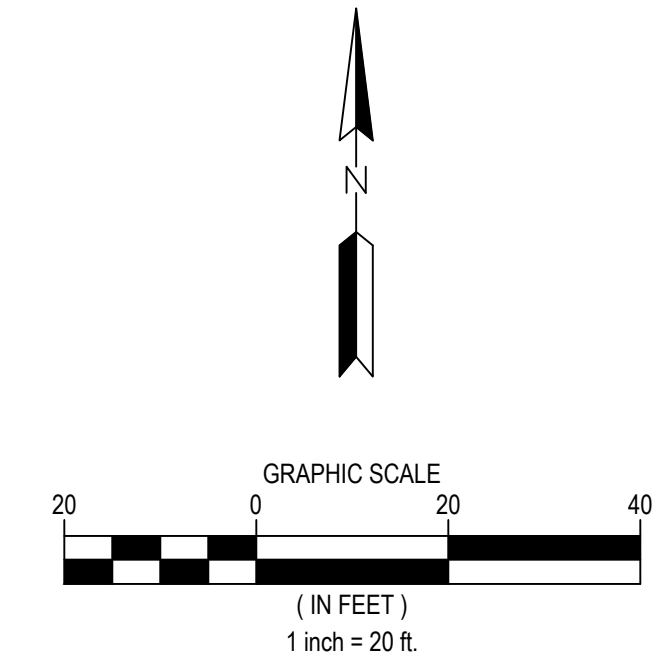
SHEET TITLE:
 EXISTING CONDITIONS & REMOVALS

SHEET NO.:
C-001



NOTES

- SEE SHEET G-102 FOR ADDITIONAL PROJECT NOTES.
- SEE SHEET G-102 FOR LEGEND.
- UTILITIES SHOWN ON EXISTING CONDITIONS ARE UTILITY QUALITY LEVEL D. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ENGINEER IMMEDIATELY OF ANY UTILITY CONFLICTS WITHIN THE PROJECT AREA AND SHALL BE RESPONSIBLE FOR COORDINATING WORK AROUND SUCH UTILITIES.



Stantec
 ONE CARLSON PARKWAY N.
 SUITE 100
 PLYMOUTH, MN 55447
 PHONE: 763-479-4200
 FAX: 763-479-4242
 WWW.STANTEC.COM

CLIENT:
CITY OF CORCORAN
 8200 COUNTY ROAD 116
 CORCORAN, MN 55340

PROJECT TITLE:
LARKIN ROAD IMPROVEMENTS
 CORCORAN, MINNESOTA

DATE	DESCRIPTION	ISSUE NO.
03/26/2024	ISSUED FOR QUOTE	0

CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE CHARTER OF THE STATE OF MINNESOTA.

LICENSE NO.:
 DATE:
 PROJECT NO.: 19380610
 DWN BY: CJK CHKD BY: NPW APPD BY: SH
 ISSUE DATE: 03/26/2024
 ISSUE NO.: 0

SHEET TITLE:
 SITE PLAN
 SHEET NO.:
C-101



Memo

To: Kevin Mattson, PE, PW Director From: Daryl Kirschenman, PE
Steve Hegland, PE
Project/File: 227705274 Date: March 18, 2024
Subject: Pay Application #11 to Phoenix Fabricators and Erectors

Council Action Requested

Staff is recommending Council Approve Pay Application #11 for the Corcoran Water Tower Project to Phoenix Fabricators and Erectors in the amount of \$231,180.26. This pay request covers work complete from February 15, 2024 through March 15, 2024.

Summary

Phoenix fabricators has completed the tower concrete dome on top of the tower shaft and the steel work inside the tower. Site piping has begun and will continue.

This pay request includes additional stored material steel invoices for steel required to fabricate the steel tank.

The signed payment request form and pay application is attached for review.

Total Contract Value to Date	\$4,703,386.00
Work Completed to Date	\$2,250,861.71
5% Retainage	\$112,543.08
Amount Paid to Date	\$1,907,138.36
Total Pay App #11	\$231,180.27

Engineer's Recommendation

We recommend approving Pay Application #11 to Phoenix Fabricators and Erector's in the amount of \$231,180.27.

Contractor's Application for Payment

Owner: <u>City of Corcoran</u>	Owner's Project No.: _____
Engineer: <u>Stantec Consulting Services</u>	Engineer's Project No.: <u>227705274</u>
Contractor: <u>Phoenix Fabricators & Erectors, LLC</u>	Contractor's Project No.: <u>3927</u>
Project: <u>1.0 MG Elevated Water Storage Tank</u>	
Contract: <u>Corcoran Water Tower</u>	

Application No.: <u>ELEVEN</u>	Application Date: <u>3/15/2024</u>
Application Period: From <u>2/16/2024</u> to <u>3/15/2024</u>	

1. Original Contract Price	\$ 4,703,386.00
2. Net change by Change Orders	\$ -
3. Current Contract Price (Line 1 + Line 2)	\$ 4,703,386.00
4. Total Work completed and materials stored to date (Sum of Column G Lump Sum Total and Column J Unit Price Total)	\$ 2,250,861.71
5. Retainage	
a. <u>5%</u> X <u>\$ 1,650,072.64</u> Work Completed	\$ 82,503.63
b. <u>5%</u> X <u>\$ 600,789.07</u> Stored Materials	\$ 30,039.45
c. Total Retainage (Line 5.a + Line 5.b)	\$ 112,543.08
6. Amount eligible to date (Line 4 - Line 5.c)	\$ 2,138,318.63
7. Less previous payments (Line 6 from prior application)	\$ 1,907,138.36
8. Amount due this application	\$ 231,180.27
9. Balance to finish, including retainage (Line 3 - Line 4 + Line 5c)	\$ 2,565,067.37

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

- (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;
- (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such liens, security interest, or encumbrances); and
- (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor: Phoenix Fabricators & Erectors, LLC

Signature: *Noelle Crosby* **Date:** 3/15/2024

Recommended by Engineer	Approved by Owner
By: <u><i>Daryl Kirschenman</i></u>	By: _____
Title: <u>Project Manager</u>	Title: _____
Date: <u>3-18-2024</u>	Date: _____

Approved by Funding Agency	
By: _____	By: _____
Title: _____	Title: _____
Date: _____	Date: _____

Progress Estimate - Unit Price Work

Contractor's Application for Payment

Owner:	City of Corcoran	Owner's Project No.:	
Engineer:	Stantec Consulting Services	Engineer's Project No.:	227705274
Contractor:	Phoenix Fabricators & Erectors, LLC	Contractor's Project No.:	3927
Project:	1.0 MG Elevated Water Storage Tank		
Contract:	Corcoran Water Tower		

Application No.: ELEVEN **Application Period:** From 02/16/24 To 03/15/24 **Application Date:** 03/15/24

A	B	C	D	E	F	G	H	I	J	K	L
Bid Item No.	Description	Contract Information				Work Completed		Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)				

Original Contract

Original Contract											
PART 1 SITE WORK											
1	MOBILIZATION	1	LS	185,000.00	185,000.00	0.03	5,000.00		5,000.00	3%	180,000.00
2	TRAFFIC CONTROL	1	LS	4,000.00	4,000.00		-		-	0%	4,000.00
3	SALVAGE, STOCKPILE & RESPREAD TOPSOIL	1	LS	6,500.00	6,500.00	0.62	4,000.00		4,000.00	62%	2,500.00
4	TEMPORARY ROCK CONSTRUCTION ENTRANCE PLACEMENT &	1	LS	4,000.00	4,000.00	0.75	3,000.00		3,000.00	75%	1,000.00
5	COMMON TOPSOIL BORROW (LV)	50	CY	40.00	2,000.00		-		-	0%	2,000.00
6	CONNECT TO EXISTING WATERMAIN 20" PVC WATER MAIN	1	EA	5,700.00	5,700.00		-		-	0%	5,700.00
7	20" PVC WATERMAIN, C900	355	LF	265.00	94,075.00		-	55,000.00	55,000.00	58%	39,075.00
8	20" GATE VALVE	1	EA	31,000.00	31,000.00		-	12,000.00	12,000.00	39%	19,000.00
9	20" DIP WATERMAIN, CL 52, INCLUDE POLY WRAP	18	LF	397.00	7,146.00		-		-	0%	7,146.00
10	6" DIP WATERMAIN, CL 52, INCLUDE POLY WRAP	55	LF	117.00	6,435.00		-	1,612.00	1,612.00	25%	4,823.00
11	6" GATE VALVE & BOX	2	EA	4,000.00	8,000.00		-	4,266.00	4,266.00	53%	3,734.00
12	6" HYDRANT	2	EA	8,512.00	17,024.00		-	11,349.00	11,349.00	67%	5,675.00
13	DUCTILE IRON FITTINGS	4,000	LB	15.00	60,000.00		-	36,389.31	36,389.31	61%	23,610.69
14	4' X 6' OVERFLOW SPLASHPAD	1	EA	1,800.00	1,800.00		-		-	0%	1,800.00
15	CONCRETE SIDEWALK	20	SY	75.00	1,500.00		-		-	0%	1,500.00
16	8" BOLLARD	2	EA	1,000.00	2,000.00		-		-	0%	2,000.00
17	CONCRETE DRIVEWAY APRON	1	LS	8,000.00	8,000.00		-		-	0%	8,000.00
18	GEOTEXTILE FABRIC TYPE V NON WEAR	1,750	SY	2.60	4,550.00		-		-	0%	4,550.00
19	AGGREGATE BASE	1,625	TN	49.00	79,625.00	472.00	23,128.00		23,128.00	29%	56,497.00
20	BITUMINOUS WEAR SPWEA340B	175	TN	190.00	33,250.00		-		-	0%	33,250.00
21	BITUMINOUS BASE SPNWB330B	225	TN	195.00	43,875.00		-		-	0%	43,875.00
22	BITUMINOUS RIBBON CURB	510	LF	31.00	15,810.00		-		-	0%	15,810.00
23	B618 CURB	410	LF	47.00	19,270.00		-		-	0%	19,270.00
24	SILT FENCE, MS	1,250	LF	4.50	5,625.00	1,000.00	4,500.00		4,500.00	80%	1,125.00
25	INFILTRATION BASIN, FILTER FABRIC, 6' DRAIN TILE & 6' FLARED END	1	LS	8,500.00	8,500.00		-		-	0%	8,500.00
26	MNDOT SEED MIXTURE 25-131	1.4	AC	8,220.00	11,508.00		-		-	0%	11,508.00
27	2.5" B&B DECIDUOUS TREE	11	EA	820.00	9,020.00		-		-	0%	9,020.00
28	6' HT CONIFEROUS TREE	10	EA	670.00	6,700.00		-		-	0%	6,700.00
29	SHRUB 5 GAL. CONTAINER	56	EA	100.00	5,600.00		-		-	0%	5,600.00
30	PERENNIAL 1 GAL. CONTAINER	118	EA	28.00	3,304.00		-		-	0%	3,304.00
ALTERNATE A - 1,000,000 GALLON COMPOSITE TANK											
1	BONDS / INSURANCE	1	LS	115,000.00	115,000.00	1.00	115,000.00		115,000.00	100%	-
1.10	MOBILIZATION	1	LS	153,000.00	153,000.00	0.50	76,500.00		76,500.00	50%	76,500.00
1.11	ENGINEERING	1	LS	172,000.00	172,000.00	1.00	172,000.00		172,000.00	100%	-
1.12	FOUNDATION	1	LS	194,000.00	194,000.00	1.00	194,000.00		194,000.00	100%	-
1.13	TANK SHAFT	1	LS	886,000.00	886,000.00	1.00	886,000.00		886,000.00	100%	-
1.14	TANK MATERIAL / SHOP FABRICATION	1	LS	1,216,994.00	1,216,994.00	0.06	73,019.64	480,172.76	553,192.40	45%	663,801.60
1.15	TANK DELIVERY	1	LS	70,000.00	70,000.00		-		-	0%	70,000.00

Progress Estimate - Unit Price Work

Contractor's Application for Payment

Owner: City of Corcoran	Owner's Project No.: _____
Engineer: Stantec Consulting Services	Engineer's Project No.: 227705274
Contractor: Phoenix Fabricators & Erectors, LLC	Contractor's Project No.: 3927
Project: 1.0 MG Elevated Water Storage Tank	
Contract: Corcoran Water Tower	

Application No.: ELEVEN **Application Period:** From 02/16/24 To 03/15/24 **Application Date:** 03/15/24

A	B	C	D	E	F	G	H	I	J	K	L
Bid Item No.	Description	Contract Information				Work Completed		Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)				
1.16	TANK ERECTION	1	LS	380,000.00	380,000.00		-		-	0%	380,000.00
1.17	TANK PAINTING	1	LS	450,000.00	450,000.00		-		-	0%	450,000.00
1.18	TANK MIXING SYSTEM	1	LS	20,000.00	20,000.00		-		-	0%	20,000.00
1.19	EROSION CONTROL	1	LS	8,500.00	8,500.00	0.50	4,250.00		4,250.00	50%	4,250.00
1.20	ELECTRICAL / CONTROLS	1	LS	160,000.00	160,000.00	0.11	17,600.00		17,600.00	11%	142,400.00
2	LOGO ALLOWANCE	1	LS	25,000.00	25,000.00		-		-	0%	25,000.00
3	STRUCTURAL FILL BELOW FOUNDATION	825	CY	51.00	42,075.00	825.00	42,075.00		42,075.00	100%	-
4	COMMON EXCAVATION & SITE GRADING	1	LS	120,000.00	120,000.00	0.25	30,000.00		30,000.00	25%	90,000.00
Original Contract Totals					\$ 4,703,386.00		\$ 1,650,072.64	\$ 600,789.07	\$ 2,250,861.71	48%	\$ 2,452,524.29

Progress Estimate - Unit Price Work

Contractor's Application for Payment

Owner:	City of Corcoran	Owner's Project No.:	
Engineer:	Stantec Consulting Services	Engineer's Project No.:	227705274
Contractor:	Phoenix Fabricators & Erectors, LLC	Contractor's Project No.:	3927
Project:	1.0 MG Elevated Water Storage Tank		
Contract:	Corcoran Water Tower		

Application No.: ELEVEN Application Period: From 02/16/24 To 03/15/24 Application Date: 03/15/24

A	B	C	D	E	F	G	H	I	J	K	L	
Bid Item No.	Description	Contract Information				Work Completed		Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)	
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)					
Change Orders												
					-			-		-	-	
					-			-		-	-	
					-			-		-	-	
Change Order Totals					\$ -			\$ -	\$ -	\$ -	\$ -	
Original Contract and Change Orders												
Project Totals					\$ 4,703,386.00			\$ 1,650,072.64	\$ 600,789.07	\$ 2,250,861.71	48%	\$ 2,452,524.29

STAFF REPORT

Agenda Item: 7f.

Council Meeting: March 28, 2024	Prepared By: Michelle Friedrich
Topic: Approving Cropland Bids	Action Required: Approval

Summary

The City owns property north of City Hall and also a parcel located near City Park. In the past the City has requested bids for the rental of the land for farming purposes. Council directed staff at the February 8 Council meeting to proceed with an RFP for cropland bids. The RFP was advertised for bids in the Crow River News. Staff is scheduled to process and open all received bids on March 27, 2024, at 1:00 pm for the rental of 49 total tillable acres on the two parcels. Bid results and information will be provided to Council at the March 28 Council meeting. Council should review the bids and award the contracts to the highest bidder if any bids are received.

Financial/Budget

In 2023, the land located north of City Hall rented for \$186.00/acre for the 27-acre parcel, and the land located near City Park rented for \$167.00/acre for the 22-acre parcel. The 2024 budget will be updated to reflect the increase or decrease in revenue dependent upon final bid results on March 27, 2024.

At the February 8 Council meeting, Council directed staff to complete an RFP bid process for the two city-owned cropland parcels, with a net zero difference for the City regarding property taxes. If no bids are received, Council direction to staff was to utilize Option 1; or Option 3 if Option 1 is not a viable option based on findings with Hennepin County. Costs would include staff time in contacting Hennepin County to discuss Option 1. If Option 3 is necessary, costs will include staff time in obtaining and evaluating estimates for the specific method of parcel maintenance over the spring/summer/fall seasons for the two parcels. For reference, staff reviewed costs for spraying the two fields in 2023, and the average annual seasonal cost was between \$18,000 to \$24,000.

Council Action

Approve Resolution 2024-XX Awarding Cropland Rental Contracts with highest bid results. If no bids are received, staff will proceed with Council direction as stated above.

Attachments

1. Resolution 2024-XX Awarding Cropland Rental Contracts with highest bid results.
2. Bids List – Crop Land (Will be submitted to Council after bid opening if available)

RESOLUTION NO. 2024-XX

Motion By:
Seconded By:

A RESOLUTION AWARDING CROPLAND RENTAL CONTRACTS

WHEREAS, pursuant to advertisements for bids for the rental of crop land owned by the City of Corcoran, bids received, opened, and tabulated according to law, and the attached bids were received complying with the advertisement; and

WHEREAS, XXXXXXXX provided the highest bid for the 27-acre parcel located ½ mile north of City hall on County Road 116 (PID 13-119-23-32-0001) in the amount of \$000.00/acre; and

WHEREAS, XXXXXXXX provided the highest bid for the 22-acre parcel located at City Park (PID 23-119-23-34-0001) in the amount of \$000.00/acre;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF CORCORAN, MN:

- The City Administrator is hereby authorized to enter into a two-year (2024 – 2025) contract with XXXXXXXX in the name of the City of Corcoran for the rental of the 27 tillable acre parcel of crop land located ½ mile north of City Hall on County Road 116 (SE corner of Schutte Road and County Road 116) in the amount of \$000.00/acre; and
- The City Administrator is hereby authorized to enter into a one-year (2024) contract with XXXXXXXX in the name of the City of Corcoran for the rental of the 22 tillable acre parcel of cropland at City Park in the amount of \$000.00/acre.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March, 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

City of Corcoran
2024 Cropland Bids

3/27/2024

Last Name	First	Address	City	ST	Zip	22/Acre	27/Acre
						<input data-bbox="1207 509 1369 550" type="text"/>	<input data-bbox="1373 509 1539 550" type="text"/>
						<input data-bbox="1207 631 1369 672" type="text"/>	<input data-bbox="1373 631 1539 672" type="text"/>
						<input data-bbox="1207 753 1369 794" type="text"/>	<input data-bbox="1373 753 1539 794" type="text"/>
						<input data-bbox="1207 875 1369 915" type="text"/>	<input data-bbox="1373 875 1539 915" type="text"/>
						<input data-bbox="1207 997 1369 1037" type="text"/>	<input data-bbox="1373 997 1539 1037" type="text"/>
						<input data-bbox="1207 1118 1369 1159" type="text"/>	<input data-bbox="1373 1118 1539 1159" type="text"/>

STAFF REPORT

Agenda Item: 7g.

Council Meeting: March 28, 2024	Prepared By: Kevin Mattson
Topic: Hennepin County Signal Agreement – County Road 116 and Hackamore Road	Action Required: Approval

Summary

As part of the Hackamore Road Improvements project, Hennepin County committed a cost participation of \$399,000 towards the replacement of the signal at the intersection of County Road 116 and Hackamore Road.

Attached is the draft Construction Cooperative Agreement for council review and consideration. This information was included in the Hackamore Road Improvements Joint Powers Agreement between Corcoran and Medina.

The agreement has been reviewed by the city attorney.

Financial/Budget

Future routine maintenance and replacement costs are consistent with city policy/practice.

Options

1. Approve the Construction Cooperative Agreement for Signal Improvements at County Road 116 and Hackamore Road.
2. Conditionally approve the Construction Cooperative Agreement for Signal Improvements at County Road 116 and Hackamore Road with identified changes.
3. Decline.

Recommendation

Staff recommends approving the Construction Cooperative Agreement for Signal Improvements at County Road 116 and Hackamore Road.

Council Action

Consider a motion to approve the Construction Cooperative Agreement for Signal Improvements at County Road 116 and Hackamore Road.

Attachments

1. Draft Construction Cooperative Agreement for Signal Improvements at County Road 116 and Hackamore Road

**Agreement No. PW 16-25-23
County Project No. 2183552
County Road (CR) 116
City of Corcoran
City of Medina
County of Hennepin**

**CONSTRUCTION
COOPERATIVE AGREEMENT**

This Agreement is made between the **County of Hennepin**, a body politic and corporate under the laws of the State of Minnesota, hereinafter referred to as the “County”, the **City of Corcoran**, a Minnesota home-rule charter city under the laws of the State of Minnesota, hereinafter referred to as “Corcoran”, and the **City of Medina** a body politic and corporate under the laws of the State of Minnesota, hereinafter referred to as “Medina”. Corcoran and Medina together are referred to as the “Cities” or the “City”. The County and the Cities collectively are referred to as the “Parties”.

Recitals

The following Recitals are incorporated into this Agreement.

1. The Cities, in partnership with the County, desire to replace a traffic signal system and upgrade pedestrian ramps at the intersection of County Road (CR) 116 (Pinto Drive) and Hackamore Road, and construct a multi-use trail and other identified improvements within the corporate limits of the Cities as part of the Cities’ Hackamore Road Improvement Project, as shown in plans for Corcoran’s Project No. S.A.P. 215-119-001, Medina’s Project No. S.A.P. 250-103-002, under County Project (CP) No. 2183552 as further illustrated in Exhibit D (Project Plan Title Sheet), and which shall hereinafter be referred to as the “Project”.
2. The Parties have agreed to enter into this Agreement to memorialize the partnership and to outline each party’s ownership and financial responsibilities, maintenance responsibilities, and associated costs for the Project.
3. Medina shall be the lead agency in Project design, engineering, and construction administration, and shall be responsible for acquiring all governmental agency permits needed for the Project.
4. The Medina City Engineer has prepared an Engineer’s Estimate of quantities and unit prices for the above described Project, and a copy of the Engineer’s Estimate and an estimated Division of Cost Summary, marked Exhibit A, is attached hereto.
5. The County has indicated its willingness to cost participate in the Project as detailed herein.
6. The Cities previously entered into a Joint Powers Agreement for cost participation (the “Joint Powers Agreement” or the “JPA”) and Corcoran will participate in the Project construction costs via the Joint Powers Agreement.

7. The Project will be carried out by the Parties under the provisions of Minnesota Statutes, Section 162.17, Subdivision 1, and Section 471.59.

Agreement

NOW, THEREFORE, the Parties agree as follows:

1. Term of Agreement, Survival of Terms, and Exhibits.

1.1. Effective Date. This Agreement is effective as of the date of the final signature.

1.2. Expiration Date. This Agreement will expire after the date in which all obligations have been satisfactorily fulfilled.

1.3. Survival of Terms. Provisions that by their nature are intended to survive the term, cancellation or termination of this Agreement do survive such term, cancellation or termination. Such provisions include but are not limited to: Maintenance Responsibilities, Records/Audits, Indemnification, Insurance, Worker Compensation Claims, Cancellation, Termination, and Minnesota Laws Govern.

1.4. Exhibits. All exhibits are attached and incorporated into this Agreement.

1.4.1 Exhibit A (Division of Cost Summary)

1.4.2 Exhibit B (MnDOT ADA Compliance Checklist (Curb Ramp) and Accessibility Pedestrian Signal (APS) forms)

1.4.3 Exhibit C (Drainage Ownership and Maintenance Responsibilities)

1.4.4 Exhibit D (Project Plan Title Sheet)

1.4.5 Exhibit E (Signal System Location)

2. Project Construction.

2.1. Contract Award and Administration. Medina or its agents shall prepare the necessary Project plans, specifications, and proposal; obtain approval of the plans and specifications from MnDOT, the County, and Corcoran; advertise for bids for the work and construction; receive and open bids pursuant to the advertisement; enter into a contract with the successful bidder at the unit prices specified in the bid of such bidder; administer the contract; and perform the required engineering and inspection; all in accordance with the plans and specifications set forth below.

2.2. Plans and Specifications.

- 2.2.1 Design Work.** All design work performed by Medina or its agents for the Project shall be prepared and certified by a Professional Engineer licensed in the State of Minnesota. All designs which affect County facilities shall conform to the Minnesota Department of Transportation (MnDOT) Design Standards applicable to County State Aid Highways and to the requirements of the Americans with Disabilities Act (ADA) standards, and be approved by the County Engineer prior to construction. Attached as Exhibit B is a copy of the MnDOT ADA Compliance Checklist (Curb Ramp) and APS forms. Medina or its agents shall complete the forms for each curb ramp constructed and APS installed as part of the Project and submit the forms by using the County’s “Asset Management” site, which requires registration to access. Medina understands and agrees that the payment as stated in Subsection 4.5 will be withheld until all required ADA curb ramp and APS certification forms have been received and verified by the County. Directions for obtaining access to the Asset Management site can be found at the following link, under the “ADA checklists for construction within county right-of-way” bar: (<https://www.hennepin.us/residents/transportation/ada-transition-plan>).
- 2.2.2 Plan Numbers (S.A.P#/ S.P.#).** The plans and specifications for the Project are referenced and identified as S.A.P.# 215-119-001; S.A.P.# 250-103-002, and shall be approved by MnDOT prior to Project construction.
- 2.2.3 Request for Copies of Plans.** At the request of the County, Medina or its agents shall furnish the County with any working copies of any plans, designs or reports at any time during the Project design process. Upon completion of the Project, Medina or its agents shall furnish the County with a complete set of as-built plans certified as to their accuracy by Medina’s City Engineer and shall be submitted to Public Works Transportation Project Delivery Design and Operations Asset Management Divisions.
- 2.2.4 Plan Review and Approval.** Medina or its agents shall furnish the County Public Works Transportation Project Delivery Design Division with Project plans and specifications for review and approval as follows: electronic submittals at 60%, 90%, and 100%; comment response letter with 90% and 100% package; electronic copy of plans at 100% for County permit approval.
- 2.3. Construction Supervision and Inspection.** Medina or its agents will administer the construction contract, perform all necessary engineering, inspection, and testing of all the Project work. All work for the Project shall be completed in compliance with the MnDOT, the County, and Corcoran approved plans and specifications. The County Engineer or a designated representative shall have the right, as the work progresses, to enter upon the job site to make any inspections deemed necessary and shall cooperate with Medina Engineer and staff at their request to the extent necessary, but will have no responsibility for the supervision of the work.
- 2.4. Plan Changes and Additional Construction.**
- 2.4.1 Plan Changes.** The County agrees that Medina or its agents may make changes in the plans or in the character of the Project construction that are reasonably

necessary to cause the construction to be in all things performed and completed in a satisfactory manner, subject to the County's rights under Subsection 2.4.2 and the limitations and restrictions on County cost participation provided in Section 3.

2.4.2 Review Proposed Changes. The County shall have the right to review any proposed changes to the plans and specifications as they relate to the County's cost participation prior to the work being performed, except in emergencies, and in those instances where the proposed changes necessitate a re-engineering of the design and/or specifications, Medina shall submit the re-engineered design and/or specifications to the County. The County Engineer or designated representative shall respond to Medina's request for approval to authorize the issuance of any negotiated change orders or supplemental agreements prepared by Medina that affect the County's share of the construction cost within a reasonable time frame, subject to the limitations and restrictions on County cost participation provided in Section 3.

2.5. Right of Way/Permit

2.5.1 Right of Way Acquisition. The Cities or their agents shall acquire all additional right of way, permits, easements, or other property rights required for the construction of the Project. Additionally, upon completion of the Project, the Cities agree to convey to the County all permanent right of way and easements acquired for the County highway included in this Project, at no cost to the County.

2.5.2 Access Rights and Permits. The County shall cooperate with the conveyance of any reasonable temporary access rights over the County right of way that may be required by Medina for the Project. The Parties understand that any such access rights must be necessary for completion of the Project and shall be subject to applicable County Board or County staff approval requirements; these access rights will be granted at no cost to Medina. Any and all County permits required for the Project shall be granted by the County at no cost or expense to Medina or its contractors. Medina shall also obtain, and comply with, any and all permits and approvals required from other governmental or regulatory agencies to accomplish the Project.

2.5.3 Right of Way Costs. The County's share in right of way cost required for complete construction of the Project is currently estimated to be \$9,450 which is a part of the total County's cost participation in the Project as listed in Section 3 below.

2.6. Traffic Signal. The Project will replace one traffic signal system on the intersection of CSAH 116 and Hackamore Road (System ID# 8057875) (the "Signal System") as further illustrated in the attached Exhibit E (Signal System Location). The Project will require a new signal cabinet equipped with controller, video detection equipment, and required accessories to be installed as a part of the Project.

- 2.6.1 Electrical Power.** Medina, at no cost to the County, shall: (1) install, cause the installation of, or perpetuate the existence of an adequate three wire, 120/240 volt, single phase, alternating current electrical power connection to the permanent traffic control signal systems and integral streetlights included in the Project; and (2) shall provide the electrical power for the operation of all permanent and temporary traffic control signal systems and integral traffic signal pole mounted luminaires installed as a part of the Project.
- 2.6.2 Emergency Vehicle Preemption (EVP).** The EVP Systems shall be managed and maintained by the County. The Cities shall report malfunctions of EVP systems to the County immediately after discovery of the malfunction.
- 2.6.3 Accessible Pedestrian Signal (APS).** Medina will install APS push buttons and associated components, and integrate the components to the existing traffic signal system at the intersections as described in the construction plans.
- 2.7. Street Lighting.** Medina, at no cost to the County, shall provide the electrical energy for the operation of all streetlights installed as part of the Project.
- 2.8. Asbestos.** The Project may include the removal of asbestos containing electrical conduit. Only firms licensed to conduct asbestos abatement shall be used for the safe removal of asbestos containing electrical conduit with proper shipping manifest prepared and submitted to appropriate agency. The lead agency in the Project construction shall be responsible for the oversight of the removal of asbestos containing electrical conduit and compliance with the abovementioned specifications.
- 2.9. Detours.** The Project may require limited detouring of traffic onto the Cities' streets. The Parties agree that there will be no compensation to the Cities for detours onto their respective streets required to construct the Project.
- 3. Cost Participation.** The County and the Cities will participate in the construction costs for the Project as provided herein.
- 3.1. County's Total Cost Participation.** The County's cost participation in the Project shall be a total Not to Exceed (NTE) amount of \$399,000 and shall be calculated based on only those portions of the Project construction cost identified in Exhibit A as the County's shares ("County Cost Participation"). The County Cost Participation includes the Project design, construction, construction administration, right of way, and the County's share of County Supplied Equipment estimated at \$30,000 as further described in Section 5.
- 3.2. Cities' Total Cost Participation.** The Parties understand and agree that the Cities' cost participation in the Project shall be managed per the Joint Powers Agreement ("City Cost Participation") and nothing contained herein amends or modifies the Joint Powers Agreement.
- 4. Payment.**

- 4.1. County Invoice.** The County, subject to the provisions stipulated in this Agreement, agrees to pay the County Cost Participation as described herein.
- 4.2. When to Invoice.** Upon completion of the Project, Medina shall notify the County and submit an invoice for one hundred percent (100%) of the County Cost Participation for the Project under this Agreement.
- 4.3. What to Include in the Invoice.** The invoice shall include: date of invoice, invoice number, name of the County construction project manager (Mr. Josh Jansen, P.E.), project name, county project number (CP 2183552), contract number, and purchase order number. For the final invoice, Medina shall provide the County with the Final Distribution of Costs document and a copy of the receipt of payment for the County Supplied Equipment, and provide the County with complete as built plans, prior to or concurrently with a request for payment.
- 4.4. Where to Send Invoice.** Invoices and supporting documentation should be sent by email to obf.internet@hennepin.us or by mail to: Hennepin County Accounts Payable, P.O. Box 1388, Minneapolis, MN 55440-1388. An electronic copy of all invoices and project documentation should also be submitted to transp.invoices@hennepin.us
- 4.5. Approval and Payment.** Upon approval and acceptance of the completed Project as well as all MnDOT ADA Compliance Checklist forms by the County Engineer or designated representative, and within forty-five (45) days of receipt of the invoice, the County shall reimburse Medina for its share of the costs for the Project under this Agreement.
- 4.6. Corcoran Invoice.** Corcoran, subject to the provisions stipulated in this Agreement and the Joint Powers Agreement, agrees to pay its share of the City Cost Participation as described herein. Such payments shall be made to Medina in accordance with the Joint Powers Agreement.
- 5. County Supplied Equipment.** The County will provide County Supplied Equipment consisting of a new traffic control signal cabinet equipped with controller, new video detection equipment, and required accessories to be installed as a part of the Project.
 - 5.1. Cost of County Supplied Equipment.** The Cities agree to reimburse the County for fifty percent (50%) of the County Supplied Equipment. For informational purposes only, the total estimated cost for the County Supplied Equipment is \$60,000.00 and the Cities' estimated share is \$30,000 ("Cities' Share of County Supplied Equipment"). The Cities agree that this is an estimate and that the actual quantities of equipment, as determined by the County Engineer, shall govern in computing the total final costs to the Cities. The Cities will directly pay the County for the County Supplied Equipment cost rather than applying their share as a credit against the County Cost Participation.
 - 5.2. Notification to County's Signal Shop.** Medina or its agents shall notify the County's Signal Shop Supervisor in writing a minimum of thirty (30) days prior to picking up the County Supplied Equipment. The County shall notify Medina when the County Supplied Equipment is ready to be picked up for field installation. It shall be the

responsibility of Medina or its agents to pick up the County Supplied Equipment at the Hennepin County Department of Transportation, Public Works Facility in Medina, Minnesota and install the equipment on the Project.

5.3. Invoice and Payment for County Supplied Equipment. Upon picking up of the County Supplied Equipment by Medina or its agents, the County will invoice Medina for the Cities' Share of County Supplied Equipment. Payment shall be made directly to the County, in the name of the Hennepin County Treasurer, for the full amount due as stated on the invoice within forty five (45) days of receipt of the invoice. Medina agrees to include a copy of the receipt of payment for the County Supplied Equipment in the final invoicing documentation to be sent to the County as provided in Subsection 4.3.

6. The Cities' Maintenance Responsibilities. The Cities, subject to the provisions stipulated by separate formal or informal agreements, will specifically divide up ownership and maintenance responsibilities of assets located within the boundaries of the Cities (the "Bordering Assets"). The Parties hereby understand and agree that for the sole purpose of ownership and maintenance responsibilities of the Bordering Assets, in this Agreement the Cities or "City" will be used to referred to Medina and Corcoran. Upon completion of the Project, the Cities shall provide the following year-round maintenance services at no cost to the County.

6.1. Roadways. Maintenance of the segment of Hackamore Road constructed or reconstructed under the Project within the Cities' corporate limits shall be the responsibility of the Cities subject to the terms of any maintenance agreements between the Cities. Maintenance includes, but is not limited to sweeping, debris removal, resurfacing and seal coating, and any other maintenance activities according to accepted Cities' maintenance practices.

6.2. Traffic Signal and Components.

6.2.1 Electrical Service Costs. The City, at its sole costs and expenses, shall provide electrical energy for the operation of the Signal System and shall maintain fuses and wires to the load side of the meter socket of the traffic Signal System and integral street lights/luminaires.

6.2.2 Traffic Signal System Adjustment. The City shall not revise by addition or deletion, nor alter or adjust any component, part, sequence, or timing of the Signal System, however, nothing herein shall prohibit prompt, prudent action by properly constituted authorities in situations where a part of such Signal System may be directly involved in an emergency.

6.2.3 Signal Luminaires. The City shall provide all required maintenance for the lamps on the luminaire extensions above the signals. Maintenance includes but is not limited to replacing burned out luminaire lamps, replacing fixtures, replacing other lighting components, and replacing fuse and wire from luminaire lamp to load side of meter socket of the Signal System.

- 6.2.4 Signal Painting.** Not applicable to the Project as the City does not intent to paint the Signal System.
- 6.2.5 Signal Cleaning.** The City shall be responsible for general cleaning and graffiti removal from the Signal System equipment and components.
- 6.2.6 Blocking County Roadways.** When performing the Signal System maintenance work under this Agreement, the City may partially block affected County roadways within its corporate limits if needed. In cases of emergency, such County roadways may be wholly blocked and the passage of traffic thereon prevented by the City. At no time, however, shall the City continue to obstruct the free passage of traffic on the County roadways for a longer period of time than is reasonably required for making the necessary traffic signal repairs. The City shall not cause any portions of the County roadways on which traffic control signals are to be maintained to be closed to traffic for any reason other than those above without receiving prior written approval from Hennepin County and in no event for a time longer than shall be necessary. In the event of the total blocking or closing of any such County roadways, the City shall provide a suitable detour during such time.
- 6.2.7 Materials.** When performing the Signal System maintenance work under this Agreement, the City shall be responsible for proper signing, marking, barricading and such other warning devices as may be required to adequately protect the pedestrian and vehicular traffic. All materials used by the City in the performance of the maintenance work shall conform to the requirements of the current Edition of the MnDOT "Standard Specifications for Highway Construction" and all amendments and supplements thereto. All traffic signs, pavement markings and warning devices shall comply with the current Minnesota Manual on Uniform Traffic Control Devices (MN MUTCD).
- 6.3. Street Lighting.** Not applicable to the Project.
- 6.4. Sidewalks and Pedestrian Ramps.** The Cities shall own and maintain sidewalks and pedestrian ramps constructed as part of the Project within the Cities' corporate limits. Maintenance includes, but is not limited to, snow and ice removal consistent with practices of adjoining trails maintained by the Cities, debris removal, patching, crack repair, and any other maintenance activities.
- 6.5. Multi-use Trail/Bicycle Facility.** The Cities shall own and maintain the newly constructed multi-use trail/bicycle facilities constructed as part of the Project within the Cities' corporate limits. Maintenance includes, but is not limited to, trail surfacing, sweeping, snow and ice removal consistent with practices of adjoining trails maintained by the Cities, and any other maintenance activities.
- 6.6. City Road Pavement Striping and Crosswalk Markings.** The Cities shall own and maintain all pavement striping and crosswalk markings for roadway users installed as a part of the Project on the segment of Hackamore Road constructed/reconstructed under the Project within the Cities' corporate limits.

- 6.7. Storm Sewers.** The Cities shall own and maintain catch basins, manholes, and trunk lines serving areas beyond the County right of way constructed or reconstructed under the Project within the Cities' corporate limits at no cost to the County. Maintenance includes but is not limited to repairs to structures, casting, and adjacent curb section repairs along with removal of sediments, vegetation, and ice. Storm sewers ownership and maintenance responsibilities are further illustrated in the attached Exhibit C. The Parties understand and agree that the term "City" used in the attached Exhibit C refers to both Medina and Corcoran.
- 6.8. Landscaping.** The Cities shall own and maintain all landscaping/streetscape installed as a part of the Project within the Cities' corporate limits.
- 7. The County's Maintenance Responsibilities.** Upon completion of the Project, the County shall provide year-round maintenance at its sole cost as outlined below:
- 7.1. Roadways.** Maintenance of the segment of CR 116 reconstructed under the Project. Maintenance includes, but is not limited to, sweeping, debris removal, resurfacing and seal coating, and any other maintenance activities according to accepted County maintenance practices.
- 7.2. Traffic Signal and Components.**
- 7.2.1 Locating Traffic Signal Electrical Power Service Drop Lines.** The County will be responsible for performing all underground location of electrical service drop from source of power (wood pole or other transformer location) to service cabinet of the Signal System for the purpose of various design and construction projects or other projects which may be required through the Gopher State One Call system, and furnishing all labor, materials, supplies, tools and other necessary items, without cost to the Cities.
- 7.2.2 Locating Traffic Signal Cable.** The County will be responsible for performing all underground location of signal equipment, conduit, wiring and related equipment for the purpose of various design and construction projects or other projects which may be required through the Gopher State One Call system, and furnishing all labor, materials, supplies, tools and other necessary items without cost to the Cities.
- 7.2.3 Locating Traffic Signal Fiber Optic Lines.** The County will be responsible for performing all underground location of fiber optic lines and related equipment for the purpose of various design and construction projects or other projects which may be required through the Gopher State One Call system, and furnishing all labor, materials, supplies, tools and other necessary items without cost to the Cities.
- 7.2.4 Traffic Signal Components.** The County shall be responsible for maintenance and repair of all traffic signal system components, including cabinets, controller, control equipment, conduit system and interconnect cable, signal poles, mast

arms, pushbutton posts, wiring, detection, EVP, signal heads, pedestrian pushbuttons, Pan Tilt and Zoom (PTZ) cameras, and mast-arm mounted street signs, without cost to the Cities.

- 7.2.5 Signal Head Indications.** The County shall provide all required maintenance for the signal head indications, without cost to the Cities. Maintenance includes but is not limited to replacement of signal indications for vehicular and pedestrian signal indications.
- 7.2.6 Traffic Signal Interconnect.** The County shall be responsible for maintenance and repair of all communication lines (primarily fiber optic lines) between the Signal System, other infrastructure, and County's traffic management center, without cost to the Cities.
- 7.2.7 Signal Timing and Coordination.** The County shall be responsible for signal timing and coordination. Timing and coordination include but are not limited to front page timing, coordination timing, EVP timing, pedestrian timing, and preemption timing, without cost to the Cities.
- 7.2.8 Traffic Signal Component Knockdowns.** The County shall be responsible for responding to signal and its component knockdown calls and repairing or replacing associated components damaged as a result of minor or major knockdowns to ensure proper functioning of traffic signals. These services shall be performed by the County, without cost to the Cities.
- 7.3. County Road Pavement Striping.** The County shall thereafter maintain and repair all pavement striping for CR 116 installed as a part of the Project at the expense of the County.
- 7.4. Storm Sewers.** The County shall own and maintain culverts, catch basins and leads, manholes, trunk lines and all other components that serve only County right of way constructed or reconstructed under the Project at no cost to the Cities. Maintenance includes repairs to structures, casting, and adjacent curb section repairs along with removal of sediments, vegetation, and ice. Storm sewers ownership and maintenance responsibilities are further illustrated in the attached Exhibit C.
- 8. Authorized Representatives.** In order to coordinate the services of the County with the activities of the Cities and vice versa so as to accomplish the purposes of this Agreement, the Hennepin County and the Cities' Engineers or their designated representatives shall manage this Agreement on behalf of the County and the Cities.

County of Hennepin:

Carla Stueve
County Highway Engineer
Hennepin County Public Works
1600 Prairie Drive, Medina, MN 55340
Office: 612-596-0356
Carla.Stueve@hennepin.us

City of Corcoran:

Jay Tobin
City Administrator
8200 County Road 116 Corcoran, MN 55340
Office: 763-420-2288
jtobin@corcoranmn.gov

City of Medina:

Scott Johnson
City Administrator
2052 County Road 24, Medina, MN 55340
Office: 763-473-8840
scott.johnson@medinamn.gov

9. Assignment, Amendments, Default, Waiver, Agreement Complete, Cancellation or Termination.

- 9.1. Assignment.** The parties hereto shall not generally assign, subcontract, transfer or pledge this Agreement and/or the services to be performed hereunder, without the prior written consent of the other parties. However, nothing in this section shall be construed to require a party to obtain consent to engage contractors on an individual task basis to complete the work contemplated in this Agreement.
- 9.2. Amendments.** Any alterations, variations, modifications or waivers of provisions of this Agreement shall only be valid when they have been reduced to writing as an amendment to this Agreement and signed by all the Parties hereto.
- 9.3. Default.** If any party shall fail to perform any of the provisions of this Agreement or so fail to administer the work as to endanger the performance of the Agreement, this shall constitute a default. Unless the defaulting party's default is excused by the non-defaulting parties, the non-defaulting parties may, upon written notice, immediately cancel this Agreement in its entirety.
- 9.4. Waiver.** Any party's failure to insist upon strict performance of any provision or to exercise any right under this Agreement shall not be deemed a relinquishment or waiver of the same, unless consented to in writing. Such consent shall not constitute a general waiver or relinquishment throughout the entire term of the Agreement.
- 9.5. Agreement Complete.** The entire Agreement between the Parties is contained herein and that this Agreement supersedes all oral agreements and negotiations between the Parties relating to the subject matter hereof. All items referred to in this Agreement are incorporated or attached and are deemed to be part of this Agreement.
- 9.6. Cancellation or Termination.** This Agreement may be terminated or cancelled by either party with or without cause upon thirty (30) day written notice. This Agreement shall be terminated or cancelled by either party upon a material breach by the other party. In the event of a termination or cancellation, the Parties will remain responsible

for cost participation as provided in this Agreement for obligations incurred up through the effective date of the termination or cancellation, subject to any equitable adjustment that may be required to account for the effects of a breach.

10. Indemnification.

10.1. Medina Indemnifies the County and Corcoran. Medina agrees to defend, indemnify and hold harmless the County and Corcoran, their officials, officers, agents, volunteers, and employees from any liability, claims, causes of action, judgments, damages, losses, costs or expenses, including reasonable attorneys' fees, resulting directly or indirectly from any act or omission of Medina or Medina's consultant or sub consultant, anyone directly or indirectly employed by them, and/or anyone for whose acts and/or omissions they may be liable in the performance of the services required by this Agreement, and against all loss by reason of the failure of Medina to perform fully, in any respect, all obligations under this Agreement. Medina's liability shall be governed by the provisions of Minnesota Statutes, Chapter 466 or other applicable law.

10.2. Corcoran Indemnifies the County and Medina. Corcoran agrees to defend, indemnify and hold harmless the County and Medina, their officials, officers, agents, volunteers, and employees from any liability, claims, causes of action, judgments, damages, losses, costs or expenses, including reasonable attorneys' fees, resulting directly or indirectly from any act or omission of Corcoran or Corcoran's consultant or sub consultant, anyone directly or indirectly employed by them, and/or anyone for whose acts and/or omissions they may be liable in the performance of the services required by this Agreement, and against all loss by reason of the failure of Corcoran to perform fully, in any respect, all obligations under this Agreement. Corcoran's liability shall be governed by the provisions of Minnesota Statutes, Chapter 466 or other applicable law.

10.3. The County Indemnifies the Cities. The County agrees to defend, indemnify and hold harmless the Cities, their officials, officers, agents, volunteers, and employees from any liability, claims, causes of action, judgments, damages, losses, costs or expenses, including reasonable attorneys' fees, resulting directly or indirectly from any act or omission of the County or the County's consultant or sub consultant, anyone directly or indirectly employed by them, and/or anyone for whose acts and/or omissions they may be liable in the performance of the services required by this Agreement, and against all loss by reason of the failure of the County to perform fully, in any respect, all obligations under this Agreement. The County's liability shall be governed by the provisions of Minnesota Statutes, Chapter 466 or other applicable law.

11. Insurance. The Cities agree that any future contract let by the Cities for the performance of any of the work included hereunder shall include clauses that will: 1) Require the contractor to indemnify and hold the County, its commissioners, officers, agents and employees harmless from any liability, claim, demand, judgments, expenses, action or cause of action of any kind or character arising out of any act or omission of the contractor, its officers, employees, agents or subcontractors; 2) Require the contractor to be an independent contractor for the purposes of completing the work provided for in this Agreement; and 3) Require the contractor to provide and maintain the following insurance so as to assure the

performance of its indemnification and hold harmless obligation.

	<u>Limits</u>
(1) Commercial General Liability on an occurrence basis with contractual liability coverage:	
General Aggregate	\$2,000,000
Products - Completed Operations Aggregate	\$2,000,000
Personal and Advertising Injury	\$1,500,000
Each Occurrence - Combined Bodily Injury and Property Damage	\$1,500,000
Hennepin County shall be named as an additional insured for the Commercial General Liability coverage with respect to operations covered under this Agreement.	
(2) Automobile Liability:	
Combined Single limit each occurrence coverage or the equivalent covering owned, non-owned, and hired automobiles:	\$1,500,000
(3) Workers' Compensation and employer's Liability:	
Workers' Compensation:	Statutory
If the contractor is based outside the State of Minnesota, coverage must apply to Minnesota laws.	
Employer's Liability. Bodily injury by:	
Accident – Each Accident	\$500,000
Disease – Policy Limit	\$500,000
Disease - Each Employee	\$500,000
(4) Professional Liability – Per Claim and Aggregate:	\$2,000,000

The above listed Professional Liability insurance will not be required in any construction contract let by the Cities if the Cities' contractors are not required to perform design engineering as part of the construction contract.

An umbrella or excess policy over primary liability coverages is an acceptable method to provide the required insurance limits.

The above subparagraphs establish minimum insurance requirements. It is the sole responsibility of the Cities' contractors to determine the need for and to procure additional insurance which may be needed in connection with the Project.

All insurance policies shall be open to inspection by the County and copies of policies shall

be submitted to the County upon written request.

12. Worker Compensation Claims.

12.1. Medina's Employees. Any and all employees of Medina and all other persons engaged by Medina in the performance of any work or services required or provided for herein to be performed by Medina shall not be considered employees of the County and/or Corcoran, and any and all claims that may or might arise under the Workers' Compensation Act or the Unemployment Compensation Act of the State of Minnesota on behalf of the employees while so engaged and any and all claims made by any third parties as a consequence of any act or omission on the part of the employees while so engaged on any of the work or services provided to be rendered herein shall in no way be the obligation or responsibility of the County and/or Corcoran.

12.2. Corcoran's Employees. Any and all employees of Corcoran and all other persons engaged by Corcoran in the performance of any work or services required or provided for herein to be performed by Corcoran shall not be considered employees of the County and/or Medina, and any and all claims that may or might arise under the Workers' Compensation Act or the Unemployment Compensation Act of the State of Minnesota on behalf of the employees while so engaged and any and all claims made by any third parties as a consequence of any act or omission on the part of the employees while so engaged on any of the work or services provided to be rendered herein shall in no way be the obligation or responsibility of the County and/or Medina.

12.3. County's Employees. Any and all employees of the County and all other persons engaged by the County in the performance of any work or services required or provided for herein to be performed by the County shall not be considered employees of the Cities, and any and all claims that may or might arise under the Workers' Compensation Act or the Unemployment Compensation Act of the State of Minnesota on behalf of the employees while so engaged and any and all claims made by any third parties as a consequence of any act or omission on the part of the employees while so engaged on any of the work or services provided to be rendered herein shall in no way be the obligation or responsibility of the Cities.

13. Records/Audits. The Cities agree that the County, the State Auditor, or any of their duly authorized representatives at any time during normal business hours, and as often as they may reasonably deem necessary, shall have access to and the right to examine, audit, excerpt and transcribe any books, documents, papers, records, etc., which are pertinent to the Project and the accounting practices and procedures of the Cities which involve transactions relating to this Agreement.

14. Nondiscrimination. The provisions of Title VI of the Civil Rights Act of 1964, Minnesota Statute Section 181.59, and any other applicable local ordinance relating to civil rights and discrimination and the Affirmative Action Policy statement of Hennepin County shall be considered a part of this Agreement as though fully set forth herein.

15. Counterparts/Electronic Signatures. This Agreement may be executed in one or more counterparts, each of which will be deemed to be an original copy of this Agreement and all

of which, when taken together, will be deemed to constitute one and the same agreement. The facsimile, email or other electronically delivered signatures of the Parties shall be deemed to constitute original signatures, and facsimile or electronic copies hereof shall be deemed to constitute duplicate originals.

- 16. Minnesota Laws Govern.** The laws of the State of Minnesota shall govern all questions and interpretations concerning the validity and construction of this Agreement and the legal relations between the Parties and their performance. The appropriate venue and jurisdiction for any litigation will be those courts located within the County of Hennepin, State of Minnesota. Litigation, however, in the federal courts involving the Parties will be in the appropriate federal court within the State of Minnesota.

(This space left intentionally blank)

IN TESTIMONY WHEREOF, the Parties hereto have caused this Agreement to be executed by their respective duly authorized officers and agree to be bound by the provisions herein set forth.

CITY OF CORCORAN

By: _____
Mayor

Date: _____

By: _____
City Administrator

Date: _____

CITY OF MEDINA

By: _____
Mayor

Date: _____

By: _____
City Administrator

Date: _____

COUNTY OF HENNEPIN

ATTEST:

By: _____
Deputy/Clerk of the County Board
Date: _____

By: _____
Chair of its County Board
Date: _____

And: _____
County Administrator
Date: _____

**REVIEWED BY
THE COUNTY ATTORNEY'S OFFICE:**

By: _____
Assistant County Attorney
Date: _____

And: _____
Assistant County Administrator, Public Works
Date: _____

RECOMMENDED FOR APPROVAL

By: _____
County Highway Engineer
Date: _____

REVIEWED:

By: _____
Sheri Selton
Date: _____

RECOMMENDED FOR APPROVAL

By: _____
Department Director, Transportation
Operations
Date: _____

EXHIBIT A

Engineer's Estimate and Division of Cost Summary

HENNEPIN COUNTY MINNESOTA

FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A" - SUMMARY

		TOTAL		Hennepin County		City of Medina		City of Corcoran
Construction Contract	\$	5,445,445.00	\$	294,713.12	\$	2,547,238.38	\$	2,547,238.38
Right of Way	\$	18,900.00	\$	9,450.00	\$	4,725.00	\$	4,725.00
Design Engineering	(2) \$	-	\$	35,365.57	\$	-	\$	-
Construction Engineering	(3) \$	-	\$	29,471.31	\$	-	\$	-
County Supplied (Traffic Signal) Equipment & Services	\$	60,000.00	\$	30,000.00	\$	15,000.00	\$	15,000.00
PROJECT TOTAL	(1) \$	5,524,345.00	\$	399,000.00	\$	2,566,963.38	\$	2,566,963.38

NOTES:

- (1) Hennepin County cost participation is not to exceed \$399,000 for CR 116 and Hackamore Road intersection costs.
- (2) 12% Design Engineering (Based on Awarded Intersection Construction Cost).
- (3) 10% Construction Engineering (Based on Awarded Intersection Construction Cost).

File Location:
[https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/Proposed/Agreement/Agreement Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx](https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/Proposed/Agreement/Agreement%20Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx); WORKSHEET:(EE Summary)

Last Update: 2/6/2024

FINAL

HENNEPIN COUNTY
MINNESOTA
FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
2021.501	MOBILIZATION	LS	\$149,816.34	1.00	\$149,816.34			1.00	\$149,816.34
2101.502	CLEARING	EACH	\$365.00	22.00	\$8,030.00			22.00	\$8,030.00
2101.502	GRUBBING	EACH	\$220.00	22.00	\$4,840.00			22.00	\$4,840.00
2101.505	CLEARING	ACRE	\$7,280.00	1.00	\$7,280.00			1.00	\$7,280.00
2101.505	GRUBBING	ACRE	\$4,160.00	1.00	\$4,160.00			1.00	\$4,160.00
2104.502	REMOVE SIGN	EACH	\$42.00	10.00	\$420.00			10.00	\$420.00
2104.502	SALVAGE SIGN	EACH	\$42.00	12.00	\$504.00			12.00	\$504.00
2104.502	SALVAGE MAIL BOX SUPPORT	EACH	\$78.00	14.00	\$1,092.00			14.00	\$1,092.00
2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	LF	\$2.00	456.00	\$912.00			456.00	\$912.00
2104.503	REMOVE FENCE	LF	\$3.50	950.00	\$3,325.00			950.00	\$3,325.00
2104.503	REMOVE CURB AND GUTTER	LF	\$11.00	275.00	\$3,025.00			275.00	\$3,025.00
2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S Y	\$7.00	309.00	\$2,163.00			309.00	\$2,163.00
2104.504	REMOVE BITUMINOUS PAVEMENT	S Y	\$2.40	20807.00	\$49,936.80			20807.00	\$49,936.80
2104.518	REMOVE CONCRETE WALK	S F	\$3.00	100.00	\$300.00			100.00	\$300.00
2104.601	SALVAGE AND REINSTALL LANDSCAPE STRUCTURES	LS	\$4,000.00	1.00	\$4,000.00			1.00	\$4,000.00
2106.507	EXCAVATION - COMMON (P)	C Y	\$18.80	14826.00	\$278,728.80			14826.00	\$278,728.80
2106.507	EXCAVATION - MUCK	C Y	\$20.50	5400.00	\$110,700.00			5400.00	\$110,700.00
2106.507	EXCAVATION - SUBGRADE	C Y	\$18.70	21350.00	\$399,245.00			21350.00	\$399,245.00
2106.507	GRANULAR EMBANKMENT (CV)	C Y	\$20.70	5400.00	\$111,780.00			5400.00	\$111,780.00
2106.507	SELECT GRANULAR EMBANKMENT (CV)	C Y	\$19.10	21350.00	\$407,785.00			21350.00	\$407,785.00
2106.507	COMMON EMBANKMENT (CV)	C Y	\$6.00	4100.00	\$24,600.00			4100.00	\$24,600.00
2106.507	STABILIZING AGGREGATE (CV)	C Y	\$52.00	2700.00	\$140,400.00			2700.00	\$140,400.00
2106.601	DEWATERING	LS	\$8,000.00	1.00	\$8,000.00			1.00	\$8,000.00
2108.504	GEOGRID TYPE 1	S Y	\$7.00	8622.00	\$60,354.00			8622.00	\$60,354.00
2108.504	GEOTEXTILE FABRIC TYPE 5	S Y	\$1.80	36528.00	\$65,750.40			36528.00	\$65,750.40
2112.519	SUBGRADE PREPARATION	RDST	\$180.00	72.00	\$12,960.00			72.00	\$12,960.00
2118.509	AGGREGATE SURFACING CLASS 2	TON	\$38.00	445.00	\$16,910.00			445.00	\$16,910.00
2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$175.00	30.00	\$5,250.00			30.00	\$5,250.00
2130.523	WATER	MGAL	\$41.00	174.00	\$7,134.00			174.00	\$7,134.00
2131.506	CALCIUM CHLORIDE SOLUTION	GAL	\$1.55	9393.00	\$14,559.15			9393.00	\$14,559.15
2211.507	AGGREGATE BASE (CV) CLASS 5	C Y	\$27.30	12300.00	\$335,790.00			12300.00	\$335,790.00
2231.503	BITUMINOUS PATCHING MIXTURE	LF	\$2.75	6557.00	\$18,031.75			6557.00	\$18,031.75
2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$164.00	50.00	\$8,200.00			50.00	\$8,200.00

File Location:
https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/ProjMgmt/Agreement/Proposed/Agreement Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx
 WORKSHEET:(Engineer's Estimate) Date: 7/18/2023

HENNEPIN COUNTY

MINNESOTA

FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
						QUANTITY	AMOUNT	QUANTITY	AMOUNT
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
2331.603	JOINT ADHESIVE	LF	\$0.70	6812.00	\$4,768.40			6812.00	\$4,768.40
2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$2.25	3479.00	\$7,827.75			3479.00	\$7,827.75
2360.504	TYPE SP 9.5 WEAR CRS MIX(2,C) 3.0" THICK	S Y	\$29.00	325.00	\$9,425.00			325.00	\$9,425.00
2360.509	TYPE SP 9.5 WEARING COURSE MIX (3,C)	TON	\$110.00	3096.00	\$340,560.00			3096.00	\$340,560.00
2360.509	TYPE SP 12.5 WEARING COURSE MIX (3,C)	TON	\$84.00	4128.00	\$346,752.00			4128.00	\$346,752.00
2360.509	TYPE SP 12.5 NON WEAR COURSE MIX (3,C)	TON	\$83.00	4128.00	\$342,624.00			4128.00	\$342,624.00
2504.602	ADJUST GATE VALVE & BOX	EACH	\$675.00	3.00	\$2,025.00			3.00	\$2,025.00
2504.602	IRRIGATION SYSTEM REPAIR	EACH	\$480.00	1.00	\$480.00			1.00	\$480.00
2531.503	CONCRETE CURB & GUTTER DESIGN B618	LF	\$18.00	6557.00	\$118,026.00			6557.00	\$118,026.00
2531.604	6" CONCRETE VALLEY GUTTER	S Y	\$96.00	39.00	\$3,744.00			39.00	\$3,744.00
2540.602	TEMPORARY MAIL BOX	EACH	\$42.00	14.00	\$588.00			14.00	\$588.00
2540.602	INSTALL MAIL BOX SUPPORT	EACH	\$68.00	14.00	\$952.00			14.00	\$952.00
2540.602	MAIL BOX	EACH	\$130.00	1.00	\$130.00			1.00	\$130.00
2557.602	REPAIR DOG FENCE	EACH	\$225.00	2.00	\$450.00			2.00	\$450.00
2557.603	INSTALL FENCE	LF	\$20.00	250.00	\$5,000.00			250.00	\$5,000.00
2563.601	TRAFFIC CONTROL	LS	\$12,400.00	1.00	\$12,400.00			1.00	\$12,400.00
2564.502	INSTALL SIGN	EACH	\$52.00	12.00	\$624.00			12.00	\$624.00
2564.518	SIGN PANELS TYPE C	S F	\$73.00	186.00	\$13,578.00			186.00	\$13,578.00
2573.501	STABILIZED CONSTRUCTION EXIT	LS	\$2,600.00	1.00	\$2,600.00			1.00	\$2,600.00
2573.501	CULVERT END CONTROLS	LS	\$530.00	1.00	\$530.00			1.00	\$530.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	\$110.00	30.00	\$3,300.00			30.00	\$3,300.00
2573.503	SILT FENCE, TYPE MS	LF	\$2.00	13700.00	\$27,400.00			13700.00	\$27,400.00
2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	LF	\$2.50	14500.00	\$36,250.00			14500.00	\$36,250.00
2573.503	SEDIMENT CONTROL LOG TYPE ROCK	LF	\$4.00	1000.00	\$4,000.00			1000.00	\$4,000.00
2574.507	COMMON TOPSOIL BORROW	C Y	\$29.70	2863.00	\$85,031.10			2863.00	\$85,031.10
2574.508	FERTILIZER TYPE 3	LB	\$0.70	1485.00	\$1,039.50			1485.00	\$1,039.50
2575.504	SODDING TYPE LAWN	S Y	\$7.75	4750.00	\$36,812.50			4750.00	\$36,812.50
2575.504	ROLLED EROSION PREVENTION CATEGORY 20	S Y	\$1.50	20534.00	\$30,801.00			20534.00	\$30,801.00
2575.505	RAPID STABILIZATION METHOD 2	ACRE	\$1,750.00	5.33	\$9,327.50			5.33	\$9,327.50
2575.508	SEED MIXTURE 25-141	LB	\$5.00	467.00	\$2,335.00			467.00	\$2,335.00
2575.523	WATER	MGAL	\$37.00	525.00	\$19,425.00			525.00	\$19,425.00
2575.605	SEEDING	ACRE	\$345.00	4.25	\$1,466.25			4.25	\$1,466.25
2582.503	4" SOLID LINE PAINT	LF	\$0.20	33819.00	\$6,763.80			33819.00	\$6,763.80
2582.503	24" SOLID LINE PAINT	LF	\$3.05	1500.00	\$4,575.00			1500.00	\$4,575.00

File Location:

https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/ProjMgmt/Agreement/Proposed/Agreement Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx
 WORKSHEET:(Engineer's Estimate) Date: 7/18/2023

HENNEPIN COUNTY

MINNESOTA

FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
2582.503	4" DBLE SOLID LINE PAINT	L F	\$0.42	18283.00	\$7,678.86			18283.00	\$7,678.86
2582.518	PAVT MSSG PAINT	S F	\$3.40	420.00	\$1,428.00			420.00	\$1,428.00
2021.501	MOBILIZATION	LS	\$5,500.00	1.00	\$5,500.00			1.00	\$5,500.00
2101.505	CLEARING	ACRE	\$7,300.00	0.10	\$730.00			0.10	\$730.00
2101.505	GRUBBING	ACRE	\$4,200.00	0.10	\$420.00			0.10	\$420.00
2104.518	REMOVE BITUMINOUS WALK	S F	\$1.00	1504.00	\$1,504.00			1504.00	\$1,504.00
2104.518	REMOVE CONCRETE WALK	S F	\$3.00	90.00	\$270.00			90.00	\$270.00
2108.504	GEOTEXTILE FABRIC TYPE 5	S Y	\$1.90	6186.00	\$11,753.40			6186.00	\$11,753.40
2360.504	TYPE SP 9.5 WEAR CRS MIX (2,B) 3.0" THICK	S Y	\$23.00	6217.00	\$142,991.00			6217.00	\$142,991.00
2521.518	6" CONCRETE WALK	S F	\$13.30	3636.00	\$48,358.80			3636.00	\$48,358.80
2531.618	TRUNCATED DOMES	S F	\$52.00	470.00	\$24,440.00			470.00	\$24,440.00
2574.507	COMMON TOPSOIL BORROW	C Y	\$40.00	625.00	\$25,000.00			625.00	\$25,000.00
2574.508	FERTILIZER TYPE 3	LB	\$1.00	273.00	\$273.00			273.00	\$273.00
2575.505	RAPID STABILIZATION METHOD 2	ACRE	\$1,750.00	0.80	\$1,400.00			0.80	\$1,400.00
2575.508	SEED MIXTURE 25-141	LB	\$5.00	78.00	\$390.00			78.00	\$390.00
2575.605	SEEDING	ACRE	\$345.00	0.80	\$276.00			0.80	\$276.00
2021.501	MOBILIZATION	LS	\$17,000.00	1.00	\$17,000.00			1.00	\$17,000.00
2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$500.00	7.00	\$3,500.00			7.00	\$3,500.00
2104.503	REMOVE SEWER PIPE (STORM)	L F	\$14.25	832.00	\$11,856.00			832.00	\$11,856.00
2106.601	DEWATERING	LS	\$7,600.00	1.00	\$7,600.00			1.00	\$7,600.00
2123.610	UTILITY CREW	HOURL	\$300.00	30.00	\$9,000.00			30.00	\$9,000.00
2501.502	12" RC PIPE APRON	EACH	\$1,500.00	2.00	\$3,000.00			2.00	\$3,000.00
2501.502	15" RC PIPE APRON	EACH	\$1,600.00	7.00	\$11,200.00			7.00	\$11,200.00
2501.502	24" RC PIPE APRON	EACH	\$2,100.00	4.00	\$8,400.00			4.00	\$8,400.00
2501.602	TRASH GUARD FOR 12" PIPE APRON	EACH	\$920.00	2.00	\$1,840.00			2.00	\$1,840.00
2501.602	TRASH GUARD FOR 15" PIPE APRON	EACH	\$1,000.00	7.00	\$7,000.00			7.00	\$7,000.00
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	\$1,450.00	4.00	\$5,800.00			4.00	\$5,800.00
2502.503	4" PERF TP PIPE DRAIN	L F	\$12.30	4928.00	\$60,614.40			4928.00	\$60,614.40
2502.503	4" PERF PE PIPE DRAIN	L F	\$23.00	870.00	\$20,010.00			870.00	\$20,010.00
2502.602	CONNECT TO EXISTING PIPE DRAIN	EACH	\$500.00	1.00	\$500.00			1.00	\$500.00
2502.602	4" PVC PIPE DRAIN CLEANOUT	EACH	\$450.00	28.00	\$12,600.00			28.00	\$12,600.00
2503.503	12" RC PIPE SEWER DES 3006 CL V	L F	\$65.00	1002.00	\$65,130.00			1002.00	\$65,130.00
2503.503	15" RC PIPE SEWER DES 3006 CL V	L F	\$75.00	2307.00	\$173,025.00			2307.00	\$173,025.00
2503.503	18" RC PIPE SEWER DES 3006 CL V	L F	\$85.00	156.00	\$13,260.00			156.00	\$13,260.00

File Location:

https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/ProjMgmt/Agreement%20Proposed/Agreement%20Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx
 WORKSHEET:(Engineer's Estimate) Date: 7/18/2023

HENNEPIN COUNTY
MINNESOTA

FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
2503.503	21" RC PIPE SEWER DES 3006 CL III	LF	\$107.00	27.00	\$2,889.00			27.00	\$2,889.00
2503.503	24" RC PIPE SEWER DES 3006 CL III	LF	\$96.00	493.00	\$47,328.00			493.00	\$47,328.00
2503.602	CONNECT TO EXISTING STORM SEWER	EACH	\$750.00	8.00	\$6,000.00			8.00	\$6,000.00
2503.602	CONNECT TO EXISTING MANHOLES	EACH	\$1,100.00	2.00	\$2,200.00			2.00	\$2,200.00
2504.604	4" POLYSTYRENE INSULATION	SY	\$69.00	100.00	\$6,900.00			100.00	\$6,900.00
2506.502	CONST DRAINAGE STRUCTURE DESIGN SPEC 1	EACH	\$2,750.00	14.00	\$38,500.00			14.00	\$38,500.00
2506.502	CASTING ASSEMBLY	EACH	\$920.00	33.00	\$30,360.00			33.00	\$30,360.00
2506.503	CONST DRAINAGE STRUCTURE DESIGN H	LF	\$585.00	18.00	\$10,530.00			18.00	\$10,530.00
2506.503	CONST DRAINAGE STRUCTURE DES 48-4020	LF	\$735.00	140.00	\$102,900.00			140.00	\$102,900.00
2506.503	CONST DRAINAGE STRUCTURE DES 60-4020	LF	\$1,100.00	20.00	\$22,000.00			20.00	\$22,000.00
2506.602	CHIMNEY SEAL	EACH	\$250.00	47.00	\$11,750.00			47.00	\$11,750.00
2511.507	RANDOM RIPRAP CLASS III	CY	\$115.00	94.00	\$10,810.00			94.00	\$10,810.00
2011.601	AS BUILT	LS	\$1,100.00	1.00	\$1,100.00	1.00	\$1,100.00		
2021.501	MOBILIZATION	LS	\$37,000.00	1.00	\$37,000.00	1.00	\$37,000.00		
2102.503	PAVEMENT MARKING REMOVAL	LF	\$1.00	600.00	\$600.00	600.00	\$600.00		
2102.518	PAVEMENT MARKING REMOVAL	SF	\$4.00	250.00	\$1,000.00	250.00	\$1,000.00		
2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	LF	\$2.00	1230.00	\$2,460.00	1230.00	\$2,460.00		
2104.503	REMOVE SEWER PIPE (STORM)	LF	\$20.00	75.00	\$1,500.00	75.00	\$1,500.00		
2104.503	REMOVE FENCE	LF	\$11.00	86.00	\$946.00	86.00	\$946.00		
2104.504	REMOVE BITUMINOUS PAVEMENT	SY	\$3.60	862.00	\$3,103.20	862.00	\$3,103.20		
2104.601	HAUL SALVAGED MATERIAL	LS	\$1.00	1.00	\$1.00	1.00	\$1.00		
2106.507	EXCAVATION - COMMON (P)	CY	\$13.50	771.00	\$10,408.50	771.00	\$10,408.50		
2106.507	EXCAVATION - MUCK	CY	\$37.00	150.00	\$5,550.00	150.00	\$5,550.00		
2106.507	EXCAVATION - SUBGRADE	CY	\$28.00	441.00	\$12,348.00	441.00	\$12,348.00		
2106.507	SELECT GRANULAR EMBANKMENT (CV)	CY	\$29.00	734.00	\$21,286.00	734.00	\$21,286.00		
2106.507	COMMON EMBANKMENT (CV)	CY	\$8.00	996.00	\$7,968.00	996.00	\$7,968.00		
2106.507	STABILIZING AGGREGATE (CV)	CY	\$58.00	189.00	\$10,962.00	189.00	\$10,962.00		
2108.504	GEOTEXTILE FABRIC TYPE 5	SY	\$1.80	1982.00	\$3,567.60	1982.00	\$3,567.60		
2118.509	AGGREGATE SURFACING CLASS 2	TON	\$62.00	70.00	\$4,340.00	70.00	\$4,340.00		
2211.507	AGGREGATE BASE (CV) CLASS 5	CY	\$39.00	462.00	\$18,018.00	462.00	\$18,018.00		
2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$199.00	8.00	\$1,592.00	8.00	\$1,592.00		
2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$3.00	284.00	\$852.00	284.00	\$852.00		
2360.504	TYPE SP 9.5 WEAR CRS MIX (2,B) 3.0" THICK	SY	\$39.00	37.00	\$1,443.00	37.00	\$1,443.00		
2360.509	TYPE SP 12.5 WEARING COURSE MIX (3,B)	TON	\$79.00	448.00	\$35,392.00	448.00	\$35,392.00		

File Location:
[https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/ProjMgmt/Agreement/Proposed/Agreement Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx](https://hennepin.sharepoint.com/teams/pw-transportationdesign/HC_Projects/116_2183552/ProjMgmt/Agreement/Proposed/Agreement%20Exhibits/2020V_CR116_HackamoreRdRecon_SEQ_Estimate.xlsx)
 WORKSHEET: (Engineer's Estimate) Last Update: 7/18/2023

HENNEPIN COUNTY
MINNESOTA
FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"

ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
						QUANTITY	AMOUNT	QUANTITY	AMOUNT
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
2360.509	TYPE SP 12.5 NON WEAR COURSE MIX (3.B)	TON	\$79.00	448.00	\$35,392.00	448.00	\$35,392.00		
2501.502	18" CS PIPE APRON	EACH	\$815.00	1.00	\$815.00	1.00	\$815.00		
2501.502	24" CS PIPE APRON	EACH	\$960.00	1.00	\$960.00	1.00	\$960.00		
2501.602	TRASH GUARD FOR 18" PIPE APRON	EACH	\$515.00	1.00	\$515.00	1.00	\$515.00		
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	\$560.00	1.00	\$560.00	1.00	\$560.00		
2503.503	18" CS PIPE SEWER	L F	\$93.00	19.00	\$1,767.00	19.00	\$1,767.00		
2503.503	24" CS PIPE SEWER	L F	\$110.00	20.00	\$2,200.00	20.00	\$2,200.00		
2511.507	RANDOM RIPRAP CLASS III	C Y	\$127.00	15.00	\$1,905.00	15.00	\$1,905.00		
2521.518	6" CONCRETE WALK	S F	\$13.30	1061.00	\$14,111.30	1061.00	\$14,111.30		
2531.503	CONCRETE CURB & GUTTER DESIGN B624	L F	\$45.00	255.00	\$11,475.00	255.00	\$11,475.00		
2531.618	TRUNCATED DOMES	S F	\$52.00	150.00	\$7,800.00	150.00	\$7,800.00		
2563.601	TRAFFIC CONTROL	LS	\$2,700.00	1.00	\$2,700.00	1.00	\$2,700.00		
2564.518	SIGN PANELS TYPE C	S F	\$73.00	21.00	\$1,533.00	21.00	\$1,533.00		
2565.516	TRAFFIC CONTROL SIGNAL SYSTEM	SYS	\$373,000.00	1.00	\$373,000.00	1.00	\$373,000.00		
2573.503	SILT FENCE, TYPE MS	L F	\$2.00	1375.00	\$2,750.00	1375.00	\$2,750.00		
2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	L F	\$2.55	1200.00	\$3,060.00	1200.00	\$3,060.00		
2574.507	COMMON TOPSOIL BORROW	C Y	\$38.00	299.00	\$11,362.00	299.00	\$11,362.00		
2574.508	FERTILIZER TYPE 3	LB	\$1.00	195.00	\$195.00	195.00	\$195.00		
2575.504	ROLLED EROSION PREVENTION CATEGORY 20	S Y	\$1.50	2689.00	\$4,033.50	2689.00	\$4,033.50		
2575.505	RAPID STABILIZATION METHOD 2	ACRE	\$1,750.00	0.56	\$980.00	0.56	\$980.00		
2575.508	SEED MIXTURE 25-141	LB	\$5.00	62.00	\$310.00	62.00	\$310.00		
2575.523	WATER	MGAL	\$37.00	55.00	\$2,035.00	55.00	\$2,035.00		
2575.605	SEEDING	ACRE	\$345.00	0.56	\$193.20	0.56	\$193.20		
2582.503	4" SOLID LINE MULTI COMP GR IN	L F	\$2.10	1960.00	\$4,116.00	1960.00	\$4,116.00		
2582.503	6" SOLID LINE MULTI COMP GR IN	L F	\$3.20	916.00	\$2,931.20	916.00	\$2,931.20		
2582.503	4" DOTTED LINE MULTI COMP GR IN	L F	\$2.10	920.00	\$1,932.00	920.00	\$1,932.00		
2582.503	4" DBLE SOLID LINE MULTI COMP GR IN	L F	\$4.25	1900.00	\$8,075.00	1900.00	\$8,075.00		
2582.503	24" SOLID LINE PREF THERMO GR IN	L F	\$24.00	156.00	\$3,744.00	156.00	\$3,744.00		
2582.518	PAVT MSSG PREF THERMO GR IN	S F	\$26.00	120.00	\$3,120.00	120.00	\$3,120.00		
2582.518	CROSSWALK PREF THERMO GR IN	S F	\$14.25	1188.00	\$16,929.00	1188.00	\$16,929.00		


HENNEPIN COUNTY
MINNESOTA

FINAL - ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
CITY OF MEDINA / CITY OF CORCORAN - HACKAMORE ROAD RECONSTRUCTION - S.A.P. 215-119-001, 250-103-002
CR 116: HENNEPIN COUNTY PROJ. NO.: 2183552
EXHIBIT "A"


ITEM NO.	ITEM DESCRIPTION	UNIT	UNIT COST	PROJECT TOTAL ESTIMATED		CR 1116 INTERSECTION CP 2183552 HENNEPIN CO. CITY OF MEDINA CITY OF CORCORAN		CITY OF MEDINA/ CITY OF CORCORAN SAP 215-119-001/ SAP 250-103-002	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	QUANTITY	AMOUNT
				TOTAL	\$5,445,445.00	TOTAL	\$701,936.50	TOTAL	\$4,743,508.50
TOTAL ESTIMATED CONSTRUCTION COST					\$5,445,445.00		\$701,936.50		\$4,743,508.50

EXHIBIT B

IT IS OK TO SUBMIT SCANNED COPIES



MnDOT ADA Compliance Checklist (Curb Ramp)



SP: City: District:

Intersection: Quadrant:

Ramp Type: Const. Year:

Compile all relevant documents (photos, checklist, notes, etc) of the completed quadrant and upload them using the HennPlace Asset Management Site. Registration is required. To create an account, please register for an account and use the following step-by-step reference guide on our ADA transition plan page under "checklist guide."

- (1) Minimum 4' wide pedestrian access route (PAR) maintained? Yes No
- (2) Landing meets min. 4'x4' and perpendicular grade break(s)? Yes No
- (3) Are landing(s) located at the top of each ramp and at change(s) in direction and at inverse grades? Yes No
- (4) Landing slopes (%): (TH) (TH) (SS) (SS)
- (5) Ramp's running slope (%): TH Initial TH Secondary SS Initial SS Secondary
- (6) Ramp's cross slope (%): TH Initial TH Secondary SS Initial SS Secondary
- (7) Gutter flow line slope (%): TH SS
- (8) Gutter inslope (%): TH SS
- (9) Roadway cross slope (%): TH SS

TH = Trunk Highway
 SS = Side Street

- (10) Do truncated domes cover the entire curb opening and are they properly oriented? Yes No
- (11) Are gutter line and ramps draining properly? Yes No
- (12) Are there any vertical discontinuities greater than 1/4" ? Yes No
- (13) Do ramps comply with Spec 2521.3? Yes No
- (14) Are ramps fully compliant? Yes No

If **NO**, check the reason(s) below. Explain why the ramp didn't meet compliance and how the ramp has been improved from the pre-construction condition (see ADA Compliance Checklist Guidance for more info and attach pages if needed).

Hennepin

Topography
 Structure(s)
 Utilities
 Contractor
 County

- (15) Was the curb ramp able to be built according to the plan details? Yes No


If **NO**, please explain:

Printed Name: Date (mm/dd/yyyy):


I certify that the information entered on this form is accurate to the best of my knowledge and that I fully understand the checklist standards and am qualified to carry out the inspection.

FILL OUT FORM AND SUBMIT TO HENNEPIN COUNTY

IT IS OK TO SUBMIT SCANNED COPIES



MnDOT ADA Compliance Checklist for APS



SP: City: District:
Intersection: Quadrant:
Construction Year:

Compile all relevant documents (photos, checklist, notes, etc) of the completed quadrant and upload them using the HennPlace Asset Management Site. Registration is required. To create an account, please register for an account and use the following step-by-step reference guide on our ADA transition plan page under "checklist guide."

- 1) Are push button stations placed and push button faces oriented in accordance with standards? Yes No
- 2) Is there a minimum 4' x 4' landing adjacent to each push button? Yes No
- 3) Distance from crosswalk edge to push button face (ft):

<input type="text"/>	<input type="text"/>
Trunk Hwy	Side Street
- 4) Distance from the push button to the back of curb: (measured in the direction of the pedestrian travel in ft)

<input type="text"/>	<input type="text"/>
Trunk Hwy	Side Street
- 5) Distance between push buttons (ft):
- 6) Push button height (inches):

<input type="text"/>	<input type="text"/>
Trunk Hwy	Side Street
- 7) Push button side reach (inches):

<input type="text"/>	<input type="text"/>
Trunk Hwy	Side Street
- 8) Is APS system fully compliant? Yes No

If **NO**, check one of the following reasons why. Explain why the component(s) didn't meet compliance (see ADA Compliance Checklist Guidance for additional directions). Hennepin

Topography Structure(s) Utilities Contractor County

- 9) Has a 6' maintenance access route (MAR) been maintained? Yes No
- 10) Are push buttons situated at least 2' away from both the back of walk and ramp grade break? Yes No
- 11) Are all newly constructed hand-hole(s) located outside of pedestrian access route (PAR)? Yes No
- 12) Push buttons placed according to the plan details? Yes No

If no, please describe/explain:

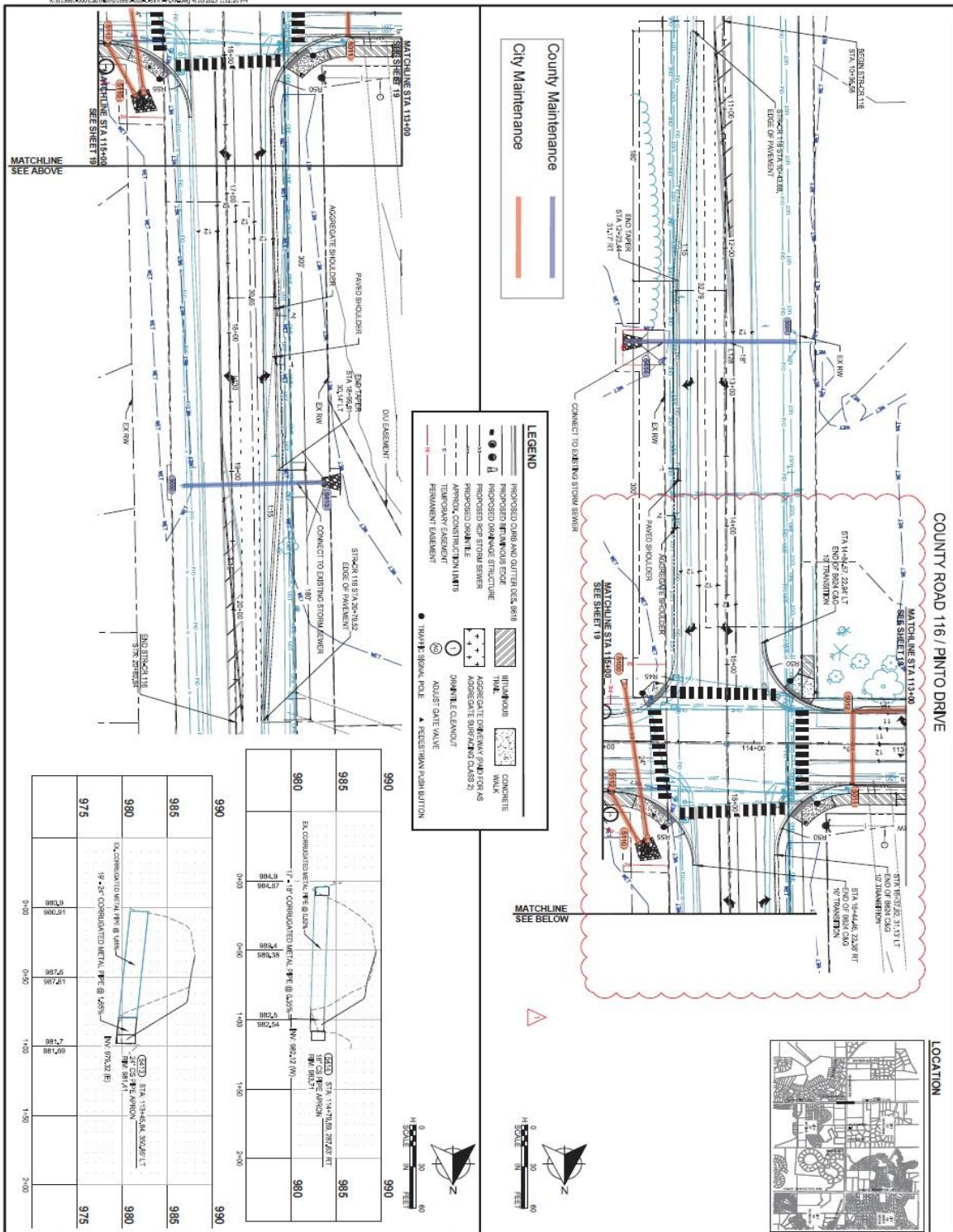
Printed Name: Date (mm/dd/yyyy):

I certify that the information entered on this form is accurate to the best of my knowledge and that I fully understand the checklist standards and am qualified to carry out the inspection.

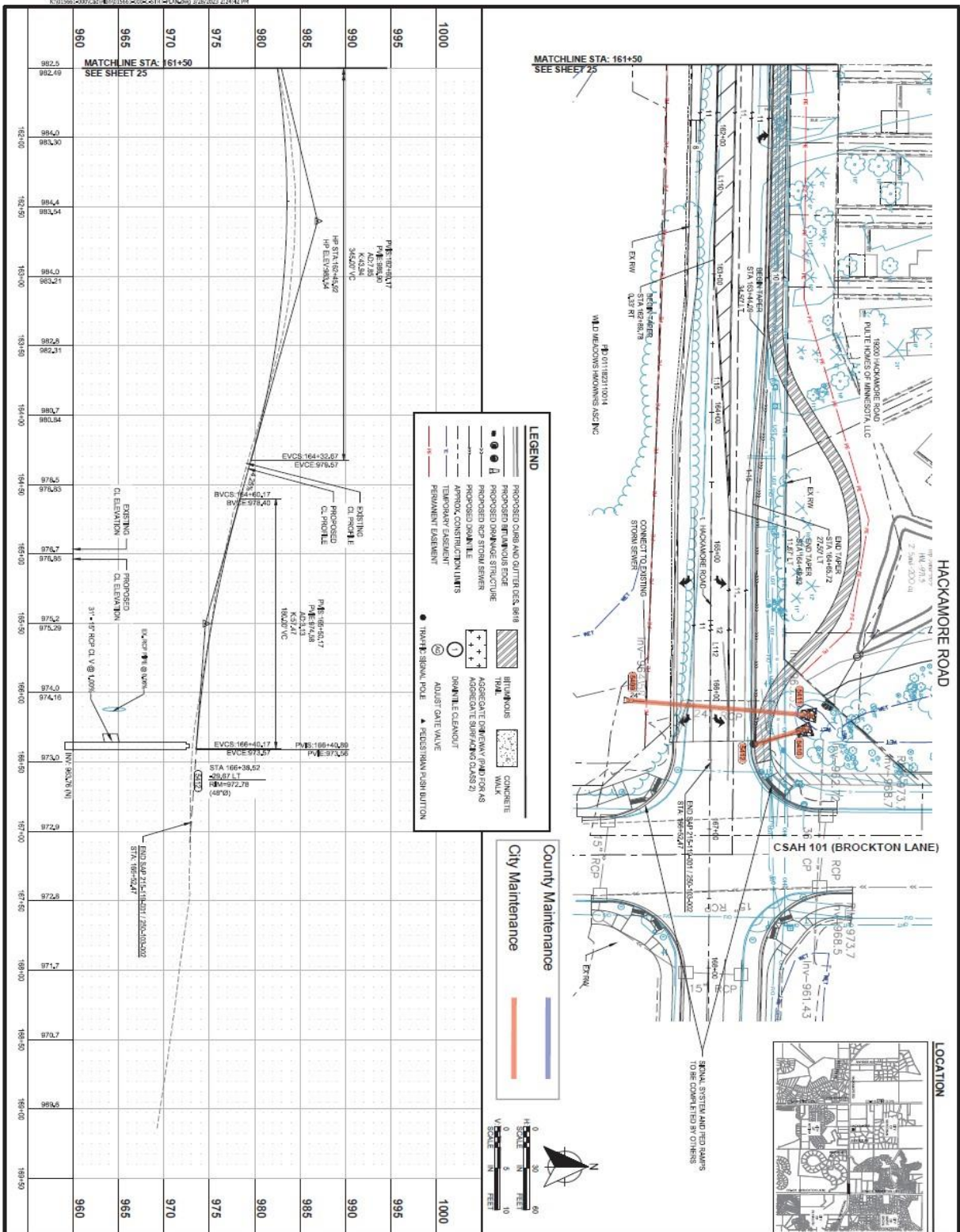
FILL OUT FORM AND SUBMIT TO HENNEPIN COUNTY

EXHIBIT C

Drainage Ownership and Maintenance Responsibilities



<p>S.A.P. SHEET 202410011 27 202410002 127</p>	<p>HACKAMORE RD IMPROVEMENTS PROJECT CITY OF MEDINA AND CITY OF CORCORAN</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/11/2023</td> <td>ADDENDUM #1</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	01/11/2023	ADDENDUM #1	<p>wsb PROJECT NO. 09089/001</p> <p>wsb</p> <p>DESIGN BY: JLS PLAN BY: JLS CHECK BY: JLS DATE: 03/07/2023</p>
NO.	DATE	DESCRIPTION							
1	01/11/2023	ADDENDUM #1							



S.A.P.		SHEET	
215-110-001	26	215-110-001	26
250-100-002	127	250-100-002	127

HACKAMORE RD IMPROVEMENTS PROJECT CITY OF MEDINA AND CITY OF CORCORAN	
STREET & STORM SEWER PLANS	DATE: 03/07/2023 LIC. NO: 45762

HEREBY CERTIFY THAT THE PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
<i>James L. Streibel</i>	JAMES L. STREIBEL

REVISIONS		
NO.	DATE	DESCRIPTION

SCALE	AS SHOWN	DRAWN BY	DESIGN BY
PLANNED BY	CHECK BY	DATE	

WSB PROJECT NO.	015661-000

EXHIBIT D Project Plan Title Sheet

EXISTING PLAN SYMBOLS

PROPERTY LINES/BOUNDARY

UTILITY EXISTENCE

UTILITY LINE

SEWER

STORM

STRUCTURE

CONCRETE TIE

CONCRETE TIE

EXISTING UTILITY SYMBOLS

1/8" OR 1/4" SCALE

UNDERGROUND TO STRUCTURE

DATE LINE

UNDERGROUND POWER

UNDERGROUND WATER

WIRELESS TOWER

SMALLER POWER

STRUCTURE

CITY WALL

POWER POLE

ELECTRIC BOX

CITY MAIN

STRUCTURE

STRUCTURE MANHOLE

DATE LINE

PROPERTY

SHADE REPRESENTATION

MINNESOTA DEPARTMENT OF TRANSPORTATION HENNEPIN COUNTY CITY OF CORCORAN CITY OF MEDINA

CONSTRUCTION PLAN FOR RECLAMATION, BITUMINOUS PAVING, GRADING, CURB & GUTTER, ADA IMPROVEMENTS STORM SEWER IMPROVEMENTS, SIGNAL SYSTEM, AND APPURTENANT WORK

LOCATED ON HACKMORRE ROAD FROM 510' WEST OF MEDINA LAKE RD. TO CSAH 101 (BROCKTON LN N)

STATE PROJ. NO. 215-119-001 / 250-103-002

GRAND LENGTH: 7184.2 FEET 2.183 MILES
EXTENSION-LENGTH: 0 FEET 0 MILES
NET LENGTH: 7184.2 FEET 2.183 MILES

DESIGN DESIGNATION

10
PRESENT ADT (2025) 228
PROJECTED ADT (2040) 3360
DESIGN SPEED 30 MPH
DESIGN SPEED BASED ON STOPPING SIGHT DISTANCE 25
HEIGHT OF EYE 5.5
HEIGHT OF OBJECT 2.0

DESIGN SPEED NOT ACHIEVED AT: NA
FUNCTIONAL CLASSIFICATION: MA
NO. OF TRAFFIC LANES: 2
NO. OF TRAFFIC LANE SHOULDERS WITH STRUCTURAL DESIGN STRENGTH: 10 TON

DESIGN DESIGNATION TRIAL

DESIGN SPEED 25 MPH STOPPING DISTANCE HEIGHT OF EYE 5.5 HEIGHT OF OBJECT 2.0

PROJECT LOCATION

COUNTY: HENNEPIN
DISTRICT: METRO

SECT 1, TWP 118N, R102W

EXCAVATION NOTICE SYSTEM

A CALL TO Gopher State ONE (651-434-2020) IS REQUIRED 24 HOURS BEFORE TO BE OPENING ANY EXCAVATION.

UTILITY INFORMATION

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL 2. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHAPTER 8002, ENRITTED STANDARD GUIDELINES FOR THE COLLECTION AND REPORT OF EXISTING SUBSURFACE UTILITY DATA. Gopher One CALL TICKET NUMBER: 221031186, 221031186, 221031187, 221031188
UTILITY COORDINATION MEETING HELD ON: 05/20/2021, 04/24/2023

PLANNING REVISIONS

DATE	SHEET NO.	APPROVED BY
05/20/2021	1	AS
04/24/2023	4	AS

PLAN SET INDEX

SHEET NO.	DESCRIPTION
23	GENERAL LAYOUT
4	STATEMENT OF ESTIMATED QUANTITIES
6	STORM SEWER INSTALLATIONS
7	TYPICAL SECTIONS
9, 15	REMOVAL PLANS
10, 31	STREET & STORM SEWER PLANS
32, 37	PREFORMATION PLANS
44, 45	SMALL & LARGE POWER PLANS
63, 68	EROSION CONTROL PLANS
70, 71	STORMWATER POLLUTION PREVENTION PLAN
72, 73	STANDARD PLANS
74, 75	CROSS SECTIONS
97-127	

THIS PLAN SET CONTAINS 47 SHEETS

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE SUPPLEMENTAL SPECIFICATIONS DATED SEPTEMBER 2022 SHALL GOVERN.

ALL WORKING DRAWINGS SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL OF STANDARD PRACTICES FOR THE DESIGN AND CONSTRUCTION OF HIGHWAY STRUCTURES AND THE STANDARD SPECIFICATIONS FOR STANDARD SPECIFICATIONS.

ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2024 EDITION OF THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS.

RECOMMENDED

Dan Erickson
Hennepin County Engineer
Date: 2023/04/17 15:48:20 -0500

APPROVED

Dan Erickson
Digitally signed by Dan Erickson
Date: 2023/04/17 15:48:42 -0500

APPROVED FOR STATE ADT ENGINEER

James I. Strabel, PE
Date: 03/07/2023

CITY OF CORCORAN

City Engineer
Date: 4/14/23

CITY OF MEDINA

City Engineer
Date: 4/15/23

wsb

James I. Strabel, PE
License Number: 45782

WSP PROJ. NO. 015661-000
HENNEPIN COUNTY PROJ. NO. 2183552
S.A.P. 215-119-001 / 250-103-002

SHEET 4 OF 127

PLAN SET INDEX

SHEET NO.	DESCRIPTION
23	GENERAL LAYOUT
4	STATEMENT OF ESTIMATED QUANTITIES
6	STORM SEWER INSTALLATIONS
7	TYPICAL SECTIONS
9, 15	REMOVAL PLANS
10, 31	STREET & STORM SEWER PLANS
32, 37	PREFORMATION PLANS
44, 45	SMALL & LARGE POWER PLANS
63, 68	EROSION CONTROL PLANS
70, 71	STORMWATER POLLUTION PREVENTION PLAN
72, 73	STANDARD PLANS
74, 75	CROSS SECTIONS
97-127	

THIS PLAN SET CONTAINS 47 SHEETS

RECOMMENDED

Dan Erickson
Hennepin County Engineer
Date: 2023/04/17 15:48:20 -0500

APPROVED

Dan Erickson
Digitally signed by Dan Erickson
Date: 2023/04/17 15:48:42 -0500

APPROVED FOR STATE ADT ENGINEER

James I. Strabel, PE
Date: 03/07/2023

CITY OF CORCORAN

City Engineer
Date: 4/14/23

CITY OF MEDINA

City Engineer
Date: 4/15/23

wsb

James I. Strabel, PE
License Number: 45782

WSP PROJ. NO. 015661-000
HENNEPIN COUNTY PROJ. NO. 2183552
S.A.P. 215-119-001 / 250-103-002

SHEET 4 OF 127

EXHIBIT E Signal System Location



FINAL

STAFF REPORT

Agenda Item: 7h.

Council Meeting March 28, 2024	Prepared By Michelle Friedrich
Topic Draft Work Session Council Minutes – April 13, 2023	Action Required Informational

Summary

The draft Council Work Session Minutes for April 13, 2023, will be emailed on Tuesday, March 26, with hard copy provided to Council the evening of the March 28 meeting.

Attachments (Hard copies will be provided March 28, 2024)

1. 2023-04-13 Draft Work Session Council Minutes

STAFF REPORT

Agenda Item: 7i.

Council Meeting March 28, 2024	Prepared By Michelle Friedrich
Topic Draft Regular Council Minutes – April 13, 2023	Action Required Informational

Summary

The draft Council Regular Minutes for April 13, 2023, will be emailed on Tuesday, March 26, with hard copy provided to Council the evening of the March 28 meeting.

Attachments (Hard copies will be provided March 28, 2024)

1. 2023-04-13 Draft Regular Council Minutes

STAFF REPORT

Agenda Item: 7j.

City Council Meeting March 28, 2024	Prepared By Kendra Lindahl, AICP
Topic Trail Easement Correction for Bellwether 8 th Addition (City File No. 22-007)	Action Required Approval

Review Deadline N/A

1. Request

Pulte Homes of Minnesota, LLC has proposed a correction to the easement legal description for Bellwether 8th Addition. The easement was recorded at Hennepin County, but Pulte’s title examiner only recently noted the error. The City Attorney has prepared the first amendment to the trail easement for recording. The amendment requires the Mayor’s signature and, therefore, Council authorization. Once executed, the amendment will be filed with the County Recorder’s Office.

2. Recommendation

Move to authorize the Mayor and City Administrator to execute the first amendment to the trail easement for Bellwether 8th Addition.

Attachments

1. First Amendment to Trail Easement
2. Recorded Trail Easement

FIRST AMENDMENT TO TRAIL EASEMENT

This First Amendment to Trail Easement (this “Amendment”), is made this _____ day of _____, 2024, by and between Pulte Homes of Minnesota, LLC (“Grantor”) and the City of Corcoran, a Minnesota municipal corporation, (“Grantee”) Grantor and Grantee are sometimes collectively referred to herein as the “parties” or each a “party”.

RECITALS

WHEREAS, Grantor is the fee owner of certain real property in Hennepin County, Minnesota, legally described on the attached **Exhibit A** (“Grantor’s Property”); and

WHEREAS, on July 21, 2022, Grantor granted to Grantee a trail easement over Grantor’s Property in favor of Grantee and the same was recorded with the Hennepin County Recorder’s Office on September 8, 2022 as document number 11144129 (the “Original Trail Easement”); and

WHEREAS, Grantor and Grantee now mutually desire to amend the legal description of the Original Trail Easement but retain all other terms of the Original Trail Easement.

NOW THEREFORE, in consideration of the mutual covenants provided for herein as well as other good and valuable consideration, the sufficiency and receipt of which is hereby acknowledged by both parties hereto, Grantor and Grantee, hereby agree as follows:

- 1.) Amendment to Exhibit B of the Original Trail Easement. Grantor and Grantee hereby mutually agree to amend Exhibit B to the above described Original Trail Easement by deleting the existing Exhibit B and replacing it with **Exhibit B-2** (the “Trail Easement”), attached hereto and made a part hereof. Grantor grants and conveys to the Grantee the Trail Easement legally described and depicted on the attached Exhibits B-2, subject to all of the existing terms of the Original Trail Easement. All references to the “Trail Easement” within the Original Trail Easement shall hereafter refer to the Trail Easement described in Exhibit B-2. All other terms of the Original Trail Easement are unmodified by this Amendment, and remain in full force and effect.

2.) Binding Effect. The terms and conditions of this Amendment shall run with the land (Grantor's Property) and be binding on the Grantor and Grantee, and their respective successors and assigns.

[SIGNATURES ON FOLLOWING PAGE]

IN TESTIMONY WHEREOF, the parties hereto have signed this document as of the dates set forth below.

GRANTOR:

Pulte Homes of Minnesota, LLC

By: _____

Its: _____

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____ 2024, by _____, the _____, of Pulte Homes of Minnesota LLC, a Minnesota limited liability company, on behalf of the Corporation.

NOTARY PUBLIC

GRANTEE:

CITY OF CORCORAN

BY: _____
Tom McKee, Mayor

AND _____
Jay Tobin, City Administrator

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this _____ day of _____, 2024, by Tom McKee and Jay Tobin, respectively the Mayor and City Administrator of the City of Corcoran, a Minnesota municipal corporation, on behalf of the municipal corporation.

NOTARY PUBLIC

THIS INSTRUMENT WAS DRAFTED BY:
City of Corcoran
8200 County Road 116
Corcoran, MN 55430

EXHIBIT A

(“Grantor’s Property”)

Lots 1 through 15, Block 1, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 7, Block 2, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 20, Block 3, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 9, Block 4, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 18, Block 5, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 3, Block 6, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 11, Block 7, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 12, Block 8, Bellwether 8th Addition, Hennepin County, Minnesota.

Outlots A through G, Bellwether 8th Addition, Hennepin County, Minnesota.

EXHIBIT B-2

(“Trail Easement”)

EASEMENT DESCRIPTION BLOCK 3

A trail easement over, under, and across the southerly 10.00 feet of Lots 11,12,13, and 14, Block 3, BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Easement Area = 18,894 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 6

A 20.00 foot trail easement over, under, and across that part of Lot 1, Block 6, and Outlot B BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. The centerline of said easement is described as commencing at the southwest corner of said Lot 1; thence on an assumed bearing of North 89 degrees 59 minutes 37 seconds West along the south line of said Outlot B a distance of 6.19 feet to the actual point of beginning; thence North 14 degrees 16 minutes 55 seconds West a distance of 66.93 feet; thence 54.71 feet along a tangential curve, concave to the southwest, having a radius of 100.00 feet and a central angle of 31 degrees 20 minutes 50 seconds; thence 19.70 feet along a reverse curve, concave to the northeast, having a radius of 20.00 feet and a central angle of 56 degrees 25 minutes 50 seconds; thence North 10 degrees 48 minutes 05 seconds East a distance of 1.97 feet to the southerly right-of-way line of 102ND Place and there terminating;

The sidelines of said easement are to be shorten or prolonged to terminate at said southerly right-of-way line of 102nd Place and said south line of Outlot B.

Easement Area = 2,867 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 5

A trail easement over, under, and across that part of Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, and 18, Block 5, and Outlot A BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Beginning at the southwest corner of Lot 7, Block 2, said BELLWETHER 8TH ADDITION; thence on an assumed bearing of North 67 degrees 16 minutes 35 seconds East along the southerly line of said Lot 7 a distance of 84.37 feet; thence South 66 degrees 14 minutes 09 seconds East a distance of 250.80 feet; thence North 75 degrees 51 minutes 09 seconds East a distance of 39.83 feet to the most northerly east line of said Outlot A; thence on a bearing of South, along said most northerly east line, a distance of 22.06 feet; thence South 76 degrees 01 minutes 30 seconds West a distance of 54.37 feet; thence North 61 degrees 49 minutes 19

seconds West a distance of 83.63 feet; thence South 18 degrees 27 minutes 26 seconds East a distance of 71.58 feet; thence South 33 degrees 55 minutes 05 seconds West a distance of 221.64 feet to the easterly shared corner of said Lots 5 and 6; thence South 07 degrees 59 minutes 11 seconds West a distance of 79.11 feet to the easterly shared corner of said Lots 7 and 8; thence South 17 degrees 27 minutes 46 seconds East a distance of 79.82 feet to the easterly shared corner of said Lots 9 and 10; thence South 57 degrees 21 minutes 06 seconds East a distance of 419.25 feet; thence South 01 degrees 56 minutes 38 seconds West a distance of 160.87 feet to the northeasterly right-of-way line of Kenwood Lane; thence 25.29 feet along said northeasterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the north, having a radius of 270.00 feet, a central angle of 05 degrees 21 minutes 57 seconds and a chord that bears North 77 degrees 56 minutes 50 seconds West a distance of 25.28 feet; thence North 02 degrees 12 minutes 04 seconds West a distance of 136.28 feet; thence North 47 degrees 03 minutes 52 seconds West a distance of 70.23 feet to the northwest line of said Lot 17; thence North 57 degrees 56 minutes 39 seconds West a distance of 347.92 feet; thence North 09 degrees 47 minutes 31 seconds West a distance of 34.17 feet; thence South 71 degrees 50 minutes 22 seconds West a distance of 127.45 feet to the easterly right-of-way line of Kenwood Lane; thence 26.62 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the east, having a radius of 270.00 feet, a central angle of 05 degrees 38 minutes 56 seconds and a chord that bears North 17 degrees 27 minutes 31 seconds West a distance of 26.61 feet; thence North 82 degrees 54 minutes 09 seconds East a distance of 34.43 feet; thence North 71 degrees 50 minutes 22 seconds East a distance of 92.63 feet; thence North 04 degrees 56 minutes 42 seconds West a distance of 79.19 feet to the north line of said Lot 7; thence North 18 degrees 18 minutes 26 seconds East a distance of 47.15 feet; thence North 30 degrees 51 minutes 01 seconds East a distance of 160.87 feet; thence North 30 degrees 28 minutes 05 seconds East a distance of 125.74 feet; thence North 65 degrees 08 minutes 22 seconds West a distance of 114.30 feet; thence South 78 degrees 34 minutes 14 seconds West a distance of 89.89 feet to the easterly right-of-way line of Kenwood Lane; thence 22.10 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the southwest, having a radius of 165.00 feet, a central angle of 07 degrees 40 minutes 23 seconds and a chord that bears North 18 degrees 53 minutes 14 seconds West a distance of 22.08 feet to the point of beginning;

Easement Area = 40,038 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 5

A trail easement over, under, and across that part of Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, and 18, Block 5, and Outlot A BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Beginning at the southwest corner of Lot 7, Block 2, said BELLWETHER 8TH ADDITION; thence on an assumed bearing of North 67 degrees 16 minutes 35 seconds East along the southerly line of said Lot 7 a distance of 84.37 feet; thence South 66 degrees 14 minutes 09 seconds East a distance of 250.80 feet; thence North 75 degrees 51 minutes 09 seconds East a distance of 39.83 feet to the most northerly east line of said Outlot A; thence on a bearing of South, along said most northerly east line, a distance of 22.06 feet; thence South 76 degrees 01 minutes 30 seconds West a distance of 54.37 feet; thence North 61 degrees 49 minutes 19 seconds West a distance of 83.63 feet; thence South 18 degrees 27 minutes 26 seconds East a distance of 71.58 feet; thence South 33 degrees 55 minutes 05 seconds West a distance of 221.64 feet to the easterly shared corner of said Lots 5 and 6; thence South 07 degrees 59 minutes 11 seconds West a distance of 79.11 feet to the easterly shared corner of said Lots 7 and 8; thence South 17 degrees 27 minutes 46 seconds East a distance of 79.82 feet to the easterly shared corner of said Lots 9 and 10; thence South 57 degrees 21 minutes 06 seconds East a distance of 419.25 feet; thence South 01 degrees 56 minutes 38 seconds West a distance of 160.87 feet to the northeasterly right-of-way line of Kenwood Lane; thence 25.29 feet along said northeasterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the north, having a radius of 270.00 feet, a central angle of 05 degrees 21 minutes 57 seconds and a chord that bears North 77 degrees 56 minutes 50 seconds West a distance of 25.28 feet; thence North 02 degrees 12 minutes 04 seconds West a distance of 136.28 feet; thence North 47 degrees 03 minutes 52 seconds West a distance of 70.23 feet to the northwest line of said Lot 17; thence North 57 degrees 56 minutes 39 seconds West a distance of 347.92 feet; thence North 09 degrees 47 minutes 31 seconds West a distance of 34.17 feet; thence South 71 degrees 50 minutes 22 seconds West a distance of 127.45 feet to the easterly right-of-way line of Kenwood Lane; thence 26.62 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the east, having a radius of 270.00 feet, a central angle of 05 degrees 38 minutes 56 seconds and a chord that bears North 17 degrees 27 minutes 31 seconds West a distance of 26.61 feet; thence North 82 degrees 54 minutes 09 seconds East a distance of 34.43 feet; thence North 71 degrees 50 minutes 22 seconds East a distance of 92.63 feet; thence North 04 degrees 56 minutes 42 seconds West a distance of 79.19 feet to the north line of said Lot 7; thence North 18 degrees 18 minutes 26 seconds East a distance of 47.15 feet; thence North 30 degrees 51 minutes 01 seconds East a distance of 160.87 feet; thence North 30 degrees 28 minutes 05 seconds East a distance of 125.74 feet; thence North 65 degrees 08 minutes 22 seconds West a distance of 114.30 feet; thence South 78 degrees 34 minutes 14 seconds West a distance of 89.89 feet to the easterly right-of-way line of Kenwood Lane; thence 22.10 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the southwest, having a radius of 165.00 feet, a central angle of 07 degrees 40 minutes 23 seconds and a chord that bears North 18 degrees 53 minutes 14 seconds West a distance of 22.08 feet to the point of beginning;

Easement Area = 40,038 Sq. Ft.

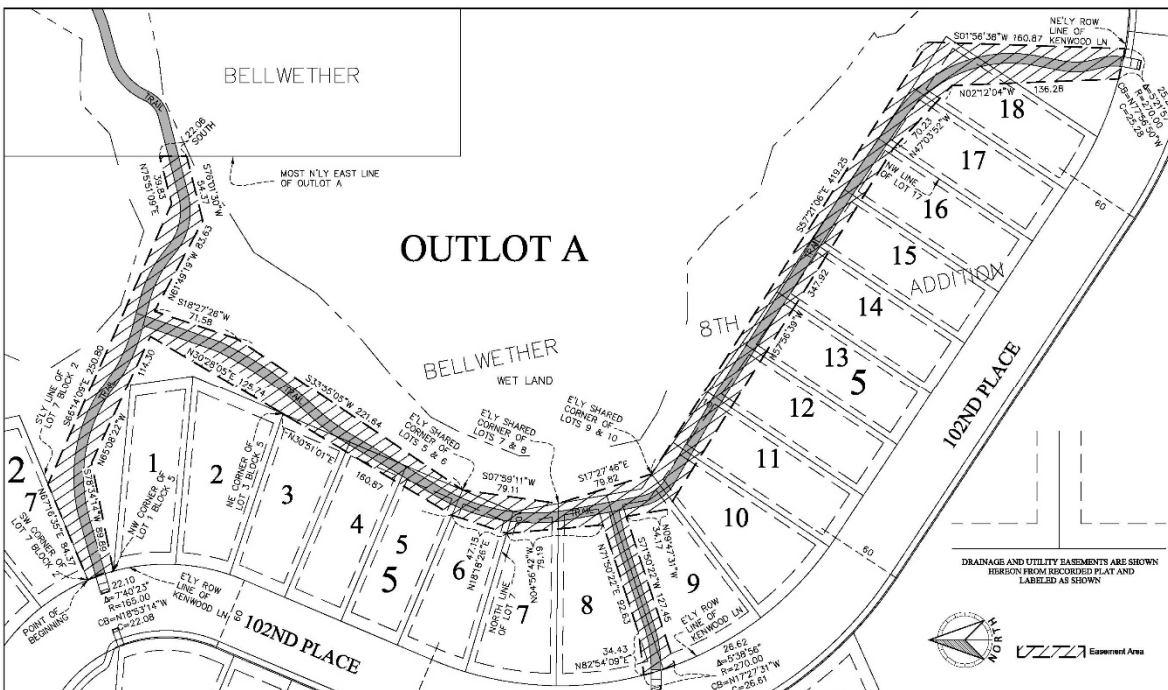
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 17th day of February, 2022.

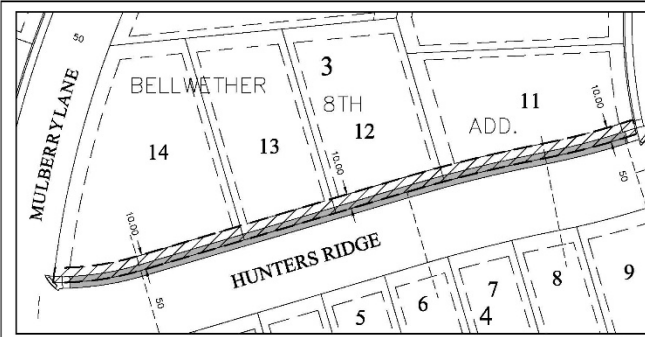
Daniel L. Schmidt

Daniel L. Schmidt, PLS Minnesota License No. 26147
schmidt@asttara.com

LAYOUT SHEET: 1 OF 3	REVISIONS	 SATHRE-BERGQUIST, INC. 1400 28TH AVENUE NORTH, SUITE 100 PLYMOUTH MN 55447 (952) 476-6000 WWW.SATHRE.COM	EASEMENT EXHIBIT PREPARED FOR PULTE HOMES OF MINNESOTA
JOB #72805-313-0001	03-08-2024 - Update Block 5 Trail Easement		
DRAWN BY: CMT			
CHECKED BY: DLS			
DATE: 2/10/2022			



LAYOUT SHEET: 2 OF 3	REVISIONS	 SATHRE-BERGQUIST, INC. 1400 28TH AVENUE NORTH, SUITE 100 PLYMOUTH MN 55447 (952) 476-6000 WWW.SATHRE.COM	EASEMENT EXHIBIT PREPARED FOR PULTE HOMES OF MINNESOTA	 SCALE IN FEET
JOB #72805-313-0001				
DRAWN BY: CMT				
CHECKED BY: DLS				
DATE: 2/10/2022				



EASEMENT DESCRIPTION BLOCK 3

A trail easement over, under, and across the southerly 10.00 feet of Lots 11, 12, 13, and 14, Block 3, BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

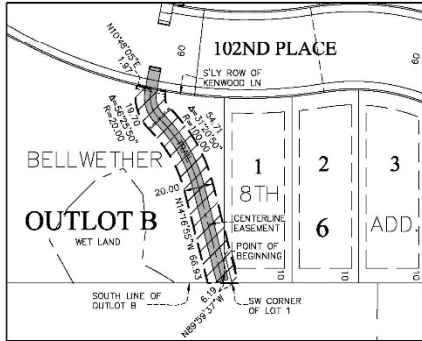
Easement Area = 18,894 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 6

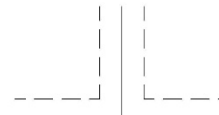
A 20.00 foot trail easement over, under, and across that part of Lot 1, Block 6, and Outlot B BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. The centerline of said easement is described as commencing at the southwest corner of said Lot 1; thence on an assumed bearing of North 89 degrees 59 minutes 37 seconds West along the south line of said Outlot B a distance of 6.19 feet to the actual point of beginning; thence North 14 degrees 16 minutes 55 seconds West a distance of 66.93 feet; thence 54.71 feet along a tangential curve, concave to the southwest, having a radius of 100.00 feet and a central angle of 31 degrees 20 minutes 50 seconds; thence 19.70 feet along a reverse curve, concave to the northeast, having a radius of 20.00 feet and a central angle of 56 degrees 25 minutes 50 seconds; thence North 10 degrees 48 minutes 05 seconds East a distance of 1.97 feet to the southerly right-of-way line of 102ND Place and there terminating;

The sidelines of said easement are to be shortened or prolonged to terminate at said southerly right-of-way line of 102nd Place and said south line of Outlot B.

Easement Area = 2,867 Sq. Ft.



 Easement Area



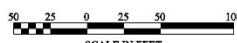
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN HEREIN FROM RECORDED PLAT AND LABELED AS SHOWN

LAYOUT SHEET: 3 OF 3	REVISIONS
JOB #: 72805-313-9001	
DRAWN BY: CMT	
CHECKED BY: DLS	
DATE: 2/10/2022	

REVISIONS

 **SATHRE-BERQUIST, INC.**
 1600 28TH AVENUE NORTH, SUITE 100
 PLYMOUTH MN 55447 (612) 475-6000
 WWW.SATHRE.COM

EASEMENT EXHIBIT
 PREPARED FOR
PULTE HOMES OF MINNESOTA


 SCALE IN FEET

Agenda Attachment Item: 7j2.

No delinquent taxes

Transfer Entered

Sep 8, 2022 1:00 PM

Hennepin County, Minnesota
Mark Chapin
County Auditor and Treasurer



LAND TYPE Abstract (A)

DOC NUM 11144129

Certified, filed and/or recorded on
Sep 8, 2022 1:00 PM

Office of the County Recorder
Hennepin County, Minnesota
Amber Bougie, County Recorder
Mark Chapin, County Auditor and Treasurer

Deputy 26

Pkg ID 2487899C

Document Recording Fee

\$46.00

Document Total

\$46.00

TRAIL EASEMENT

This public Trail Easement (this "Trail Easement") is made this 21 day of July, 2022 by Pulte Homes of Minnesota, LLC, a limited liability company, ("Grantor") in favor of the City of Corcoran, a Minnesota municipal corporation, ("Grantee").

RECITALS

WHEREAS, Grantor is the fee owner of certain real property in Hennepin County, Minnesota, legally described on the attached **Exhibit A** ("Grantor's Property"); and

WHEREAS, Grantor desires to grant an easement for public trail purposes, as described and depicted in **Exhibit B** (the "Trail Easement"), to Grantee.

NOW THEREFORE, Grantor, for one dollar and other good and valuable consideration, the sufficiency and receipt of which is hereby acknowledged, hereby grants to said Grantee, its successors and assigns, the following:

- 1.) Grant of Trail Easement. Grantor grants and conveys to the Grantee the Trail Easement legally described and depicted on the attached **Exhibits B**. The Trail Easement shall be perpetual, shall run with the land, shall be binding upon Grantor and its successors and assigns and shall be for the benefit of Grantee and its successors and assigns. The Trail Easement shall be non-exclusive; provided, however, the Trail Easement shall be prior to and superior to any other easement hereafter granted. Any future easement shall be subject to and subordinate to, and shall not interfere with, the Trail Easement without the consent, in writing, of Grantee.

The Trail Easement granted herein includes the right of the Grantee, its contractors, agents, employees, and assigns to locate, install, construct, reconstruct, operate, maintain, inspect, alter and repair within the described Trail Easement any of the following facilities and amenities: public sidewalk or trail, trail signage, informational kiosks, benches, bike racks, fences, trail bridges/tunnels, and any other trail-related structure.

This easement is for public trail purposes. The trail may be open to the general public, and be used for outdoor recreation and commuting including but not limited to walking, jogging,

skating, biking, and uses allowed under State and Federal law including, but not limited to, other personal driven mobility devices (OPDMD's) and electric personal assistive devices. In addition, motor vehicles used for maintenance, law enforcement or other public uses will be permitted within the easement area.

- 2.) Property Rights and Execution Authority. Grantor warrants that 1) it owns good and marketable title to the easement areas described within this instrument, 2) has the unqualified right, title, and capacity to convey the Trail Easement to the Grantee, and 3) the undersigned is authorized to execute this Trail Easement on behalf of Grantor.
- 3.) Binding Effect. The terms and conditions of this instrument shall run with the land (Grantor's Property) and be binding on the Grantor, its successors and assigns.

[SIGNATURES ON FOLLOWING PAGE]

IN TESTIMONY WHEREOF, the Grantor hereto has signed this document this 21 day of July, 2022

GRANTOR:

Pulte Homes of Minnesota LLC

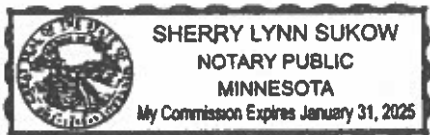
Chad Onsgard

By: Chad Onsgard

Its: Vice President of Development

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this 21 day of July, 2022 by Chad Onsgard, the Vice President of Development, of Pulte Homes of Minnesota LLC, a Minnesota limited liability company, on behalf of the Corporation.



Sherry Lynn Sukow

NOTARY PUBLIC

THIS INSTRUMENT WAS DRAFTED BY:
City of Corcoran
8200 County Road 116
Corcoran, MN 55430

EXHIBIT A

(“Grantor’s Property”)

Lots 1 through 15, Block 1, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 7, Block 2, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 20, Block 3, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 9, Block 4, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 18, Block 5, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 3, Block 6, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 11, Block 7, Bellwether 8th Addition, Hennepin County, Minnesota.

Lots 1 through 12, Block 8, Bellwether 8th Addition, Hennepin County, Minnesota.

Outlots A through G, Bellwether 8th Addition, Hennepin County, Minnesota.

EXHIBIT B

(“Trail Easement”)

EASEMENT DESCRIPTION BLOCK 3

A trail easement over, under, and across the southerly 10.00 feet of Lots 11,12,13, and 14, Block 3, BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Easement Area = 18,894 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 9

A 20.00 foot trail easement over, under, and across that part of Lot 1, Block 9, and Outlot B BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. The centerline of said easement is described as commencing at the southwest corner of said Lot 1; thence on an assumed bearing of North 89 degrees 59 minutes 37 seconds West along the south line of said Outlot B a distance of 6.19 feet to the actual point of beginning; thence North 14 degrees 16 minutes 55 seconds West a distance of 66.93 feet; thence 54.71 feet along a tangential curve, concave to the southwest, having a radius of 100.00 feet and a central angle of 31 degrees 20 minutes 50 seconds; thence 19.70 feet along a reverse curve, concave to the northeast, having a radius of 20.00 feet and a central angle of 56 degrees 25 minutes 50 seconds; thence North 10 degrees 48 minutes 05 seconds East a distance of 1.97 feet to the southerly right-of-way line of Kenwood Lane and there terminating;

The sidelines of said easement are to be shorten or prolonged to terminate at said southerly right-of-way line of Kenwood Lane and said south line of Outlot B.

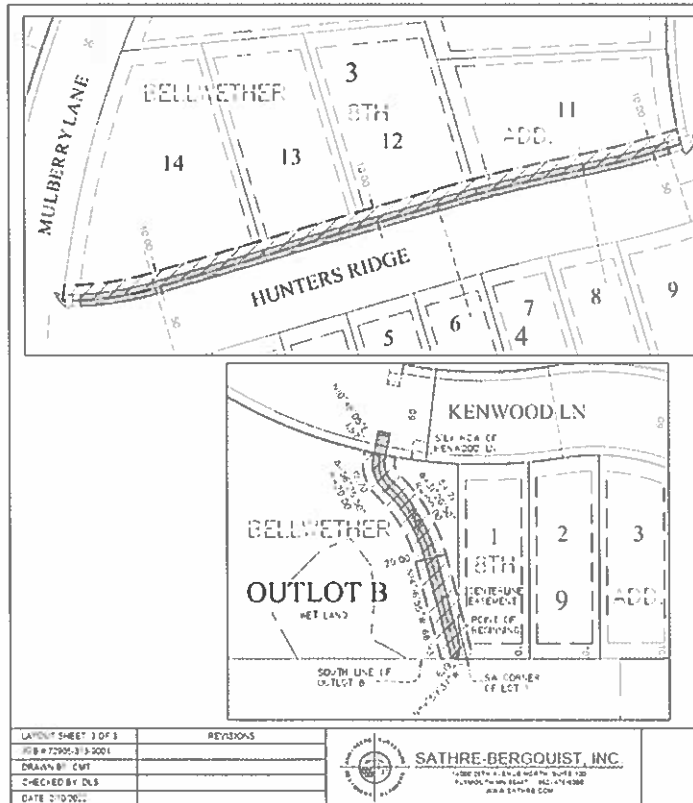
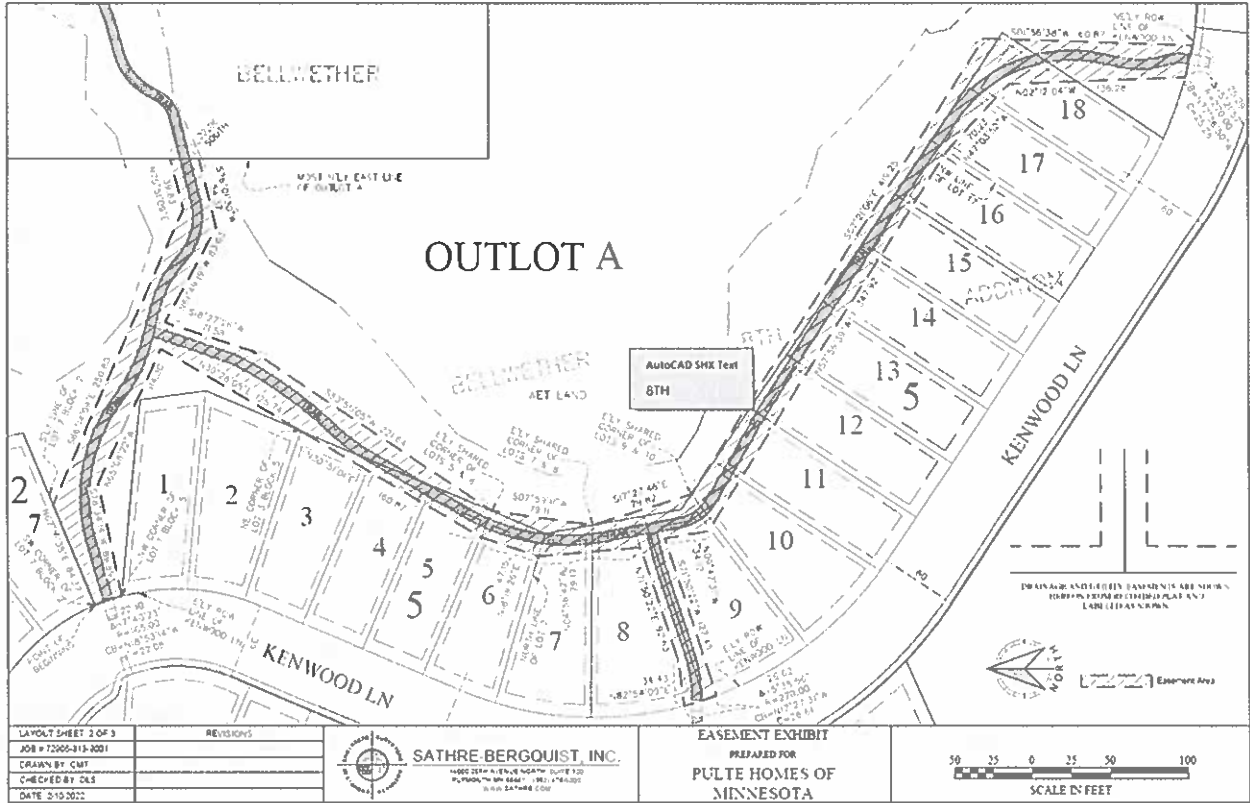
Easement Area = 2,867 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 5

A trail easement over, under, and across that part of Lots 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, and 18, Block 5, and Outlot A BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Beginning at the southwest corner of Lot 7, Block 2, said BELLWETHER 8TH ADDITION; thence on an assumed bearing of North 67 degrees 16 minutes 35 seconds East along the southerly line of said Lot 7 a distance of 84.37 feet; thence South 66 degrees 14 minutes 09 seconds East a distance of 250.80 feet; thence North 75 degrees 51 minutes 09 seconds East a distance of 39.83 feet to the most northerly east line of said Outlot A; thence on a bearing of South, along said most northerly east line, a distance of 22.06 feet; thence South 76 degrees 01 minutes 30 seconds West a distance of 54.37 feet; thence North 61 degrees 49 minutes 19 seconds West a distance of 83.63 feet; thence South 18 degrees 27 minutes 26 seconds East a distance of 71.58 feet; thence South 33 degrees 55 minutes 05 seconds West a distance of 221.64 feet to the easterly shared corner of said Lots 5 and 6; thence South 07 degrees 59 minutes 11 seconds West a distance of 79.11 feet to the easterly shared corner of said Lots 7 and 8; thence South 17 degrees 27 minutes 46 seconds East a distance of 79.82 feet to the easterly shared corner of said Lots 9 and 10; thence South 57 degrees 21 minutes 06 seconds East a distance of 419.25 feet; thence South 01 degrees 56 minutes 38 seconds West a distance of 160.87 feet to the northeasterly right-of-way line of Kenwood Lane; thence 25.29 feet along said northeasterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the north, having a radius of 270.00 feet, a central angle of 05 degrees 21 minutes 57 seconds and a chord that bears North 77 degrees 56 minutes 50 seconds West a distance of 25.28 feet; thence North 02 degrees 12 minutes 04 seconds West a distance of 136.28 feet; thence North 47 degrees 03 minutes 52 seconds West a distance of 70.23 feet to the northwest line of said Lot 17; thence North 57 degrees 56 minutes 39 seconds West a distance of 347.92 feet; thence North 09 degrees 47 minutes 31 seconds West a distance of 34.17 feet; thence South 71 degrees 50 minutes 22 seconds West a distance of 127.45 feet to the easterly right-of-way line of Kenwood Lane; thence 26.62 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the east, having a radius of 270.00 feet, a central angle of 05 degrees 38 minutes 56 seconds and a chord that bears North 17 degrees 27 minutes 31 seconds West a distance of 26.61 feet; thence North 82 degrees 54 minutes 09 seconds East a distance of 34.43 feet; thence North 71 degrees 50 minutes 22 seconds East a distance of 92.63 feet; thence North 04 degrees 56 minutes 42 seconds West a distance of 79.19 feet to the north line of said Lot 7; thence North 18 degrees 18 minutes 26 seconds East a distance of 47.15 feet; thence North 30 degrees 51 minutes 01 seconds East a distance of 160.87 feet; thence North 30 degrees 28 minutes 05 seconds East a distance of 125.74 feet; thence North 65 degrees 08 minutes 22 seconds West a distance of 114.30 feet; thence South 78 degrees 34 minutes 14 seconds West a distance of 89.89 feet to the easterly right-of-way line of Kenwood Lane; thence 22.10 feet along said easterly right-of-way line of Kenwood Lane along a non-tangential curve concave to the southwest, having a radius of 165.00 feet, a central angle of 07 degrees 40 minutes 23 seconds and a chord that bears North 18 degrees 53 minutes 14 seconds West a distance of 22.08 feet to the point of beginning;

Easement Area = 40,038 Sq. Ft.



EASEMENT DESCRIPTION BLOCK 3

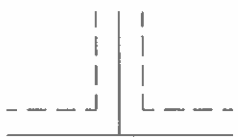
A trail easement over, under, and across the southerly 100 feet of Lots 11, 12, 13, and 14, Block 3, BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota

Easement Area = 18,894 Sq. Ft.

EASEMENT DESCRIPTION BLOCK 9

A 20.00 foot trail easement over, under, and across that part of Lot 1, Block 9, and Outlot B BELLWETHER 8TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota. The centerline of said easement is described as commencing at the southwest corner of said Lot 1; thence on an assumed bearing of North 89 degrees 59 minutes 37 seconds West along the south line of said Outlot B a distance of 6.19 feet to the actual point of beginning; thence North 14 degrees 16 minutes 55 seconds West a distance of 66.93 feet; thence 54.71 feet along a tangential curve, concave to the southwest, having a radius of 100.00 feet and a central angle of 31 degrees 20 minutes 50 seconds; thence 19.70 feet along a reverse curve, concave to the northeast, having a radius of 20.00 feet and a central angle of 56 degrees 25 minutes 50 seconds; thence North 10 degrees 48 minutes 05 seconds East a distance of 1.97 feet to the southerly right-of-way line of Kenwood Lane and there terminating.

Easement Area = 2,867 Sq. Ft.



STAFF REPORT

Agenda Item: 7k.

City Council Meeting: March 28, 2024	Prepared By: Kendra Lindahl, AICP
Topic: Final Plat and Final Planned Unit Development (PUD) for “Tavera 6th” (City File No. 23-033)	Action Required: Approval

Review Deadline: April 7, 2024

1. Request

The applicant, Lennar, has requested approval of the final plat and final PUD plan for Tavera 6th Addition. This phase includes 9 villa lots and 70 single family lots.

Key plan application materials are attached as part of this packet; however, due to size limitations not every item is included. The complete application is available at City Hall.

2. Background

On June 25, 2020, Council approved a comprehensive plan amendment, rezoning, preliminary plat and preliminary PUD plan for Tavera, a 549-unit development with a mix of single family, villa, twinhome and townhome units.

On January 25, 2021, Hennepin County approved a lot division for the Wessel property. The lot split did not require City Council approval because lot splits creating parcels at least 20-acres in size with 500 feet of frontage on a public street are exempt from subdivision by Minnesota Statute. The split created two parcels.

On April 8, 2021, Council approved Tavera 1st Addition for 33 single family units and three outlots. Access to the development from County Road 116 was constructed with this initial phase.

On July 22, 2021, Council approved a PUD amendment to allow 551 units to be developed and allow a modification to the temporary real estate time period.

On September 23, 2021, Council approved Tavera 2nd Addition for 46 single family units and five outlots.

On November 11, 2021, Council approved a PUD amendment to allow four additional stockpiles of grading material to be stored on site.

On February 10, 2022, Council approved Tavera 3rd Addition for nine single family units, 134 townhome units and 35 outlots.



Figure 1 - Location map

On August 28, 2022, Council approved Tavera 4th Addition for 80 single family units, 42 twinhome lots and 11 outlots.

On November 21, 2022, the Council approved Tavera 5th Addition with 26 single family lots.

3. Analysis

Staff has reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

A. Level of Discretion in City Decision-Making

The City's Discretion in approving a final PUD plan is limited to whether the proposed plan is in substantial conformance with the preliminary PUD plan. If it meets these standards, the City must approve the final PUD plan.

The City's discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City's Subdivision and Zoning Ordinance. If it meets these standards, the City must approve the final plat.

B. Consistency with the Ordinance Standards

Final PUD Plan

Staff has reviewed the application for consistency with the approved preliminary plans, as well as City policies. Staff finds that the final PUD is consistent with the approved preliminary plans. However, there are a number of conditions that must be addressed prior to release of final plat and authorization to begin construction.

The 6th Addition includes 79 lots. Only one phase remains for completion of the Tavera development. A homeowners association will be responsible for the maintenance of common areas.

Lot Dimensions and Setbacks

The preliminary PUD approvals granted some flexibility from lot size, width standards and rear yard setbacks for decks and patios. The approved standards are included in the approving resolutions. Because single family home buyers will select their individual home for each lot, staff will review setbacks for compliance with these standards as part of the building permit application.

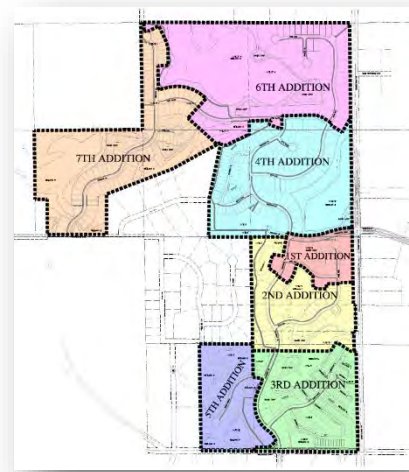


Figure 2 - Phasing Plan

Design Standards

Flexibility has been granted from the garage standards in Section 1040.040, Subd. 8 of the Zoning Ordinance as part of the preliminary approvals. Single family homes will be selected for each lot by the home buyers and must comply with all design and PUD standards. This phase includes villa, 65-foot and 75-foot lots. Single family homes will be reviewed at the time building permits are applied for to ensure compliance.

Equal architectural treatment is required on all sides of a villa or single family home that faces a public right-of-way or park. There are several lots in this phase that will be required to have the upgraded elevations.

The PUD allows rear yard setbacks to be reduced for 30 feet to 20 feet for deck/patios on most lots. However, the approvals specifically exempted a number of lots, including those proposed to be platted as Lots 17-28, Block 1. Decks and patios on those lots must comply with the 30-foot rear yard setback as they are adjacent to an existing neighborhood.

Utilities

The City Engineer's memo provides detailed utility comments.

Easements

The plat will provide new standard drainage and utility easements around the perimeter of lots and over the wetland areas (wetlands and wetland buffer). The City Engineer's memo indicates additional easement will be necessary for the storm sewer on the north side of Lot 1, Block 3.

Permanent drainage and utility easements are provided on the final plat for Outlot A and Outlot B as they are not proposed for future development phases. A temporary drainage and utility easement may be provided over Outlot C until the outlot is platted with a future phase.

Grading

The City Engineer's memo provides detailed comments on grading and stormwater for this project.

Streets

The 6th Addition will extend 68th Place west from the existing location. This street stub will terminate in a temporary cul-de-sac that will be extended as part of the future phase on the west.

Wetlands

Section 1050.010 establishes standards for the wetland overlay district. This includes the establishment of wetland buffer strips with an average width of 25 feet plus a 15 foot structure setback from the buffer edge. Wetland buffer signs are required to indicate the

contour of the buffer with a maximum spacing of 200 feet along the buffer edge. Wetland buffer signs are also required where the wetland buffer edge intersects with a lot or outlot line. The developer must work with the City wetland inspector during the establishment process. The homeowners association documents must reference this plan.

Landscaping

The applicant is required to provide one tree for each dwelling unit plus additional screening along County Road 116 to allow for the reduced setback. Additionally, as part of the PUD, the applicant was required to provide landscaping along the north property line.

This phase provides 242 trees to meet these requirements.

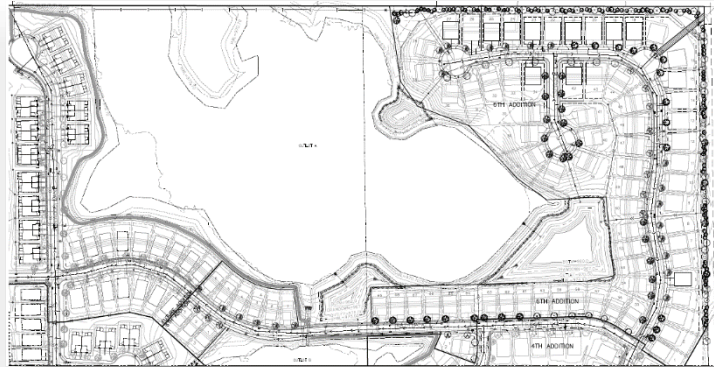


Figure 3 - Landscape Plan

Generally, the proposed street trees are evenly spaced in the front yard along the street to create a tree lined street canopy. Staff recommends that all trees be planted when the street is complete, but trees must be planted prior to issuance of a certificate of occupancy for the adjacent home.

The landscape plan should be revised to show the utility connections for each lot to ensure that proposed tree locations do not conflict with the location of underground utilities. The engineer's memo highlights area where landscaping must be adjusted.

Natural Resources

The City does not have a tree preservation ordinance; however, a significant portion of the wooded areas in the Tavera development will be preserved as one of the PUD benefits. A conservation easement for the tree protection areas was recorded with the previous phases. This phase has been graded and there were no tree preservation areas in this phase.

Parks and Trails

A number of trails are proposed in the Tavera development, including the Three Rivers Diamond Lake trail on the west side of the project. In this phase, the Three Rivers Trail will extend behind Lot 1, Block 2, then west on the south side of 68th Place before a mid-block crossing into Outlot A where it will wrap behind Block 4 and ultimately extend to Blue Bonnet.

The applicant's plans and density exhibits do not show this off-road trail being constructed in this phase; therefore, no park dedication credit will be granted. Staff is

comfortable deferring the construction of the trail north of 68th Place until the next phase of development, however, the location of the trail south of 68th Place must be finalized with the City and Three Rivers Park District and the trail easement provided for recording.

Another off-road trail is proposed between Lots 16 and 17, Block 1. This is not the location that trail was originally required to be placed. The original approval required the trail connection to be at what is now Lot 11, Block 1. The intention is to provide a connection to the future trail on County Road 116 and to the future park on the east end of Olde Sturbridge Road. Staff has evaluated the proposed location and finds no compelling reason to move the trail from the approved location at Olde Sturbridge Road.

- The Council should provide direction on this trail connection. Condition #12 of Resolution 2024-20 requires the plans to be revised to move the trail to Lot 11, Block 1 as originally approved.

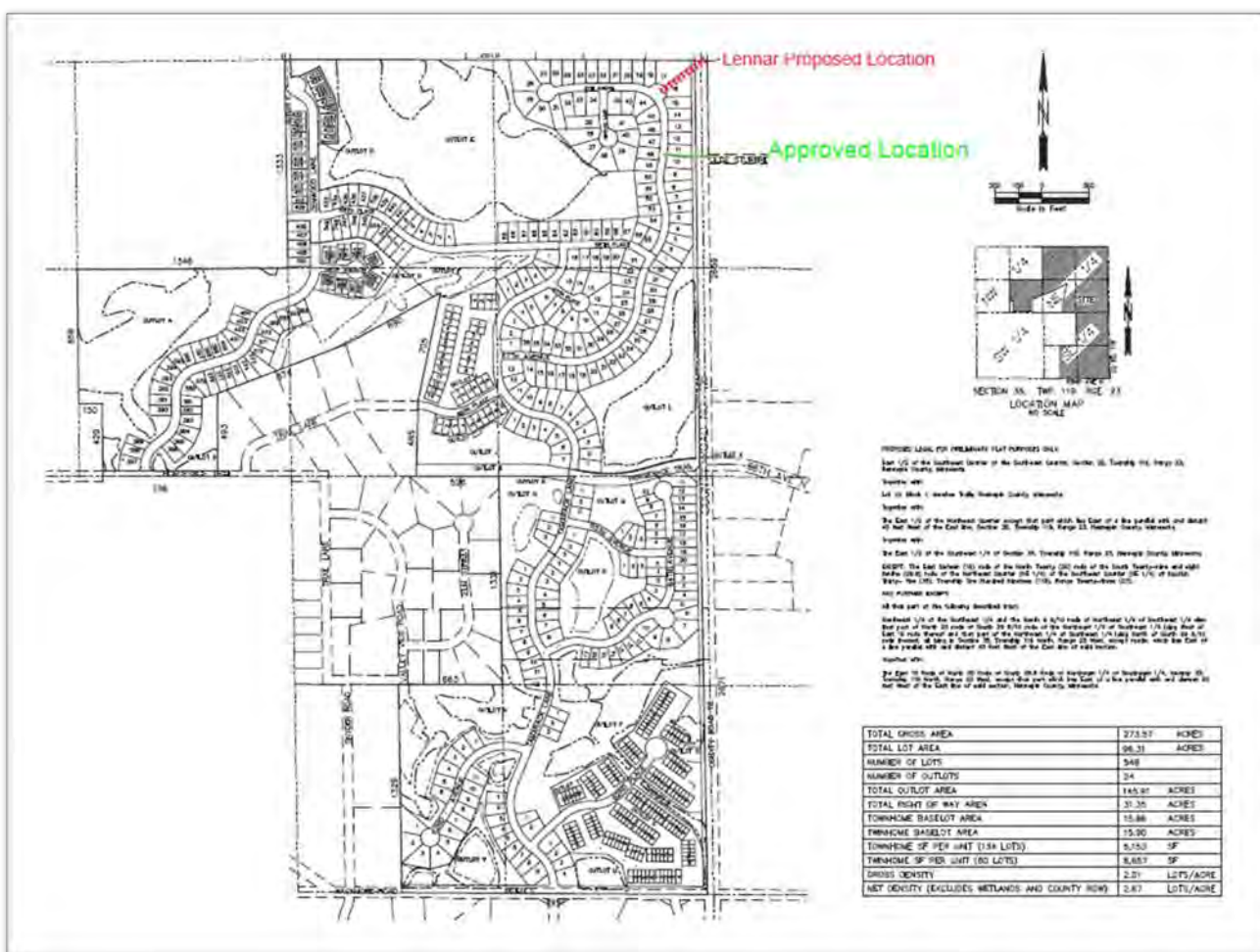


Figure 4 - Trail Connection Alternative

Park Dedication

The City should accept park dedication in the form of land where shown on maps. The City may accept cash-in-lieu of land if park dedication requirements are not met by dedicated land. Park dedication requirements for Tavera are based on the entire development. Park dedication for Tavera will be satisfied with a combination of park land dedication (trail easement and park land) plus cash-in-lieu of land. Park dedication will be based on the park dedication fee in place at the time the final plat is released for recording.

No parkland is proposed in this phase and park dedication for the 6th Addition shall be cash-in-lieu of land. The current fee schedule would require the following for the project:

$$79 \text{ single family units} \times \$5,954.00 = \mathbf{\$470,366.00}$$

Final Plat

The applicant is requesting approval of a final plat for 9 villa homes and 70 single family homes and two outlots. The final plat is consistent with the approved preliminary plat, with the exception of the trail location in Block 1 and staff has included a condition in the approving resolution.

Conclusion

Staff finds the proposed plan is consistent with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and preliminary PUD approvals. The staff report notes outstanding issues that must be addressed and staff has included conditions in the attached resolutions to address these issues.

4. Recommendation

Move to adopt the following:

- a. Resolution 2024-19 approving the final PUD plan
- b. Resolution 2024-20 approving the final plat and development contract

Attachments

1. Resolution 2024-19 Approving the Final PUD Plan
2. Resolution 2024-20 Approving the Final Plat and Development Contract
3. Draft Development Contract
4. Site Location Map
5. City Engineer's Memo dated March 19, 2024
6. Final PUD Plans dated February 5, 2024
7. Landscape Plan dated February 5, 2024
8. Final Plat dated February 5, 2024

9. Phasing Plan dated February 5, 2024
10. Trail location exhibit
11. Proposed Block 1 trail easement exhibit
12. Preliminary Plat Graphic

RESOLUTION NO. 2024-19

Motion By:
Seconded By:

APPROVING FINAL PLANNED UNIT DEVELOPMENT (PUD) PLAN FOR “TAVERA 6th ADDITION” FOR LENNAR) (CITY FILE NO. 23-033)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final planned unit development (PUD) plan for “Tavera 6th Addition” for 79 single family lots and three outlots on the property legally described as:

See Attachment A

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a final PUD plan for “Tavera 6th Addition”, subject to the following conditions:

1. A final PUD plan is approved to create 9 villa lots, 70 single family lots and three outlots for “Tavera 6th Addition”, in accordance with the plans and application received by the City on October 30, 2023 and additional information received on February 7, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final plat (Resolution 2024-20).
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant shall comply with all requirements of the City Engineer’s memo dated March 19, 2024.
5. All utility facilities, including but not limited to telephone, CATV, natural gas and electric power, shall be located underground. Underground service connections to the street property line of each platted lot shall be installed at the subdivider’s expense.
6. Lawn sprinkler/irrigation systems (where provided) shall have rain sensors to limit unnecessary watering.
7. The wetland buffer planting plan on Sheet 5.01 shall be revised as follows:
 - a. Specify seeding dates for wetland buffer as May 1 to July 1, or October 15 to freeze up.
 - b. No notes regarding site prep were provided. These should include:
 - i. Seed bed shall be finish graded with soil clumps no larger than 1” in diameter.
 - ii. Seed bed shall be free of vegetation.
 - iii. No debris (construction materials, garbage, rocks) shall be present.
 - iv. No other issues shall be present that would inhibit successful seeding.
 - v. Prior to seeding, notify City that site prep is completed and ready for inspection and approval.

RESOLUTION NO. 2024-19

- c. Add note stating that the City shall be notified at least 48 hours in advance of buffer seeding and shall conduct an onsite pre-seeding meeting with installer.
 - d. Provide square footage of areas to be seeded and lbs. of seed needed.
 - e. Plan should depict delineated wetland lines.
 - f. Under the “3-Year Maintenance Plan For Wetland Buffer Area Seeding”, revise note #4 with “Appropriate herbicide and management techniques shall be used to control invasive, non-native, and noxious weeds”. The plans identify using Sethoxydim, which is a grass herbicide that will kill all the native grasses.
8. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
- a. Wetland signs must be purchased from the City.
 - b. Wetland signs must be installed on treated 4x4 wooden posts.
 - c. Wetland buffer signs must be installed prior to issuance of building permits.
 - d. The installation of the wetland monument buffer signs according the approved plan must be certified by a registered land surveyor.
9. Wetland buffer plantings must be installed.
- a. A wetland buffer specialist from the City shall be present to observe the seeding of wetland buffer plantings. Seed varieties, amounts, equipment and cover crop species shall be inspected.
 - b. Wetland buffers shall be seeded during the grading process when conditions are appropriate.
 - c. Wetland buffers shall be seeded and/or planted as directed by the Corcoran Buffer Vegetation Establishment Plan.
10. The HOA shall be responsible for the maintenance of:
- a. Landscaping and any irrigation in the common areas.
 - b. Wetland and pond buffer areas.
 - c. Sidewalks.
 - d. All common areas, including signage, lighting and landscaping in those areas.

11. PUD flexibility is granted to establish the following lot standards for this development:

	75-foot lots	65-foot lots	Villa lots
Minimum Lot Area	9,000 sq. ft.	7,800 sq. ft.	7,000 sq. ft.
Minimum lot width	75 feet	65 feet	55 feet
Front, From Major Roadways*	60 feet	60 feet	60 feet
Front, From all other streets	25 feet /20 feet side street	25 feet /20 feet side street	25 feet /20 feet side street
Front Porch (≤ 120 square feet)	15 feet	15 feet	15 feet
Side (living)	7.5 feet	7.5 feet	7.5 feet
Side (garage)**	7.5 feet	7.5 feet	7.5 feet
Rear+	30 feet / 20 feet for deck/patios	30 feet / 20 feet for deck/patios	30 feet / 20 feet for deck/patios
Maximum Principal Building Height	35 feet	35 feet	35 feet

RESOLUTION NO. 2024-19

**Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2030 Roadway Functional Classification map in the 2030 Comprehensive Plan. (reduction from 100 feet to 60 feet per Section 1060.070, Subd. K)*

***Minimum separation between structures on adjacent parcels shall be 15 feet.*

+Homes on Tavera 6th Lots 17-28, Block 1 shall be required to meet the 30-foot rear yard setback for structures, including patios and decks.

12. All garages must have a 22-foot wide parking area between the garage and right-of-way that does not overlap into sidewalks, drives or streets.

~~13. The trail connecting to the future County Road 116 trail shall be relocated from Lot 16/17, Block 1 as currently shown to Lot 11, Block 1 as originally approved. This location allows a future connection to Olde Sturbridge Road and the open space park to the east. The trail easement shall be updated accordingly.~~

FUTHER, prior to the release of final plat for recording:

~~14.~~13. The applicant must meet with the City and Three Rivers Park District to finalize the location of the off-road trail south of 68th Place. ~~A trail easement document in recordable form must be provided for review and approval by the City.~~

~~15.~~14. A temporary blanket drainage and utility easement must be provided over Outlot C until it is replatted for development. The easement must be provided in recordable form.

~~16.~~15. The easement for the temporary turnaround on 68th Place must be provided in recordable form.

~~17.~~16. The applicant shall provide copies of the amended HOA documents/covenants for City review. The document shall address maintenance of the sidewalks, landscaping, wetland buffers, ponds, etc.

FUTHER, the following must be addressed prior to issuance of building permits:

~~18.~~17. The applicant shall provide equal architectural treatment on the elevations of a home that face a public right-of-way or public park. For example, if three sides of a home face a public right-of-way and/or a park, then equal architectural treatment shall be provided on those three sides of the building. The following lots are subject to this standard:

- a. Lots 1-16, 34, 42 and 55, Block 1
- b. Lot 1, Block 2

~~19.~~18. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.

- a. Wetland signs shall be purchased from the City.
- b. The final location of wetland signs must be inspected and approved by City staff.
- c. Monument signs shall be installed prior to approval of building permit.

~~20.~~19. Trees must be planted prior to issuance of certificate of occupancy for the adjacent home, unless an alternative timeline is approved by the City.

RESOLUTION NO. 2024-19

~~21.~~20. The plans shall show centralized mailbox locations. These mailbox locations shall be approved by the US Postal Service and proof of the approved locations provided to the City.

FURTHER, that the following conditions must be met prior to release of remaining escrow:

~~22.~~21. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying plantings have been correctly installed in compliance with the plans and specifications will suffice.

~~23.~~22. Any request for the City to inspect the required pond and wetland buffers in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying buffers have been correctly seeded in compliance with the plans and specifications will suffice.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-19

ATTACHMENT A

OUTLOT A, B, C, K and J, TAVERA 4th ADDITION, Hennepin County, Minnesota

RESOLUTION NO. 2024-19

Motion By:
Seconded By:

APPROVING FINAL PLANNED UNIT DEVELOPMENT (PUD) PLAN FOR “TAVERA 6th ADDITION” FOR LENNAR) (CITY FILE NO. 23-033)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final planned unit development (PUD) plan for “Tavera 6th Addition” for 79 single family lots and three outlots on the property legally described as:

See Attachment A

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a final PUD plan for “Tavera 6th Addition”, subject to the following conditions:

1. A final PUD plan is approved to create 9 villa lots, 70 single family lots and three outlots for “Tavera 6th Addition”, in accordance with the plans and application received by the City on October 30, 2023 and additional information received on February 7, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final plat (Resolution 2024-20).
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant shall comply with all requirements of the City Engineer’s memo dated March 19, 2024.
5. All utility facilities, including but not limited to telephone, CATV, natural gas and electric power, shall be located underground. Underground service connections to the street property line of each platted lot shall be installed at the subdivider’s expense.
6. Lawn sprinkler/irrigation systems (where provided) shall have rain sensors to limit unnecessary watering.
7. The wetland buffer planting plan on Sheet 5.01 shall be revised as follows:
 - a. Specify seeding dates for wetland buffer as May 1 to July 1, or October 15 to freeze up.
 - b. No notes regarding site prep were provided. These should include:
 - i. Seed bed shall be finish graded with soil clumps no larger than 1” in diameter.
 - ii. Seed bed shall be free of vegetation.
 - iii. No debris (construction materials, garbage, rocks) shall be present.
 - iv. No other issues shall be present that would inhibit successful seeding.
 - v. Prior to seeding, notify City that site prep is completed and ready for inspection and approval.

RESOLUTION NO. 2024-19

- c. Add note stating that the City shall be notified at least 48 hours in advance of buffer seeding and shall conduct an onsite pre-seeding meeting with installer.
 - d. Provide square footage of areas to be seeded and lbs. of seed needed.
 - e. Plan should depict delineated wetland lines.
 - f. Under the “3-Year Maintenance Plan For Wetland Buffer Area Seeding”, revise note #4 with “Appropriate herbicide and management techniques shall be used to control invasive, non-native, and noxious weeds”. The plans identify using Sethoxydim, which is a grass herbicide that will kill all the native grasses.
8. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
- a. Wetland signs must be purchased from the City.
 - b. Wetland signs must be installed on treated 4x4 wooden posts.
 - c. Wetland buffer signs must be installed prior to issuance of building permits.
 - d. The installation of the wetland monument buffer signs according the approved plan must be certified by a registered land surveyor.
9. Wetland buffer plantings must be installed.
- a. A wetland buffer specialist from the City shall be present to observe the seeding of wetland buffer plantings. Seed varieties, amounts, equipment and cover crop species shall be inspected.
 - b. Wetland buffers shall be seeded during the grading process when conditions are appropriate.
 - c. Wetland buffers shall be seeded and/or planted as directed by the Corcoran Buffer Vegetation Establishment Plan.
10. The HOA shall be responsible for the maintenance of:
- a. Landscaping and any irrigation in the common areas.
 - b. Wetland and pond buffer areas.
 - c. Sidewalks.
 - d. All common areas, including signage, lighting and landscaping in those areas.

11. PUD flexibility is granted to establish the following lot standards for this development:

	75-foot lots	65-foot lots	Villa lots
Minimum Lot Area	9,000 sq. ft.	7,800 sq. ft.	7,000 sq. ft.
Minimum lot width	75 feet	65 feet	55 feet
Front, From Major Roadways*	60 feet	60 feet	60 feet
Front, From all other streets	25 feet /20 feet side street	25 feet /20 feet side street	25 feet /20 feet side street
Front Porch (≤ 120 square feet)	15 feet	15 feet	15 feet
Side (living)	7.5 feet	7.5 feet	7.5 feet
Side (garage)**	7.5 feet	7.5 feet	7.5 feet
Rear+	30 feet / 20 feet for deck/patios	30 feet / 20 feet for deck/patios	30 feet / 20 feet for deck/patios
Maximum Principal Building Height	35 feet	35 feet	35 feet

RESOLUTION NO. 2024-19

**Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2030 Roadway Functional Classification map in the 2030 Comprehensive Plan. (reduction from 100 feet to 60 feet per Section 1060.070, Subd. K)*

***Minimum separation between structures on adjacent parcels shall be 15 feet.*

+Homes on Tavera 6th Lots 17-28, Block 1 shall be required to meet the 30-foot rear yard setback for structures, including patios and decks.

12. All garages must have a 22-foot wide parking area between the garage and right-of-way that does not overlap into sidewalks, drives or streets.
13. The trail connecting to the future County Road 116 trail shall be relocated from Lot 16/17, Block 1 as currently shown to Lot 11, Block 1 as originally approved. This location allows a future connection to Olde Sturbridge Road and the open space park to the east. The trail easement shall be updated accordingly.

FUTHER, prior to the release of final plat for recording:

14. The applicant must meet with the City and Three Rivers Park District to finalize the location of the off-road trail south of 68th Place. A trail easement document in recordable form must be provided for review and approval by the City.
15. A temporary blanket drainage and utility easement must be provided over Outlot C until it is replatted for development. The easement must be provided in recordable form.
16. The easement for the temporary turnaround on 68th Place must be provided in recordable form.
17. The applicant shall provide copies of the amended HOA documents/covenants for City review. The document shall address maintenance of the sidewalks, landscaping, wetland buffers, ponds, etc.

FUTHER, the following must be addressed prior to issuance of building permits:

18. The applicant shall provide equal architectural treatment on the elevations of a home that face a public right-of-way or public park. For example, if three sides of a home face a public right-of-way and/or a park, then equal architectural treatment shall be provided on those three sides of the building. The following lots are subject to this standard:
 - a. Lots 1-16, 34, 42 and 55, Block 1
 - b. Lot 1, Block 2
19. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. Wetland signs shall be purchased from the City.
 - b. The final location of wetland signs must be inspected and approved by City staff.
 - c. Monument signs shall be installed prior to approval of building permit.
20. Trees must be planted prior to issuance of certificate of occupancy for the adjacent home, unless an alternative timeline is approved by the City.

RESOLUTION NO. 2024-19

21. The plans shall show centralized mailbox locations. These mailbox locations shall be approved by the US Postal Service and proof of the approved locations provided to the City.

FURTHER, that the following conditions must be met prior to release of remaining escrow:

22. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying plantings have been correctly installed in compliance with the plans and specifications will suffice.

23. Any request for the City to inspect the required pond and wetland buffers in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying buffers have been correctly seeded in compliance with the plans and specifications will suffice.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-19

ATTACHMENT A

OUTLOT A, B, C, K and J, TAVERA 4th ADDITION, Hennepin County, Minnesota

RESOLUTION NO. 2024-20

Motion By:
Seconded By:

APPROVING FINAL PLAT AND DEVELOPMENT CONTRACT FOR “TAVERA 6th ADDITION” FOR LENNAR) (CITY FILE NO. 23-033)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final plat for “Tavera 6th Addition” for 79 single family lots and three outlots on the property legally described as:

See Attachment A

FURTHER, that the development contract for said plat shall be completed by City staff and the Mayor and City Administrator be authorized to execute the development contract on behalf of the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for final plat approval for “Tavera 6th Addition”, subject to the following conditions:

1. A final plat is approved to create 9 villa lots, 70 single family lots and three outlots for “Tavera 6th Addition”, in accordance with the plans and application received by the City on October 30, 2023 and additional information received on February 7, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final PUD plan (Resolution 2024-19) and is subject to all conditions.
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant shall comply with all requirements of the City Engineer’s memo dated March 19, 2024.

FURTHER, prior to the release of the final plat for recording:

5. The development contract must be executed by the developer and the City and must be filed with the final plat.
6. The financial guarantee and fees required by the development contract must be paid.
7. Park dedication shall be cash-in-lieu of land as outlined in the development contract.

FURTHER, that the following conditions must be met prior to issuance of building permits:

8. All permanent wetland buffer signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. The final locations must be approved by City staff.

RESOLUTION NO. 2024-20

- b. Wetland signs must be purchased from the City.
 - c. Monuments and signs shall be installed prior to approval of building permits.
 - d. The installation of the wetland monument buffer signs according to the approved plan must be certified by a registered land surveyor.
 - e. Wetland buffer planting shall be seeded with MnDOT 43-261 or 35-241 seed mix.
 - f. The wetland buffer planting and maintenance plan shall be revised and approved by the City for compliance with City policies prior to beginning work.
9. The applicant must file the final plat at Hennepin County within 2 years of the date of approval or the approval shall expire.
10. The following documents must be approved by the City Attorney and recorded at Hennepin County with the final plat:
- a. Development Contract
 - b. Stormwater Maintenance Agreement
 - c. Trail Easement for trail connection to County Road 116
 - ~~d. Trail Easement for Trail section south of 68th Place~~
 - ~~e.~~ d. Temporary turnaround easement for 68th Place
 - ~~f.~~ e. Temporary easement for Outlot C
 - ~~g.~~ f. Homeowners Association documents
 - ~~h.~~ g. Encroachment Agreement.
11. Record the approving resolutions and associated documents at Hennepin County and provide proof of recording to the City.

FURTHER, that the following conditions must be met prior to the release of remaining escrow:

12. Lot corner monuments shall be installed as required by the Subdivision Ordinance.
13. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project Landscape Architect. A letter signed by the project Landscape Architect verifying plantings (including wetland and pond buffers) have been correctly installed in compliance with the plans and specifications will suffice.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

RESOLUTION NO. 2024-20

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-20

ATTACHMENT A

OUTLOT A, B, C, K and J, TAVERA 4th ADDITION, Hennepin County, Minnesota

RESOLUTION NO. 2024-20

Motion By:
Seconded By:

APPROVING FINAL PLAT AND DEVELOPMENT CONTRACT FOR “TAVERA 6th ADDITION” FOR LENNAR) (CITY FILE NO. 23-033)

WHEREAS, US Home, LLC, a Delaware limited liability company dba Lennar (the “applicant”) has requested approval of a final plat for “Tavera 6th Addition” for 79 single family lots and three outlots on the property legally described as:

See Attachment A

FURTHER, that the development contract for said plat shall be completed by City staff and the Mayor and City Administrator be authorized to execute the development contract on behalf of the City; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for final plat approval for “Tavera 6th Addition”, subject to the following conditions:

1. A final plat is approved to create 9 villa lots, 70 single family lots and three outlots for “Tavera 6th Addition”, in accordance with the plans and application received by the City on October 30, 2023 and additional information received on February 7, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the final PUD plan (Resolution 2024-19) and is subject to all conditions.
3. Development is subject to all conditions of the “Tavera” preliminary plat and preliminary PUD plan approvals (Resolutions 2020-50 and 2020-51), except as modified by the PUD amendment (Resolution 2021-86).
4. The applicant shall comply with all requirements of the City Engineer’s memo dated March 19, 2024.

FURTHER, prior to the release of the final plat for recording:

5. The development contract must be executed by the developer and the City and must be filed with the final plat.
6. The financial guarantee and fees required by the development contract must be paid.
7. Park dedication shall be cash-in-lieu of land as outlined in the development contract.

FURTHER, that the following conditions must be met prior to issuance of building permits:

8. All permanent wetland buffer signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. The final locations must be approved by City staff.

RESOLUTION NO. 2024-20

- b. Wetland signs must be purchased from the City.
 - c. Monuments and signs shall be installed prior to approval of building permits.
 - d. The installation of the wetland monument buffer signs according to the approved plan must be certified by a registered land surveyor.
 - e. Wetland buffer planting shall be seeded with MnDOT 43-261 or 35-241 seed mix.
 - f. The wetland buffer planting and maintenance plan shall be revised and approved by the City for compliance with City policies prior to beginning work.
9. The applicant must file the final plat at Hennepin County within 2 years of the date of approval or the approval shall expire.
10. The following documents must be approved by the City Attorney and recorded at Hennepin County with the final plat:
- a. Development Contract
 - b. Stormwater Maintenance Agreement
 - c. Trail Easement for trail connection to County Road 116
 - d. Trail Easement for Trail section south of 68th Place
 - e. Temporary turnaround easement for 68th Place
 - f. Temporary easement for Outlot C
 - g. Homeowners Association documents
 - h. Encroachment Agreement.
11. Record the approving resolutions and associated documents at Hennepin County and provide proof of recording to the City.

FURTHER, that the following conditions must be met prior to the release of remaining escrow:

12. Lot corner monuments shall be installed as required by the Subdivision Ordinance.
13. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project Landscape Architect. A letter signed by the project Landscape Architect verifying plantings (including wetland and pond buffers) have been correctly installed in compliance with the plans and specifications will suffice.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

RESOLUTION NO. 2024-20

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-20

ATTACHMENT A

OUTLOT A, B, C, K and J, TAVERA 4th ADDITION, Hennepin County, Minnesota

(reserved for recording information)

DEVELOPMENT CONTRACT

(Developer Installed Improvements)

TAVERA 6TH ADDITION

This **DEVELOPMENT CONTRACT** (this “Contract”) dated _____, 2024, is entered into by and between the **CITY OF CORCORAN**, a Minnesota municipal corporation (the “City”), and **U.S. HOME, LLC, A DELAWARE LIMITED LIABILITY COMPANY (DBA LENNAR)** (the “Developer”) and shall be effective upon full execution by the City and the Developer. The City and the Developer are sometimes collectively referred to herein as the “parties” or each a “party”. This is an amendment to the master Tavera Development Contract dated June 23, 2021.

- 1. REQUEST FOR PLAT APPROVAL.** The Developer has asked the City to approve a plat for Tavera 6th Addition (referred to in this Contract as the "plat"). The land is situated in the County of Hennepin, State of Minnesota, and is legally described in the attached Exhibit A (the “Subject Property”).
- 2. CONDITIONS OF PLAT APPROVAL.** The Developer shall enter into this Contract, furnish the security required by it, and record the plat upon City approval with the County Recorder or Registrar of Titles.
- 3. RIGHT TO PROCEED.** Unless separate written approval has been given by the City, within the plat or land to be platted, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until all the following conditions have been satisfied: 1) this agreement has been fully executed by both parties and filed with the City Administrative Services Director, 2) the necessary security has been received by the City, 3) the plat, development contract and other associated documents have been recorded with the Hennepin County Recorder's Office and proof of recording has been provided to the City, and 4) the City has authorized the Developer to proceed, in writing. However, the Developer may be allowed to begin grading the site when items 1, 2 and 4 of the previous sentence have been satisfied.
- 4. PHASED DEVELOPMENT.** If the plat is a phase of a multi-phased preliminary plat, the City may refuse to approve final plats of subsequent phases if the Developer has failed to fulfill all obligations in this Contract and the failure has not been remedied. Development of subsequent phases may not proceed until Development Contracts for such phases are approved by the City. Park charges and area charges for sewer and water referred to in this Contract are not being imposed on outlots, if any, in the plat that are designated in an approved preliminary plat for future subdivision into lots and blocks. Such charges will be calculated and imposed when the outlots are final platted into lots and blocks.

5. **PRELIMINARY PLAT STATUS.** If the plat is a phase of a multi-phased preliminary plat, the preliminary plat approval for all phases not final platted shall lapse and be void unless the initial phase is final platted into lots and blocks, not outlots, within two (2) years after preliminary plat approval.
6. **CHANGES IN OFFICIAL CONTROLS.** For two (2) years from the date of this Contract, no amendments to the City's Comprehensive Plan or official controls shall apply to or affect the use, development density, lot size, lot layout or dedications of the approved final plat unless required by state or federal law or agreed to in writing by the City and the Developer. Thereafter, notwithstanding anything in this Contract to the contrary, to the full extent permitted by state law, the City may require compliance with any amendments to the City's Comprehensive Plan, official controls, platting or dedication requirements enacted after the date of this Contract. Notwithstanding the provisions of this paragraph, in the event that changes to federal or state law prohibit or limit the City's authority to collect the costs of off-site improvements for this project as contemplated in Section 9 herein and the parties do not mutually agree to remain bound to the terms contemplated in said Section 9, the City shall have the right to substitute off-site improvement cost collection provisions which are: 1) in compliance with applicable law; and 2) which result in reasonably comparable cost contribution from the Developer.
7. **DEVELOPMENT PLANS.** The plat shall be developed in accordance with the following plans. The plans shall not be attached to this Contract. If the plans vary from the written terms of this Contract, the written terms herein shall control. The plans are:
- Exhibit A – Legal Description
 - Plan A – Final Plat, dated February 5, 2024
 - Plan B – Final Grading, Drainage, and Erosion Control Plan, dated February 5, 2024
 - Plan C – Final Sanitary Sewer, Watermain and Storm Sewer Plan, dated February 5, 2024
 - Plan D – Final Tree Preservation and Reforestation Plan, dated February 5, 2024
 - Plan E – Final Landscape Plan, dated February 5, 2024
 - Plan F – Final Wetland Buffer Establishment Plan, dated February 5, 2024
 - Plan G – Revised Preliminary Plat, dated February 5, 2024
 - Plan H – Phasing Plan, dated February 5, 2024
8. **IMPROVEMENTS.** The Developer shall install and pay for, without limitation, all of the following improvements:
- Streets
 - Sanitary Sewer
 - Watermain
 - Surface Water Facilities (pipe, ponds, rain gardens, etc.)
 - Grading and Erosion Control
 - Sidewalks/Trails
 - Street Lighting
 - Underground Utilities
 - Street Signs and Traffic Control Signs
 - Landscaping
 - Tree Preservation
 - Wetland Mitigation and Buffers
 - Monuments Required by Minnesota Statutes

- Miscellaneous Facilities

In addition to the above-listed improvements, Developer shall be responsible for all other costs necessary to construct the improvements pursuant to the City-approved plans.

The Developer shall submit plans which have been prepared by a competent registered professional engineer to the City for approval by the City Engineer or designee. The Developer may instruct its engineer to provide full-time field inspection personnel in order for the Developer's engineer to be able to certify that the construction work meets the approved City standards as a condition of City acceptance. In addition, the City may, at the City's discretion and at the Developer's expense, have one or more City inspectors and a soil engineer inspect the work on a full or part-time basis. The Developer, its contractors and subcontractors, shall follow all instructions received from the City's inspectors. The Developer and/or the Developer's engineer shall provide for on-site project management. The Developer's engineer is responsible for design changes and contract administration between the Developer and the Developer's contractor. The Developer or his or her engineer shall schedule a pre-construction meeting at a mutually agreeable time at City Hall with all parties concerned, including the City staff, to review the program for the construction work.

All labor and work shall be performed and completed in the best and most workmanlike manner and in strict conformance with the approved plans and City Engineering Design Standards. No deviations from the approved plans and Standards will be permitted unless authorized by the City Engineer or designee. The Developer agrees to furnish to the City a list of contractors being considered for retention by the Developer for the performance of the work required by the contract. The Developer shall not do any work or furnish any materials not covered by the plans and special conditions of this contract, for which reimbursement is expected from the City, unless such work is first approved in writing by the City Engineer or designee.

The Developer shall be responsible for construction of all improvements in conformance with the approved plans, City Engineering Design Standards and Standard Details.

9. **OFF-SITE PUBLIC IMPROVEMENTS.** The City intends to make improvements to County Road 116 at the intersection of the future Horseshoe Trail providing access to the site, improve Hackamore Road, improve existing Horseshoe Trail and Old Settlers Road, extend municipal sanitary sewer to the site and complete stormwater improvements. The public improvements are more fully detailed in the Feasibility Study dated November 21, 2019, prepared by Wenck Associates, Inc. The developer agrees to fund off-site improvements as noted in this Contract.

a. The following improvements will be funded by the developer with future phases as noted below:

- The developer shall provide to the City \$5,000 in cash escrow to perform a signal analysis at County Road 116 and Horseshoe Trail to be performed at an appropriate time as determined by the City. A traffic signal may be required at County Road 116 and Horseshoe Trail. If required, the developer shall be responsible for half of the cost of this signal.
- The developer shall provide a financial guarantee to the City for the cost to shape and pave Old Settlers Road and Horseshoe Trail (estimated at \$375,000). The development contract will include \$375,000 in the letter of credit. When the City bids the project, the City will reduce the letter of credit by \$375,000 and require the developer to provide cash escrow based

on the final bid amount. The financial guarantee shall be provided when 75% of the lots north of Horseshoe Trail are platted or the Horseshoe Trail connection is made, whichever occurs first.

- The developer shall provide a financial guarantee for the Horseshoe Trail west watermain loop (estimated at \$225,000). The development contract will include \$225,000 in the letter of credit. When the City bids the project, the City will reduce the letter of credit by \$225,000 and require the developer to provide cash escrow based on the final bid amount. The financial guarantee shall be provided when 75% of the lots north of Horseshoe Trail are platted or the Horseshoe Trail connection is made, whichever occurs first. The final route shall be determined by the City.
 - The current plan eliminates the need for watermain looping along Hackamore Road as originally anticipated in the EAW/feasibility study.
- The developer shall provide to the City cash in the amount of \$15,000 to prepare FEMA Map Amendment information for the northeastern part of the site, which includes the 6th Addition. The FEMA mapping information will be formally submitted with all of the northern portion of the Tavera Development at final buildout.
- The developer shall provide a financial guarantee to the City for the cost of the FEMA Map Amendment for the northwest part of the site (estimated at \$25,000). The development contract will include \$25,000 in the letter of credit. When 100% of the lots north of Horseshoe Trail are platted, the City will reduce the letter of credit by \$25,000 and require the developer to provide cash escrow based on the updated engineering estimate for the FEMA process and due with the final plat for that phase.

b. The developer agrees to pay the City the cost of these improvements as outlined above. The City will notify the developer of required reimbursement under this paragraph for design and construction of such improvements. The costs to be reimbursed include the actual cost to the City for construction of the improvements plus the allocation of the engineering, legal, administrative and other similar costs of the project based on the relative construction costs of the improvements. The developer reserves the right to be refunded for any unused portion of the estimated cost versus the actual cost of each improvement.

10. CONTRACTORS/SUBCONTRACTORS. City Council members, City employees, and City Planning Commission members, and corporations, partnerships, and other entities in which such individuals have greater than a 25% ownership interest or in which they are an officer or director may not act as contractors or subcontractors for the public improvements identified in Paragraph 8 above.

11. PERMITS. The Developer shall obtain or require its contractors and subcontractors to obtain all necessary permits, including but not limited to:

- *Minnesota Department of Health for Watermains/Wells*
- *NPDES Permits*
- *MPCA for Sanitary Sewer and Hazardous Material Removal and Disposal*
- *DNR for Dewatering and Work in Protected Waters*
- *City of Corcoran for Building Permits and Building Demolition*

- *MCES for Sanitary Sewer Connections*
- *Watershed Permits*

- 12. TIME OF PERFORMANCE.** The Developer shall install all required public improvements in this phase by **October 31, 2024**, with the exception of the final wear course of asphalt on streets. The City will not accept new public streets in the 6th Addition until 80% of the homes in the 6th Addition have received a certificate of occupancy and the streets have weathered a full winter season. Final wear course placement outside of this time frame must have the written approval of the City Engineer. The Developer may, however, request an extension of time from the City. If an extension is granted, it shall be conditioned upon updating the security posted by the Developer to reflect cost increases and the extended completion date.
- 13. LICENSE.** The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the plat to perform all work and inspections deemed appropriate by the City in conjunction with plat development.
- 14. CONSTRUCTION ACCESS.** Haul routes for vehicles used in transport of materials shall be designated by the City Engineer. The City Engineer has discretion to change the designated haul routes at any time in event of unforeseen circumstances. This Agreement may be terminated and all work on the Subject Property may be halted by the City for Developer's failure to use the designated haul routes or for any other violation of this Agreement.
- 15. GRADING PLAN.** The plat shall be graded in accordance with the approved grading drainage and erosion control plan, Plan "B". The plan shall conform to City of Corcoran Engineering Design Standards.
- 16. EROSION CONTROL.** Prior to initiating site grading, the erosion control plan, Plan B, shall be implemented by the Developer and inspected and approved by the City. Erosion control practices must comply with the Minnesota Pollution Control Agency's Best Management Practices. The City may impose additional erosion control requirements which the City determines would be beneficial. The City is an MS4 City and all erosion control shall comply with the Corcoran City Code and the Corcoran Engineering Design Standards. No development, utility or street construction will be allowed and no building permits will be issued unless the plat is in full compliance with the approved erosion control plan. Further, the City shall have the authority to stop work on the Subject Property and/or withhold additional building permits or certificates of occupancy in the event that the Developer fails to comply with the approved erosion control plan.
- 17. STREET MAINTENANCE DURING CONSTRUCTION.** The Developer shall be responsible for all street maintenance until the streets affected by the project are accepted by the City. Warning signs shall be placed when hazards develop in streets to prevent the public from traveling on the same and to direct attention to detours. If and when streets become impassable, such streets shall be barricaded and closed. In the event residences are occupied prior to completing streets, the Developer shall maintain a smooth surface and provide proper surface drainage to ensure that the streets are passable to traffic and emergency vehicles. The Developer shall be responsible for keeping streets within and without the subdivision swept clean of dirt and debris that may spill, track, or wash onto the street from Developer's operation.

18. OWNERSHIP OF IMPROVEMENTS. Upon completion of the work and construction required by this Contract and acceptance of the work by the City, the public improvements lying within public easements or right-of-way shall become City property. This provision shall not apply to private improvements (e.g. private retaining walls) which encroach upon public easement or right-of-way, and such encroachments shall be subject to any applicable and separate encroachment agreement. Prior to acceptance of the improvements by the City, the Developer must furnish the following affidavits:

- Record Drawings
- Certification from the Registered Land Surveyor that land corner monuments and wetland buffer signs have been installed according to the approved plans.
- The warranty/performance financial guarantee

19. PARK DEDICATION. The Developer shall dedicate to the City the park as shown on the preliminary plat. The Developer shall also dedicate to the City the trail easements identified on the preliminary plat, except as modified by the approving resolutions and construct all trails as shown on the plans. The developer shall construct the bituminous trails in the subdivision and shall work with the city on the final location within the public park. No credit shall be given for trail construction. Credit shall be given for the net area of the park land and trail easement area. The remainder of the required park dedication shall be satisfied with cash-in-lieu of land. Park dedication shall be obtained based on the phase being platted.

Tavera 6th Addition will have no park land dedication and will provide cash-in-lieu of land. Prior to release of the final plat, the Developer shall satisfy the park dedication requirements for this phase by a cash contribution of **\$470,366.00**. The charge was calculated in accordance with Section 955 of the City's Subdivision Ordinance as follows: 79 single family units x \$5,954.00 per unit = \$470,366.00.

20. WATERMAIN / STORAGE TRUNK LINE AREA CHARGE (TLAC). This plat is subject to a watermain/storage trunk line area charge (TLAC). The charge is calculated as follows: 33.03 net acres (based on pre-developable area) \$9,318.44 per acre (Watermain & Raw Water TLAC) = **\$307,788.07**, and 33.03 net acres (based on pre-developable area) x \$12,608.05 per acre (Treatment & Storage TLAC) = **\$416,443.89**. Future phases shall be cash with the final plat for each future phase subject to the then-current rates.

21. WATER CONNECTION CHARGE. This plat is subject to a water connection charge calculated as follows: 79 single family units x \$1,332.82 per unit = **\$105,292.78**. The fees shall be paid at the time of building permit. Future development shall be cash at the time of issuance of each building permit at the then-current rates.

The developer will be responsible for payment of the then-current water connection charge set by the City of Maple Grove.

22. SANITARY SEWER TRUNK LINE AREA CHARGE (TLAC). This plat is subject to a sanitary sewer trunk line area charge (TLAC). The charge is calculated as follows: The charge is calculated as follows: 33.03 net acres (based on pre-developable area) x \$7,621.91 per acre = **\$251,751.69**. Future phases shall be cash with the final plat for each future phase subject to the then-current rates.

The developer will also be responsible for payment of the then-current SAC fee set by the Metropolitan Council.

23. SANITARY SEWER CONNECTION CHARGE. This plat is subject to a sanitary sewer connection charge calculated as follows: 79 single family units x \$1,318.40 per unit = **\$104,153.60**. The fees shall be paid at the time of building permit. Future development shall be cash at the time of issuance of each building permit at the then-current rates.

24. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY.

- A. Prior to issuance of building permits other than the model home; utilities, curbing and one lift of bituminous shall be installed on public streets.
- B. Utilities shall be installed and reasonable access to the lot from a public street shall be provided prior to issuance of a model home permit. One model home will be allowed per product type (single family, twin home, townhome, etc.) per development and shall be on lots acceptable to the City.
- C. No sewer and water connection permits may be issued until the utilities are tested and approved by the City Engineer.
- D. The Developer shall comply with the City of Corcoran Engineering Design Standards.
- E. Prior to issuance of building permits, wetland buffer monuments shall be placed in accordance with the City's zoning ordinance. Monument signs shall be purchased from the City. The land surveyor must certify that the wetland buffer signs have been installed in accordance with the approved plans.
- F. Failure to fulfill any of the terms of this Contract by the Developer, including nonpayment of billings from the City, shall be grounds for denial of building permits, including lots sold to third parties, the halting of all work in the plat, and/or the denial of certificates of occupancy.
- G. If building permits are issued prior to the acceptance of public improvements, the Developer assumes all liability and costs resulting in delays in completion of public improvements and damage to public improvements caused by the City, Developer, their contractors, subcontractors, materialmen, employees, agents, or third parties. No sewer and water connection permits may be issued until the streets needed for access have been paved with a bituminous surface and the utilities are tested and approved by the City Engineer.

25. STREET REGULATORY SIGNS/TRAFFIC CONTROL SIGNS. Street name signs shall be installed by the Developer in accordance with the City of Corcoran Engineering Design Standards.

The Developer shall install traffic control signs in accordance with the plan approved by the City Engineer and Minnesota Manual on Uniform Traffic Control Devices. All signs must be installed prior to final building inspection approval or earlier if necessary as determined by the City Engineer.

26. STREET LIGHT INSTALLATION AND OPERATION COSTS. The developer shall pay for and install all street lights. The street light shall be of a design approved by the City. The developer shall be responsible for street light operation and maintenance costs until such time as the City accepts

the public street where the streetlights are located. After the acceptance the City shall be responsible for all costs, subject to the street lighting policy. The costs of operation are dependent upon the operation costs for Wright Hennepin Electric under contract franchise with the City of Corcoran.

27. RESPONSIBILITY FOR COSTS.

- A. Except as otherwise specified herein, the Developer shall pay all costs incurred by it or the City in conjunction with the development of the plat, including but not limited to legal (including, without limitation, attorneys' fees), planning, engineering and inspection expenses incurred in connection with approval and acceptance of the plat, the preparation of this Contract, review of construction plans and documents, and all costs and expenses incurred by the City in monitoring and inspecting development of the plat. The City may require Developer to post funds in an escrow account, at its discretion. In the event the cash escrow amount is insufficient, Developer shall post additional escrow funds as determined by the City Planner within ten (10) days of written demand. Failure to make payment of the additional escrow amount shall permit the City to supplement those amounts from any other sureties posted by Developer.
- B. The Developer shall hold the City and its officers, employees, and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from plat approval and development. The Developer shall indemnify the City and its officers, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.
- C. The Developer shall reimburse the City for costs incurred in the enforcement of this Contract, including engineering and attorneys' fees.
- D. The Developer shall pay, or cause to be paid when due, and in any event before any penalty is attached, all special assessments referred to in this contract. This is a personal obligation of the Developer and shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it.
- E. The Developer shall pay in full all bills submitted to it by the City for obligations incurred under this Contract within thirty (30) days after receipt. Bills not paid within thirty (30) days shall accrue interest at the rate of eight percent (8%) per year. Further, the City shall have the right to access Developer's posted security to obtain reimbursement for unpaid invoiced amounts. Should Developer's security be insufficient to cover any amounts owed to the City and unpaid after invoicing, the City may assess such amounts against the Subject Property. Developer, on behalf of itself and its successors and assigns, hereby waives any assessment notice requirements and any right to appeal such assessment pursuant to Minnesota Statute 429.
- F. In addition to the charges and special assessments referred to herein, other charges and special assessments may be imposed such as but not limited to sewer availability charges ("SAC"), City water connection charges, City sewer connection charges, and building permit fees.

28. SPECIAL PROVISIONS. The following special provisions shall apply to plat development:

- A. Compliance with the conditions of the original approvals (Resolutions 2020-50 and 2020-51) and PUD Amendments, including the PUD Final Development Plan (Resolution 2024-19) and Final Plat approval (Resolution 2024-20) is required.

- B. Before the City signs the final plat, the Developer shall convey the Park to the City by warranty deed, free and clear of any and all encumbrances. Before the City signs the final plat, the developer shall convey the required trail easements to the City in a form satisfactory to the City.
- C. The Developer shall install a temporary turnaround on the *west* end of **68th Place** until it is extended west to Zenwood Lane with the adjacent **Tavera 7th Addition** development. Before the City signs the final plat, the Developer shall furnish the City an appropriately executed temporary turnaround easement, in recordable form.
- D. The Developer shall post a **\$7,900.00** security for the final placement of interior subdivision iron monuments at property corners. The security was calculated as follows: **79** lots at \$100.00 per lot. The security will be held by the City until the Developer's land surveyor certifies that all irons have been set following site grading and utility and street construction. In addition, the certificate of survey must also include a certification that all irons for a specific lot have either been found or set prior to the issuance of a building permit for that lot.
- E. The Developer must obtain a sign permit from the City Building Official prior to installation of any subdivision identification signs.
- F. The Developer shall include the "City of Corcoran's Standard Detail" (all applicable sections) in the contract documents of their improvement project.

29. MISCELLANEOUS.

- A. The Developer may not assign this Contract without the written permission of the City Council. The Developer's obligation hereunder shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it. Notwithstanding anything herein to the contrary, in conjunction with a sale of the entire land, the Developer may, without the consent of the City, assign this Contract to a limited liability company or other entity in which the Developer or an affiliate thereof has a controlling membership or other controlling ownership interest, provided that such assignee assumes in writing the obligations of Developer under this Contract and all posted security correspondingly secures the performance of the assignee.
- B. Certain retaining walls will require a Building Permit. Retaining walls that require a building permit shall be constructed in accordance with plans and specifications prepared by a structural or geotechnical engineer licensed by the State of Minnesota. Following construction, a certification signed by the design engineer shall be filed with the Building Official evidencing that the retaining wall was constructed in accordance with the approved plans and specifications. All retaining walls identified on the development plans or by special conditions referred to in this Contract shall be constructed before any other building permit is issued for a lot on which a retaining wall is required to be built.
- C. Appropriate legal documents including, but not limited to, those regarding Homeowner Association documents, conservation easements, covenants and restrictions, as approved by the City Attorney, shall be filed with the Final Plat.
- D. Third parties shall have no recourse against the City under this Contract.

- E. If any portion, section, subsection, sentence, clause, paragraph, or phrase of this Contract is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Contract.
- F. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Contract. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Contract shall not be a waiver or release.
- G. This Contract shall run with the land and may be recorded against the title to the property. The Developer covenants with the City, its successors and assigns, that the Developer has fee title to the property being final platted and/or has obtained consents to this Contract, in the form attached hereto, from all parties who have an interest in the property; that there are no unrecorded interests in the property being final platted; and that the Developer will indemnify and hold the City harmless for failure to fulfill any of the foregoing covenants.
- H. Each right, power or remedy herein conferred upon the City is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and shall not be a waiver of the right to exercise at any time thereafter any other right, power or remedy.
- I. The Developer represents to the City that the plat complies with all city, county, metropolitan, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations. If the City determines that the plat does not comply, the City may, at its option, refuse to allow construction or development work in the plat until the Developer does comply. Upon the City's demand, the Developer shall cease work until there is compliance.
- J. The Contract may be executed in any number of counterparts, each of which shall be deemed to be an original.
- K. The laws of the State of Minnesota shall govern all issues relating to this Contract and any action brought to enforce rights or obligations herein shall be brought in Hennepin County, Minnesota.
- L. All exhibits, plan documents, City approval documents, and City planning or engineering memos referenced herein are hereby incorporated into and shall become a part of this Contract as if attached hereto.
- M. Upon completion of construction, the Developer shall provide the City with as-built records of all soil corrections and utility infrastructure installations made by the Developer on the Subject Property or within any affected public right-of-way.
- N. Upon completion of installation of the same (as applicable), any sanitary sewer installed on the Subject Property shall be televised at the Developer's expense and the Developer shall submit a recording of the same to the City for the City's records.
- O. The Developer shall install railings adjacent to slopes on the Subject Property in compliance with the building code, as determined by the Building Official.

- 30. DEVELOPER'S DEFAULT.** In the event of default by the Developer as to any of the work to be performed by it hereunder, the City may, at its option, perform the work and the Developer shall promptly reimburse the City for any expense incurred by the City, provided the Developer, except in an emergency as determined by the City, is first given notice of the work in default, not less than 48 hours in advance. This Contract is a license for the City to act, and it shall not be necessary for the City to seek a court order for permission to enter the Subject Property. When the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part to the Subject Property and the Developer, on behalf of itself and its successors and assigns, hereby waives any right to appeal said assessment.
- 31. WARRANTY/PERFORMANCE GUARANTEE.** The Developer warrants all improvements required to be constructed by it pursuant to this Contract against poor material and faulty workmanship. The Developer shall submit either 1) a warranty/maintenance bond for 100% of the cost of the improvement, or 2) a letter of credit or performance bond for twenty-five percent (25%) of the amount of the original cost of the improvements.
- A. The required warranty period for materials and workmanship for the utility contractor installing public sewer and water mains shall be two (2) years from the date of final written City acceptance of the work.
 - B. The required warranty period for all work relating to street construction, including concrete curb and gutter, sidewalks and trails, materials and equipment shall be subject to one (1) year from the date of final written acceptance, unless the wear course is placed during the same construction season as the bituminous base course. In those instances, the Developer shall guarantee all work, including street construction, concrete curb and gutter, sidewalks and trails, material and equipment for a period of two (2) years from the date of final written City acceptance of the work.
 - C. The required warranty period for sod, trees, and landscaping is one full growing season following installation. Following construction, a certification signed by the design landscape architect shall be filed with the City evidencing that the sod, trees, and landscaping was installed in accordance with the approved plans and specifications.
 - D. The required warranty period for wetland buffer planting establishment is three (3) full growing seasons following installation. Following installation, a certification signed by the design landscape architect shall be filed with the City evidencing that wetland buffer vegetation establishment was installed in accordance with the approved plans and specifications.
- 32. SUMMARY OF SECURITY REQUIREMENTS.** To guarantee compliance with the terms of this contract, payment of special assessments, payment of the costs of all public improvements, and construction of all public improvements, the Developer shall furnish the City with a letter of credit, in a form acceptable to the City, from a bank, cash escrow or a combination cash escrow and Letter of Credit ("security") for **\$3,353,747.44**, which represents 100 percent of the estimated cost of the Improvements. The letter of credit shall include an automatic renewal clause.

The letter of credit shall guarantee to the City the construction and satisfactory completion of all items to be completed by the developer; that the letter of credit shall be reduced from time to time as work is performed and accepted in a satisfactory manner; that the City Engineer may reduce the letter of credit

to the amount reasonably estimated by the City Engineer to be necessary to cover the remaining construction obligations; however, the letter of credit shall not be reduced below the amount estimated by the City to cover all obligations of development including payment of costs and expenses incurred by the City for legal, engineering, planning and any other costs until a maintenance bond for period of one year, satisfactory to the City Attorney and the City Engineer has been provided by the Developer or its subcontractor.

The amount of the security was calculated as follows:

ESTIMATED COSTS			
ITEM	City Project (1)	Developer Installed (2)	Total
Sanitary Sewer System		\$434,537.10	\$434,537.10
Watermain System		\$530,197.00	\$530,197.00
Stormwater System		\$893,479.25	\$893,479.25
Street Construction		\$1,093,383.35	\$1,093,383.35
Street Lighting		\$5,625.00	\$5,625.00
Grading/Erosion Control			\$-
Landscaping/Tree Preservation		\$121,000.00	\$121,000.00
Wetland Buffer Establishment		\$15,000.00	\$15,000.00
Installing Wetland Buffer Monuments*		\$4,200.00	\$4,200.00
Setting Iron Monuments		\$7,900.00	\$7,900.00
SUB-TOTAL:		\$3,105,321.70	\$3,105,321.70
City Design, Inspection and Administration (8%)		\$248,425.74	\$248,425.74
Total:		\$3,353,747.44	\$3,353,747.44
Total Project Cost	\$3,353,747.44		

- (1) Public Improvement/City Project. City to own and maintain after development complete.
- (2) Developer Installed Public Improvements. City to own and maintain after development complete.

This breakdown is for historical reference; it is not a restriction on the use of the security. If a letter of credit is used to post any portion of the security, the bank shall be subject to the approval of the City Administrator. The City may draw down the security, without notice, for any violation of the terms of this Contract or upon receipt of notice that the security will be cancelled or otherwise lapse prior to the end of the required term and no City-approved replacement security has been provided. If the required public improvements are not completed at least 30 days prior to the expiration of the security, the City may also draw it down. If the security is drawn down, the proceeds shall be used to cure the default. Upon receipt of proof satisfactory to the City Engineer or designee that work has been completed and financial obligations to the City have been satisfied, with City Engineer or designee approval the security may be reduced from time to time by 75% of the financial obligations that have been satisfied. Twenty-five percent (25%) of the public improvement and landscaping amounts certified by the Developer's engineer shall be retained as security until: (1) all improvements have been completed; (2) iron monuments for lot corners have been installed; (3) all financial obligations to the City, both actual and anticipated, have been satisfied; (4) the required "record" plans have been received by the City; (5) a warranty security is provided; and (6) the public improvements are accepted by the City.

33. INSURANCE REQUIREMENTS. Developer shall take out and maintain or cause to be taken out and maintained until six months after the City’s acceptance of the public improvements:

- A. Commercial general liability insurance (including operations, contingent liability, operations of subcontractors, competed operations and contractual liability insurance) together with an Owner’s Contractor’s Policy with limits against bodily injury, including death, and property damage (to include, but not be limited to damages caused by erosion or flooding) which may arise out of Developer’s work or the work of any of its subcontractors.
- B. Limits for bodily injury or death shall not be less than \$750,000.00 for one person and \$1,500,000.00 for each occurrence; limits for property damage shall not be less than \$2,000,000.00 for each occurrence.
- C. Worker’s compensation insurance, with statutory coverage, if applicable.
- D. Developer shall file a Certificate of Insurance with the City Administrator prior to commencing site grading. The City and the City Engineer shall be named as Additional Insureds on a primary and non-contributory basis on the Certificate. The Certificate shall be modified to bear the following language:

Should any of the above policies be canceled, materially changed, or not renewed before the expiration date thereof, the issuing company shall give thirty (30) days written notice of the same to the Certificate Holder. In the event of cancellation due to non-payment, ten (10) day’s written notice shall be given to the Certificate Holder.

Developer shall be responsible for providing the above language to its insurer. The City does not warrant that these amounts will be sufficient to cover all Developer liability related to the work on the Subject Property and Developer shall be responsible for conducting its own analysis of the appropriate levels of coverage.

34. SUMMARY OF CASH REQUIREMENTS. The following is a summary of the cash requirements under this Contract which must be furnished to the City at the time of final plat approval:

Water Supply Trunk line area charge (TLAC)	\$ 307,788.07
Water Supply Trunk line area charge (TLAC)	\$ 416,443.89
Sanitary Sewer Trunk line area charge (TLAC)	\$ 251,751.69
Park Dedication	\$ 470,366.00
Signal Analysis Escrow	\$ 5,000.00
FEMA Map Amendment Escrow	\$ 15,000.00
Engineering Escrow	\$ <u>75,000.00</u>
Total Cash Requirements Levied:	\$ 1,541,349.65

35. **NOTICES.** Required notices to the Developer shall be in writing, and shall be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by certified mail at the following address:

*Joe Jablonski
U.S. Home, LLC DBA Lennar
16305 36th Ave N, Suite 600
Plymouth, MN 55446*

Notices to the City shall be in writing and shall be either hand delivered to the City Administrator, or mailed to the City by certified mail in care of the City Administrator at the following address: Corcoran City Hall, 8200 County Road 116, Corcoran, MN 55340.

The Developer shall notify the City within five (5) days of change of address.

[Signatures on pages to follow]

CITY OF CORCORAN:

BY: _____
Tom McKee, Mayor

(SEAL)

AND _____
Jay Tobin, City Administrator

STATE OF MINNESOTA)
(ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Tom McKee and by Jay Tobin, the Mayor and City Administrator of the City of Corcoran, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

NOTARY PUBLIC

DEVELOPER:

By: _____

Its: _____

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this _____ day of _____,
20____, by _____ the _____ of
_____ on its behalf.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340

EXHIBIT A
(the “Subject Property”)

Lots 1 through 69, Block 1, Tavera 6th Addition, Hennepin County, Minnesota.

Lots 1, Block 2, Tavera 6th Addition, Hennepin County, Minnesota.

Lots 1 through 3, Block 3, Tavera 6th Addition, Hennepin County, Minnesota.

Lots 1 through 6, Block 4, Tavera 6th Addition, Hennepin County, Minnesota.

Outlots A, B and C, Tavera 6th Addition, Hennepin County, Minnesota.

FEE OWNER CONSENT
TO
DEVELOPMENT CONTRACT

_____, fee owners of all or part of the Subject Property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the Subject Property owned by them. Fee Owners further consent to the recording of the Agreement against the Subject Property.

Dated this ____ day of _____, 2____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____, by
_____.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340

**MORTGAGEE CONSENT
TO
DEVELOPMENT CONTRACT**

_____, which holds a mortgage on the Subject Property, the development of which is governed by the foregoing Development Contract, agrees that the Development Contract shall remain in full force and effect even if it forecloses on its mortgage.

Dated this ____ day of _____, 2 ____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____, by _____.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340

**CONTRACT PURCHASER CONSENT
TO
DEVELOPMENT CONTRACT**

_____, which/who has a contract purchaser's interest in all or part of the subject property, the development of which is governed by the foregoing Development Contract, hereby affirms and consents to the provisions thereof and agrees to be bound by the provisions as the same may apply to that portion of the Subject Property in which there is a contract purchaser's interest.

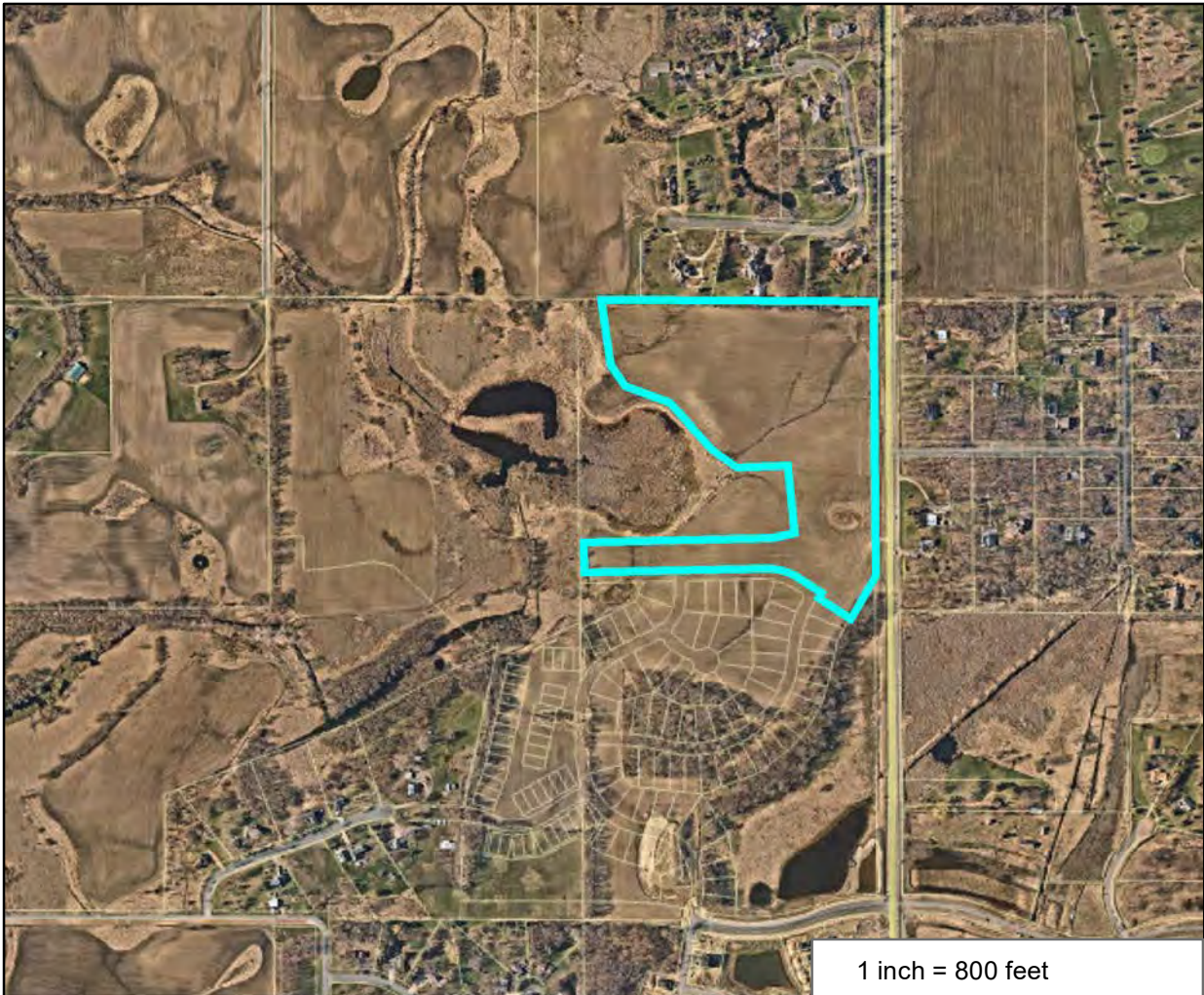
Dated this ____ day of _____, 2____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2____,
by _____.

NOTARY PUBLIC

DRAFTED BY: CITY OF CORCORAN
8200 County Road 116
Corcoran, MN 55340



Division in Process

The displayed parcel boundary may not be the actual boundary because this property is in the process of being divided or replatted.

PID: 3511923110014

ADDRESS: 52 Address Pending, Corcoran MN 00000

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN COUNTY 2024

To: Kevin Mattson, PE, PW Director City of Corcoran

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Tavera 6th Addition

Date: March 19, 2024

Exhibits:

This Memorandum is based on a review of the following documents:

1. Tavera 6th Utility Plan (Rev. 11-17-23)
2. Tavera Phase 2 Grading Plan Rev. 14 (Rev. 11-17-23)
3. Tavera 6th Addition Density Sketch (11-30-23)
4. Tavera 6th Landscape Plan (11-17-23)
5. Tavera 6th Addition Plat (11-30-23)

Comments:General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments, the proposed plans are subject to additional planning, zoning, land-use, and other applicable requirements of the City of Corcoran.
3. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.
4. Include Corcoran standard details STO-12, STO16, STO-17, STR-25
5. Street lighting locations shall be reviewed by public safety and final lighting locations shall be determined with utility permitting.

Plat:

1. The applicant shall have all drainage and utility easements provided and shown and all platting requirements met per the City Code.
2. All existing easements and ROWs must be vacated.
3. Update plan sheets so that lot and block in plan sheets matches final plat.
4. The necessary trail easements shall be provided and reviewed for the trail south of 68th Place.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.
2. Include SWPPP sheet with erosion control plans.

March 19, 2024

Tavera 6th Addition

Kevin Mattson

Page 2 of 3

Transportation

1. All 28' roads shall be signed no parking on one side of the roadway with no parking signs required within all cul-de-sacs.
2. Include "No Parking" sign on Spruce Lane
3. Review with City Planning staff the trail alignment along Outlot C and 67th Ave to determine if sidewalk is necessary around cul-de-sac to more easily access trail from the sidewalk and where pedestrian ramp should be placed on sidewalk side for trail connection.
4. Modify design of eastern pedestrian ramp at intersection of 67th Ave. and Spruce Lane to better accommodate flow of pedestrians.
5. All pedestrian ramps shall be ADA compliant and detailed designs shall be provided for all landings showing elevations in compliance with those requirements.
6. Review curb type from STA 9-18 on 68th Place. Typical requirement for City is B618 curb for greenspace areas.
7. Review grades for trail along 68th Place. Profile shows LP to be 971.50 and HWL for adjacent wetland is 970.7.

Grading /Stormwater

1. If not otherwise provided on grading plans, the Construction Plans shall identify if any existing vegetation is planned to be utilized with the buffer so they can be reviewed by the City for approval.
 - o It is assumed that all wetland buffers will be established with this phase.
 - o A buffer establishment plan shall be provided noting the details on how and when the buffer will be planted as well as a plan and schedule for the maintenance to ensure they are properly established. The establishment plan shall identify specific seed mixes with the type and rates at which the mixes shall be applied.
2. Easements shall be provided over all storm sewer pipes. Easements shall be shown on the utility plan to ensure they are adequate.
3. Rational calculations shall be provided to confirm all pipe sizes and inlet capacity.
4. Adjust trees in front yard of Lots 38 and 39 Block 1 to avoid storm sewer within easement.
5. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter unless approved by the city engineer. The rear of lots 37 and 38 Block 2 appear to be steeper than 4:1.
6. All walls higher than 4' shall be designed by a certified engineer and the design and certification of
7. Provide high point elevations on the property lines between houses on the east side of 67th Ave. to demonstrate appropriate drainage to direct drainage down property lines, not to other lots.
8. Revise location of the EOF for 67th Ave cul de sac to discharge at the CBMH-7003 SAG.
9. Review ponds and identify on plans the full 10' safety bench. For example;
 - o Basin 600P
 - o Reuse basin 650P
 - o Basin 700P
10. Provide hatches on plans to clearly show location of pond access.
11. Provide NWL label for all wetlands and ponds.
12. Update OCS 700 profile in/out labelling for FES 700A and FES 700B.

March 19, 2024

Tavera 6th Addition

Kevin Mattson

Page 3 of 3

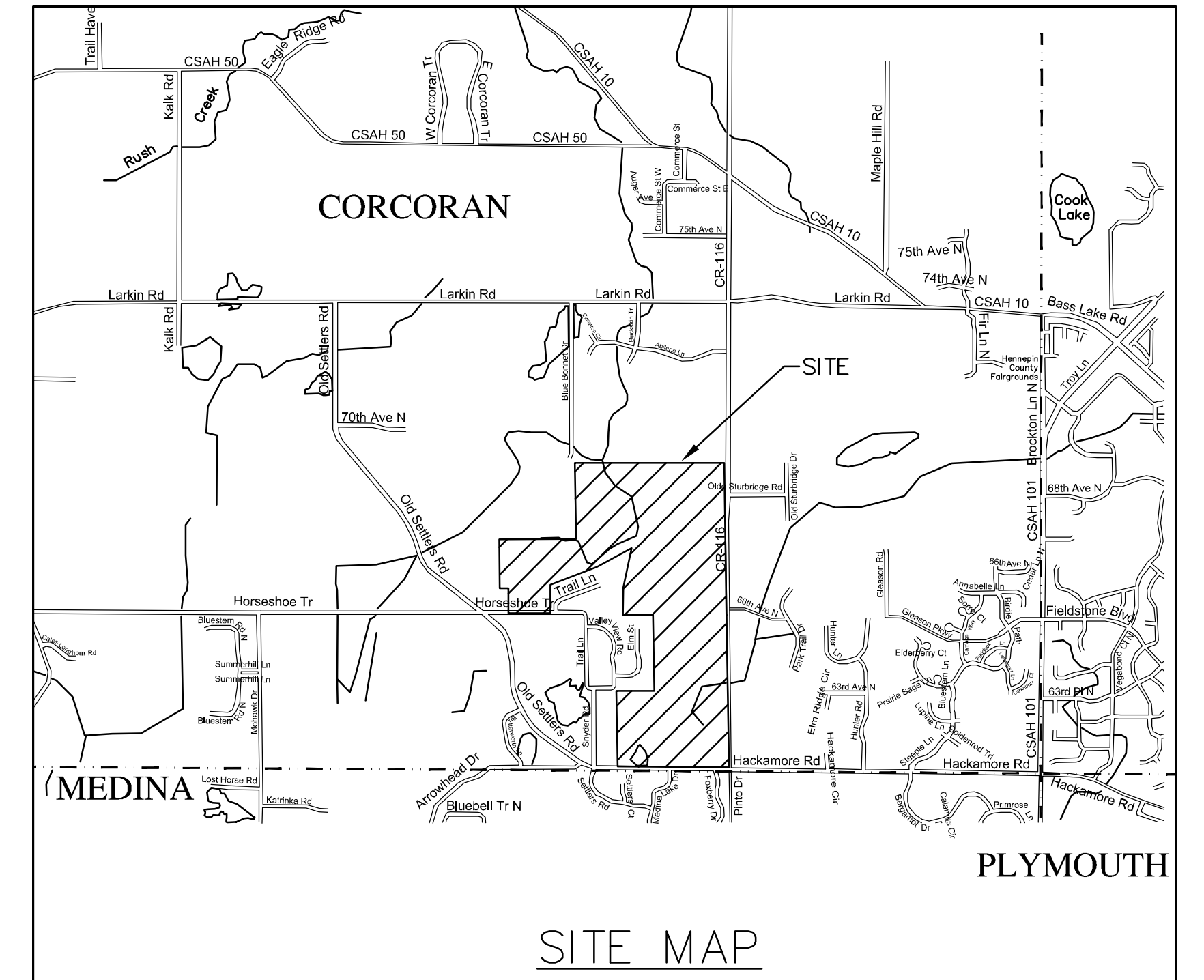
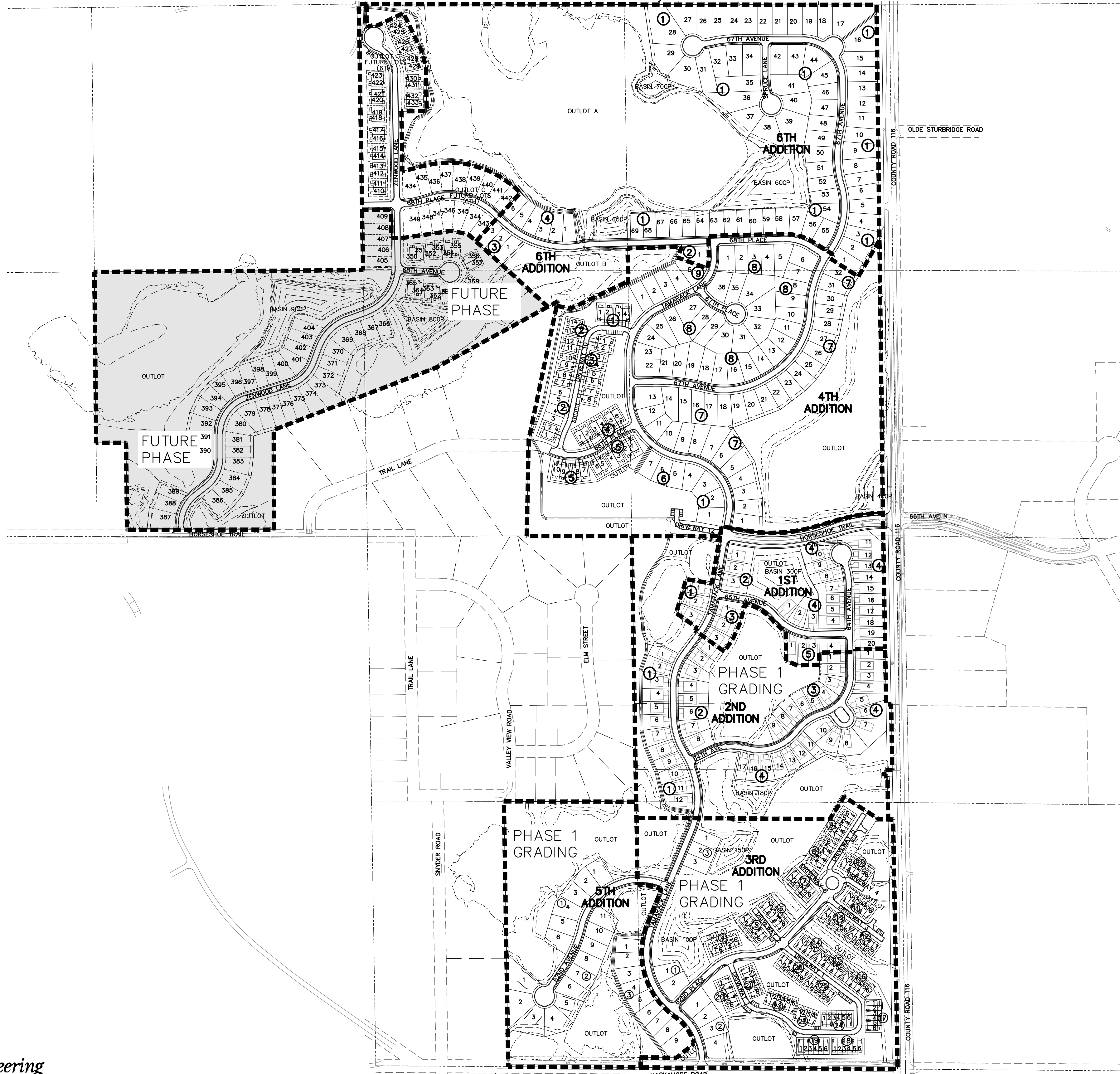
13. Adjust plantings between lots 29 and 30 block 2 away from storm sewer line Provide individual sump drain line for lot 42 block 2.
14. Remove sump pump connections in front yards of Spruce Lane.
15. Show forcemain crossing on storm profile between CBMH 6502 & FES 65; call out insulation if necessary.
16. FES-6035 to CBMH-6024 shows a max velocity of 16 fps. Revise storm pipe and drop structures to achieve a full flow velocity under 10 fps to prevent scouring per Ten States Standards.
17. Draw pond Outlet Control Structure Detail 700 to scale. The inlet and outlet elevations are shown at same elevation but are labeled with 3' of elevation difference.
18. Clarify what is stubbed from back of structure CB-6051 on plans.
19. Cover over pipe profile 6025-6024 does not appear to match grading plan. Update to be consistent.

Watermain/Sanitary Sewer

1. For lots 35-38 identify on profile that water services need to be lowered and identify necessary elevations they need to be lowered to.
2. Show angles of curvature for watermain through back yards of Spruce Lane and 67th Ave. Bends may be necessary in curvature angles are beyond manufacturer recommendations.
3. Confirm that water service for Lot 48 was installed with the 4th Addition.
4. Connection to existing watermain along County Road 116 should be via cutting in a new tee.
5. Revise watermain profile along 67th Ave. at 16+25 to ensure hydrant at a HP.
6. Revise watermain profile along 67th Ave. at 31+90 to ensure hydrant at a HP.
7. Move valve within NE corner of 67th Ave bubble to western leg of tee.
8. Extend WM with directional drilling behind the 67th Ave to west of wetland to avoid disruption to newly constructed homes for access.
9. Plans should note that watermain through steel casing should be encased with blown sand and grouted on either end.

End of Comments

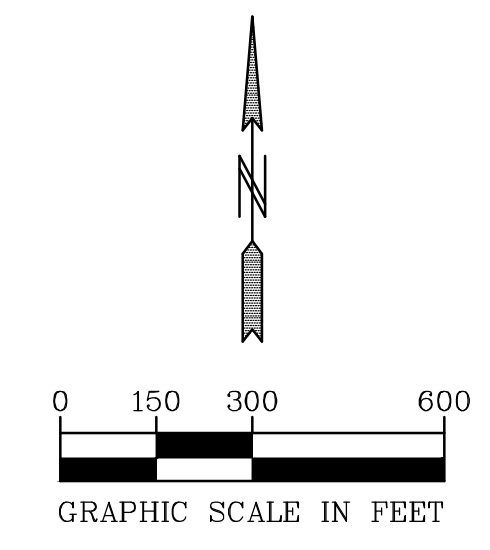
TAVERA PUD & MASTER UTILITY PLAN CORCORAN, MINNESOTA



SHEET INDEX

- 0.01 COVER SHEET
- 0.02 LEGEND SHEET
- 1.01-1.02 EXISTING CONDITIONS
- 2.01-2.06 PRELIMINARY PLAT
- 3.01-3.05 SITE PLAN
- 4.01-4.02 WETLAND IMPACT
- 5.01-5.06 WETLAND BUFFER PLAN
- 6.01-6.06 OVERALL SANITARY & WATERMAIN PLAN
- 7.01-7.05 OVERALL STORM SEWER PLAN
- 7.06-7.07 STORM SEWER OCS DETAILS

- T1-T6 TREE PRESERVATION PLAN
- T7 TREE EASEMENT LOCATIONS



**Know what's below.
Call before you dig.**

PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: *Paul J. Chene*
Reg. No.: 19860 Date: 9-11-2020

Revisions	Date
1. 10-8-2020 Pad Type Change	9-11-2020
2. 11-9-2020 Add Demo Plan	12-05-2022 City Comments
3. 01-29-2021 City Comments & 08-18-2021 Trail L. 12 B. 1 2nd Add.	12-05-2022 City Comments
4. 04-09-2021 City Comments	12-05-2022 City Comments
5. 05-27-2021 City Comments	12-05-2022 City Comments
6. 06-11-2021 City Comments	12-05-2022 City Comments
7. 07-16-2021 2nd Addition	12-05-2022 City Comments
8. 08-18-2021 Trail L. 12 B. 1 2nd Add.	12-05-2022 City Comments
9. 09-22-2021 City Comments	12-05-2022 City Comments
10. 09-27-2021 3rd Addition	12-05-2022 City Comments
11. 02-23-2022 City Comments	12-05-2022 City Comments
12. 05-06-2022 City Comments	12-05-2022 City Comments
13. 05-26-2022 City Comments	12-05-2022 City Comments
14. 06-29-2022 City Comments	12-05-2022 City Comments
15. 08-11-2022 City Comments	12-05-2022 City Comments
16. 08-24-2022 City Comments	12-05-2022 City Comments
17. 09-01-2022 City Comments	12-05-2022 City Comments
18. 09-20-2022 5th Addition	12-05-2022 City Comments
19. 02-15-2023 City Comments	12-05-2022 City Comments
20. 03-07-2023 Wetland Buffer Update	12-05-2022 City Comments
21. 03-23-2023 NW Drwy Temp. Easement	12-05-2022 City Comments
22. 11-17-2023 6th Addition	12-05-2022 City Comments
23. 02-05-2024 City Comments	12-05-2022 City Comments

COVER SHEET

LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

TAVERA
CORCORAN, MINNESOTA

0.01 OF 36

EXISTING		PROPOSED	FUTURE	DESCRIPTION																								
				<p>SANITARY MANHOLE SANITARY SEWER (SANITARY & WATERMAIN PLANS) SANITARY SEWER (STORM SEWER PLANS) FORCE MAIN HYDRANT GATE VALVE REDUCER CURB STOP WATERMAIN (SANITARY & WATERMAIN PLANS) WATERMAIN (STORM SEWER PLANS) CATCH BASIN BEEHIVE STORM MANHOLE FLARED END SECTION CONTROL STRUCTURE STORM SEWER (SANITARY & WATERMAIN PLANS) STORM SEWER (STORM SEWER PLANS) CULVERT PERFORATED DRAIN TILE SOLID DRAIN TILE SERVICE CASING UNDERGROUND ELECTRIC LINE UNDERGROUND FIBER OPTIC LINE UNDERGROUND GAS PIPELINE UNDERGROUND TELEPHONE LINES UNDERGROUND TELEVISION LINE OVERHEAD UTILITY LINES</p>																								
				<p>SURMOUNTABLE CURB & GUTTER B-STYLE CURB & GUTTER RIBBON CURB & GUTTER EDGE OF BITUMINOUS YELLOW PAVEMENT STRIPING (SINGLE/DOUBLE) WHITE PAVEMENT STRIPING (SINGLE/DOUBLE) PHASE LINE CENTERLINE 2' CONTOUR LINE 10' CONTOUR LINE BASIN OUTLET LINE BASIN HIGH WATER LINE PROPOSED SPOT ELEVATION EMERGENCY OVERFLOW DRAINAGE FLOW ARROW DELINEATED / PROPOSED WETLAND LINE WETLAND BUFFER WETLAND SETBACK TREE LINE FEMA FLOODPLAIN BOUNDARY RETAINING WALL FENCE (BARBED WIRE) FENCE (CHAIN LINK) FENCE (WOOD) CONSERVATION AREA SIGN WETLAND BUFFER SIGN TYPE III BARRICADE LIGHT POLE STREET SIGNS PEDESTRIAN RAMP</p>																								
				<p>BOUNDARY RIGHT OF WAY LOT LINE EASEMENT SET BACK LINE SECTION LINE RESTRICTED ACCESS</p>																								
<p style="text-align: center;">HATCH PATTERNS</p> <table border="0"> <tr> <td></td> <td>GRAVEL SURFACE</td> <td></td> <td>WETLAND</td> </tr> <tr> <td></td> <td>BITUMINOUS SURFACE</td> <td></td> <td>WETLAND UPLAND BUFFER</td> </tr> <tr> <td></td> <td>CONCRETE SURFACE</td> <td></td> <td>WETLAND MITIGATION</td> </tr> <tr> <td></td> <td>RIP RAP</td> <td></td> <td>PERMANENT TURF RESTORATION</td> </tr> <tr> <td></td> <td>SELECT BACKFILL MATERIAL</td> <td></td> <td>PERMANENT WET BASIN SEEDING</td> </tr> <tr> <td></td> <td>EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN</td> <td></td> <td>UPLAND/NATURAL AREA SEEDING</td> </tr> </table>						GRAVEL SURFACE		WETLAND		BITUMINOUS SURFACE		WETLAND UPLAND BUFFER		CONCRETE SURFACE		WETLAND MITIGATION		RIP RAP		PERMANENT TURF RESTORATION		SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING		EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN		UPLAND/NATURAL AREA SEEDING
	GRAVEL SURFACE		WETLAND																									
	BITUMINOUS SURFACE		WETLAND UPLAND BUFFER																									
	CONCRETE SURFACE		WETLAND MITIGATION																									
	RIP RAP		PERMANENT TURF RESTORATION																									
	SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING																									
	EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN		UPLAND/NATURAL AREA SEEDING																									

TOPOGRAPHIC SYMBOLS

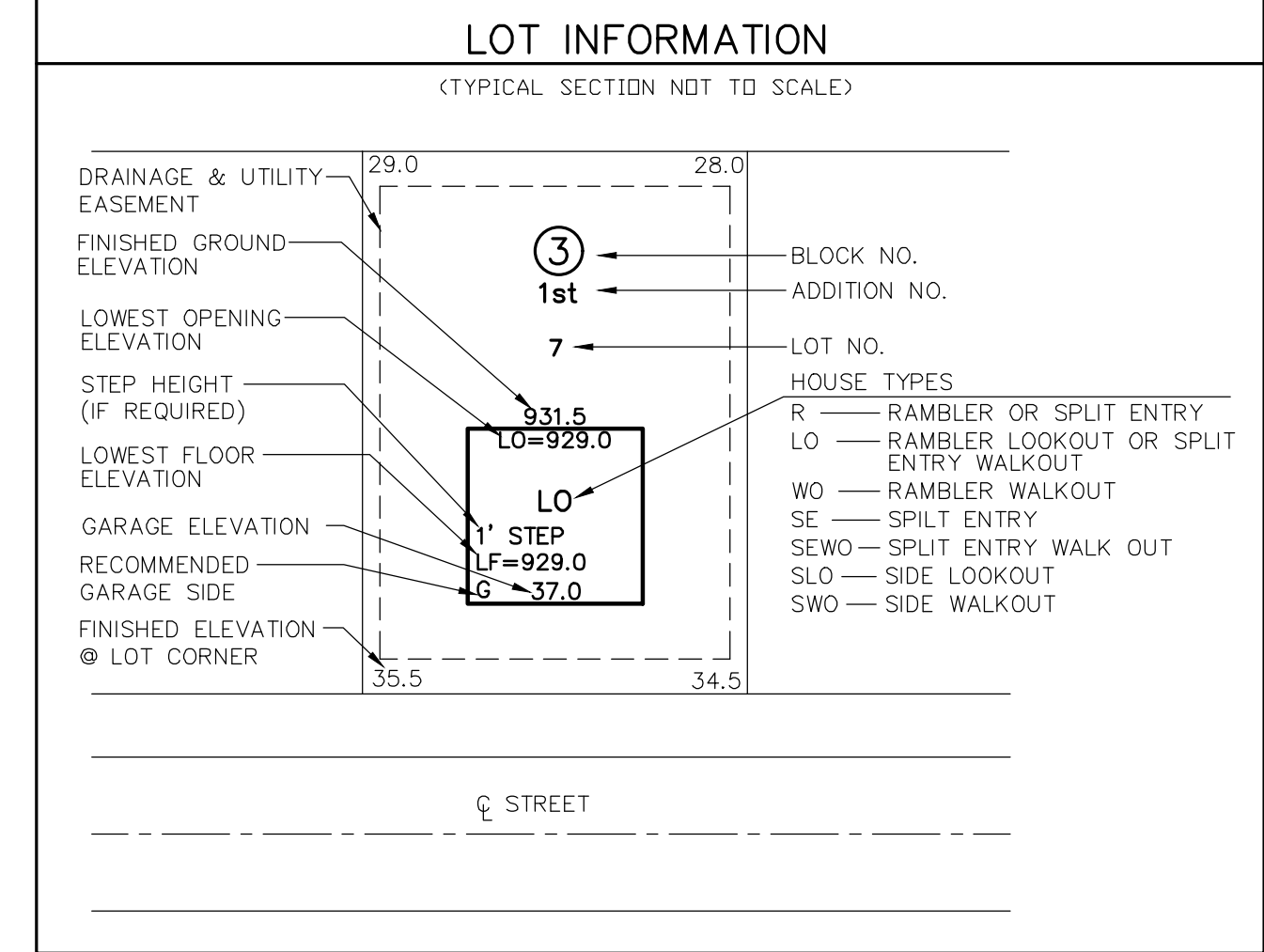
	CATCH BASIN
	CATCH BASIN BEEHIVE
	FLARED END SECTION
	GATE VALVE
	HYDRANT
	WATER SERVICE
	WATER WELL
	MONITORING WELL
	CLEANOUT
	HAND HOLE
	MANHOLE OTHER THAN SANITARY OR STORM
	SANITARY OR STORM MANHOLE
	LAWN SPRINKLER VALVE
	LAWN SPRINKLER HEAD
	UTILITY POLE
	TRANSFORMER BOX
	FIBER OPTIC BOX
	ELECTRIC BOX
	NATURAL GAS METER
	LIGHT POLE
	SEMAPHORE
	TELEPHONE BOX
	CABLE BOX
	CAST IRON MONUMENT
	FOUND IRON PIPE
	JUDICIAL LAND MARK
	PK NAIL
	CONTROL POINT
	SPIKE
	FLAG POLE
	TEST HOLE
	MAILBOX
	SIGN
	BOLLARD
	CONSERVATION POST
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB / BUSH

EROSION & SEDIMENT CONTROL

	ROCK CONSTRUCTION ENTRANCE INSTALL BEFORE START OF GRADING
	PERIMETER EROSION CONTROL FENCE. INSTALL BEFORE START OF GRADING
	SECONDARY EROSION CONTROL FENCE. TO BE INSTALLED 48 HOURS AFTER COMPLETION OF GRADING.
	EROSION CONTROL AT BACK OF CURB. TO BE INSTALLED AFTER COMPLETION OF CURB CONSTRUCTION.
	SUMPED RIP RAP PERMANENT ENERGY DISSIPATER, INSTALL WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
	STABILIZED EMERGENCY OVERFLOW (FLEXAMAT-SEE SHEET 23)
	MNDOT CAT 3 EROSION CONTROL BLANKET. INSTALL WITHIN 7 DAYS OF GRADING COMPLETION
	CATCH BASIN INLET PROTECTION TO BE INSTALLED BEFORE GRADING BEGINS.
	CATCH BASIN INLET PROTECTION TO BE INSTALLED AFTER 1ST LIFT OF BITUMINOUS.
	CATCH BASIN INLET PROTECTION TO BE INSTALLED WITH CATCH BASIN GRATE.
	STRAW BIO ROLLS, INSTALL WITHIN 7 DAYS OF GRADING COMPLETION OR BEFORE 1ST RAINFALL EVENT WHICHEVER IS FIRST
	ROCK DITCH CHECK, INSTALL WITHIN 7 DAYS OF GRADING COMPLETION OR BEFORE 1ST RAINFALL EVENT WHICHEVER IS FIRST
	TREE FENCE

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE
B-B	BACK TO BACK
BV	BUTTERFLY VALVE
BOC	BACK OF CURB
BFE	BASE FLOOD ELEVATION
BMP	BEST MANAGEMENT PRACTICE
CL	CENTER LINE
CB	CATCHBASIN
CBMH	CATCHBASIN MANHOLE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CS	CURB STOP
DIP	DUCTILE IRON PIPE
DT	DRAIN TILE
EL/ELEV	ELEVATION
EOF	EMERGENCY OVERFLOW
EX	EXISTING
FES	FLARED END SECTION
F-F	FACE TO FACE
FM	FORCEMAIN
GB	GRADE BREAK
GND	GROUND
GV	GATE VALVE
HP	HIGH POINT
HYD	HYDRANT
HWL	HIGH WATER LEVEL
INV	INVERT
K	CURVE COEFFICIENT
L	LENGTH
LF	LOWEST FLOOR
LO	LOOKOUT
LO	LOWEST OPENING
LP	LIQUID PETROLEUM
LP	LOW POINT
MH	MANHOLE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PVT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
R	RAMBLER
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
STA	STATION
STRM	STORM SEWER
SWPPP	STORM WATER POLLUTION PROTECTION PLAN
TNH	TYPICAL
TYP	TYPICAL
WM	WATER MAIN
WO	WALKOUT



PROPOSED LEGAL FOR PRELIMINARY PLAT PURPOSES ONLY:

East 1/2 of the Southwest Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

Together with:

Lot 10, Block 1, Meadow Trails, Hennepin County, Minnesota.

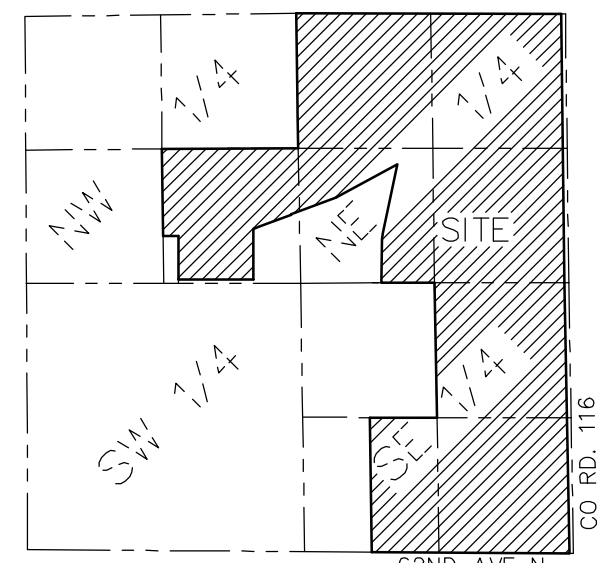
Together with:

The East 1/2 of the Northeast Quarter except that part which lies East of a line parallel with and distant 40 feet West of the East line, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

Together with:

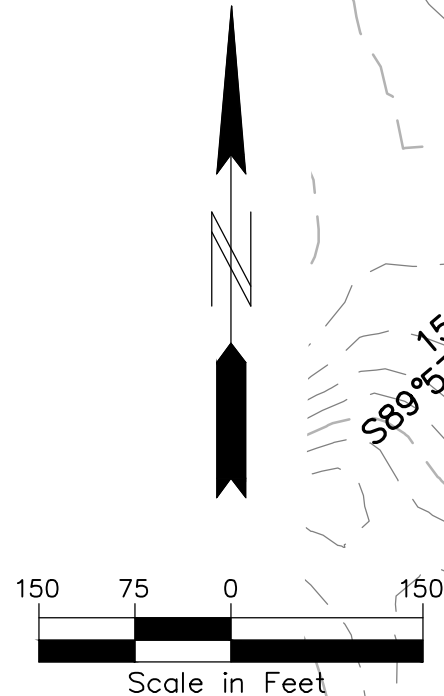
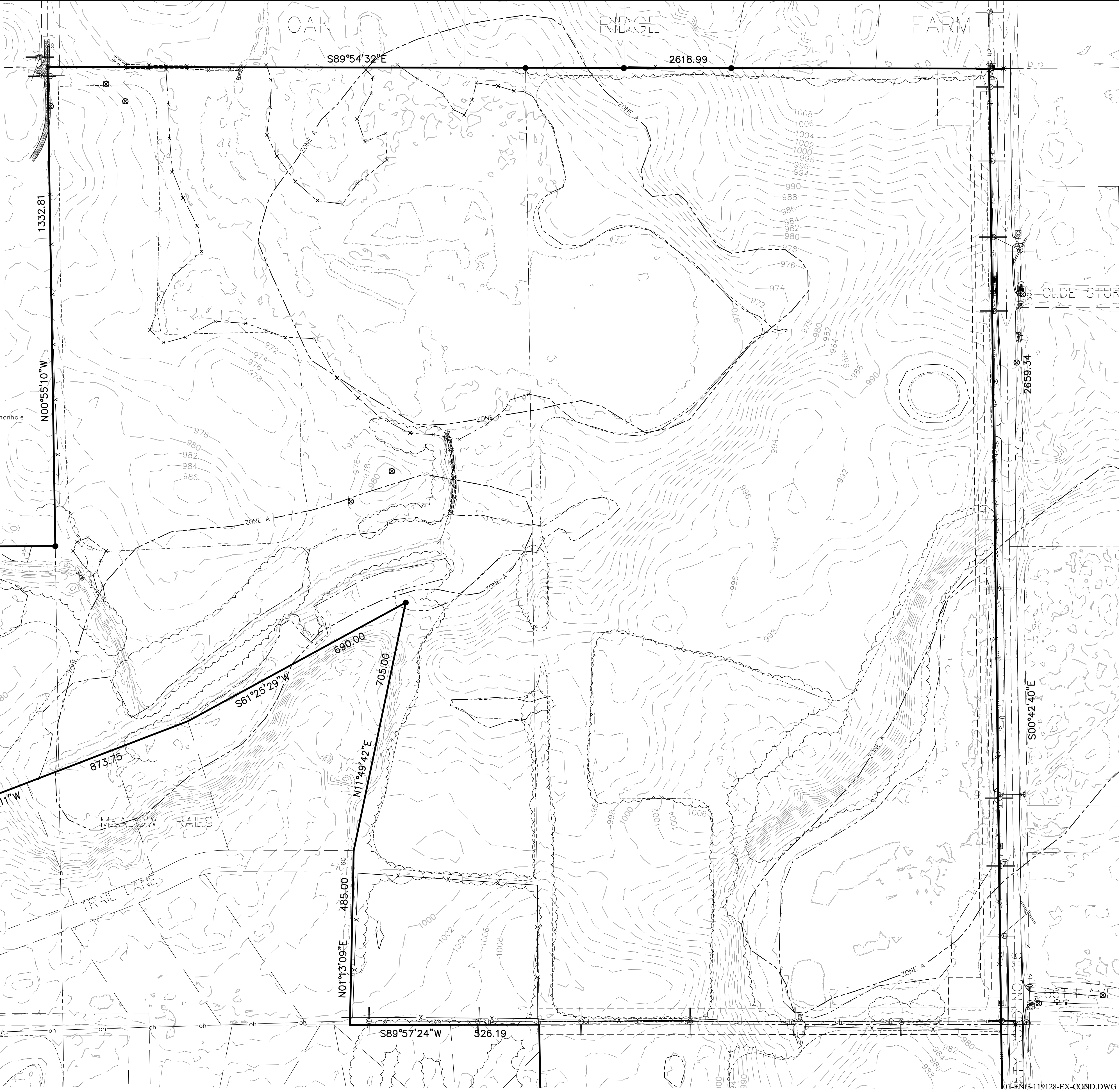
The East 1/2 of the Southeast 1/4 of Section 35, Township 119, Range 23, Hennepin County, Minnesota.
EXCEPT:

All that part of the following described tract:
Southeast 1/4 of the Southeast 1/4 and the South 9 8/10 rods of Northeast 1/4 of Southeast 1/4 also that part of North 20 rods of South 29 8/10 rods of the Northeast 1/4 of Southeast 1/4 lying West of East 18 rods thereof and that part of the Northeast 1/4 of Southeast 1/4 lying North of South 29 8/10 rods thereof, all lying in Section 35, Township 119 North, Range 23 West, except roads; which lies East of a line parallel with and distant 40 feet West of the East line of said section.



SECTION 35, TWP. 119 RGE. 23
LOCATION MAP
NO SCALE

LEGEND	
	Denotes concrete
	Denotes gravel
	Denotes bituminous
	Denotes riprap
	Denotes field edge
	Denotes tree line
	Denotes storm sewer line
	Denotes sanitary sewer line
	Denotes water line
	Denotes overhead utility lines
	Denotes underground television line
	Denotes underground telephone line
	Denotes underground fiber optic line
	Denotes underground electric line
	Denotes underground gas line
	Denotes fence (barbed wire)
	Denotes fence (chain link)
	Denotes fence (wood)
	Denotes catch basin
	Denotes catch basin beehive
	Denotes flared end section
	Denotes gate valve
	Denotes hydrant
	Denotes service
	Denotes water well
	Denotes cleanout
	Denotes manhole other than sanitary or storm
	Denotes sanitary or storm manhole
	Denotes utility pole
	Denotes transformer box
	Denotes fiber optic box
	Denotes electric box
	Denotes light pole
	Denotes telephone box
	Denotes television box
	Denotes found iron pipe
	Denotes mailbox
	Denotes sign



PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.
Name: Peter J. Hawkinson
Reg. No.: 42299
Date: 9-11-2020

Revisions	Date
1. 10-8-2020 Pad Type Change	9-11-2020
2. 11-9-2020 Add Demo Plan	9-11-2020
3. 01-29-2021 City Comments & 08-18-2021 Trail L, P & B 1 2nd Add.	9-11-2020
4. 04-09-2021 City Comments	9-11-2020
5. 05-27-2021 City Comments	9-11-2020
6. 06-11-2021 City Comments	9-11-2020
7. 07-16-2021 2nd Addition	9-11-2020
8. 08-18-2021 Trail L, P & B 1 2nd Add.	9-11-2020
9. 09-22-2021 City Comments	9-11-2020
10. 09-27-2021 3rd Addition	9-11-2020
11. 02-23-2022 City Comments	9-11-2020
12. 05-06-2022 City Comments	9-11-2020
13. 05-26-2022 City Comments	9-11-2020
14. 06-29-2022 City Comments	9-11-2020
15. 08-11-2022 City Comments	9-11-2020
16. 08-24-2022 City Comments	9-11-2020
17. 09-01-2022 City Comments	9-11-2020
18. 09-20-2022 5th Addition	9-11-2020
19. 02-15-2023 City Comments	9-11-2020
20. 03-07-2023 Wolland Buffer Update	9-11-2020
21. 03-23-2023 NW Drwy Temp. Easement	9-11-2020
22. 11-17-2023 6th Addition	9-11-2020
23. 02-05-2024 City Comments	9-11-2020

EXISTING CONDITIONS

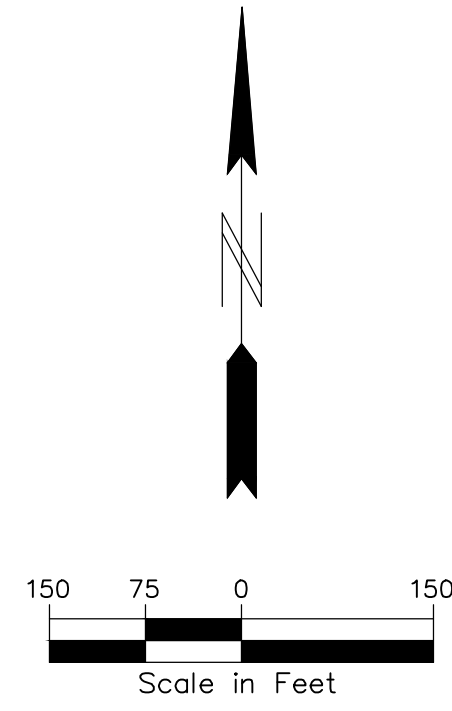
LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

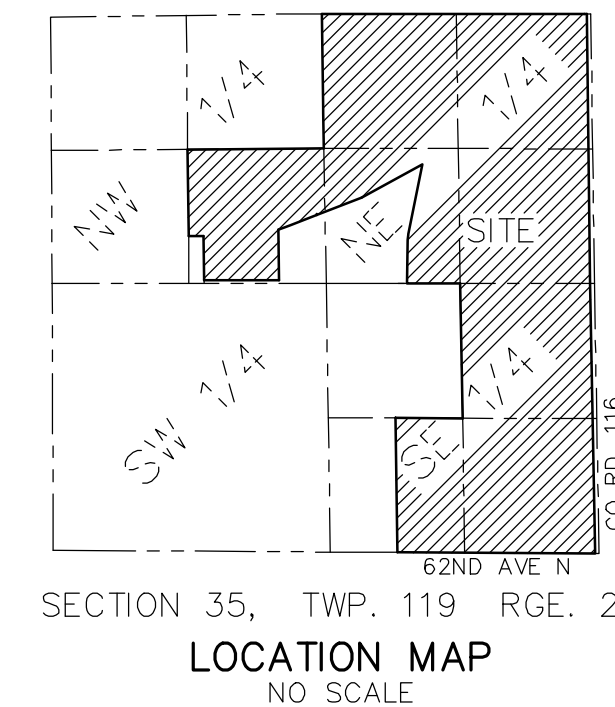
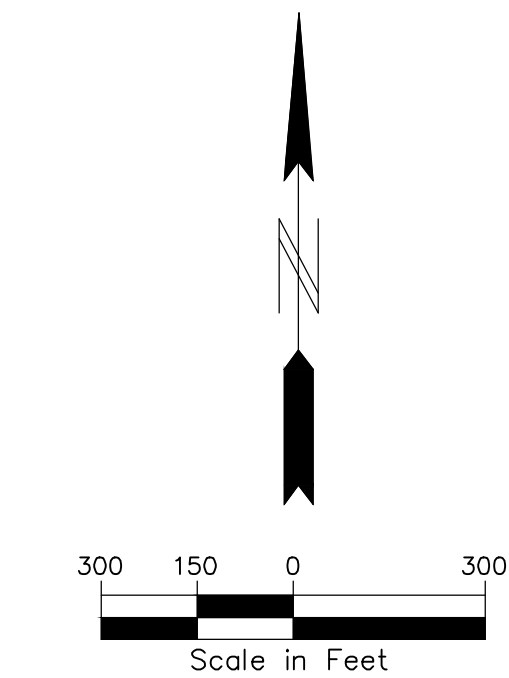
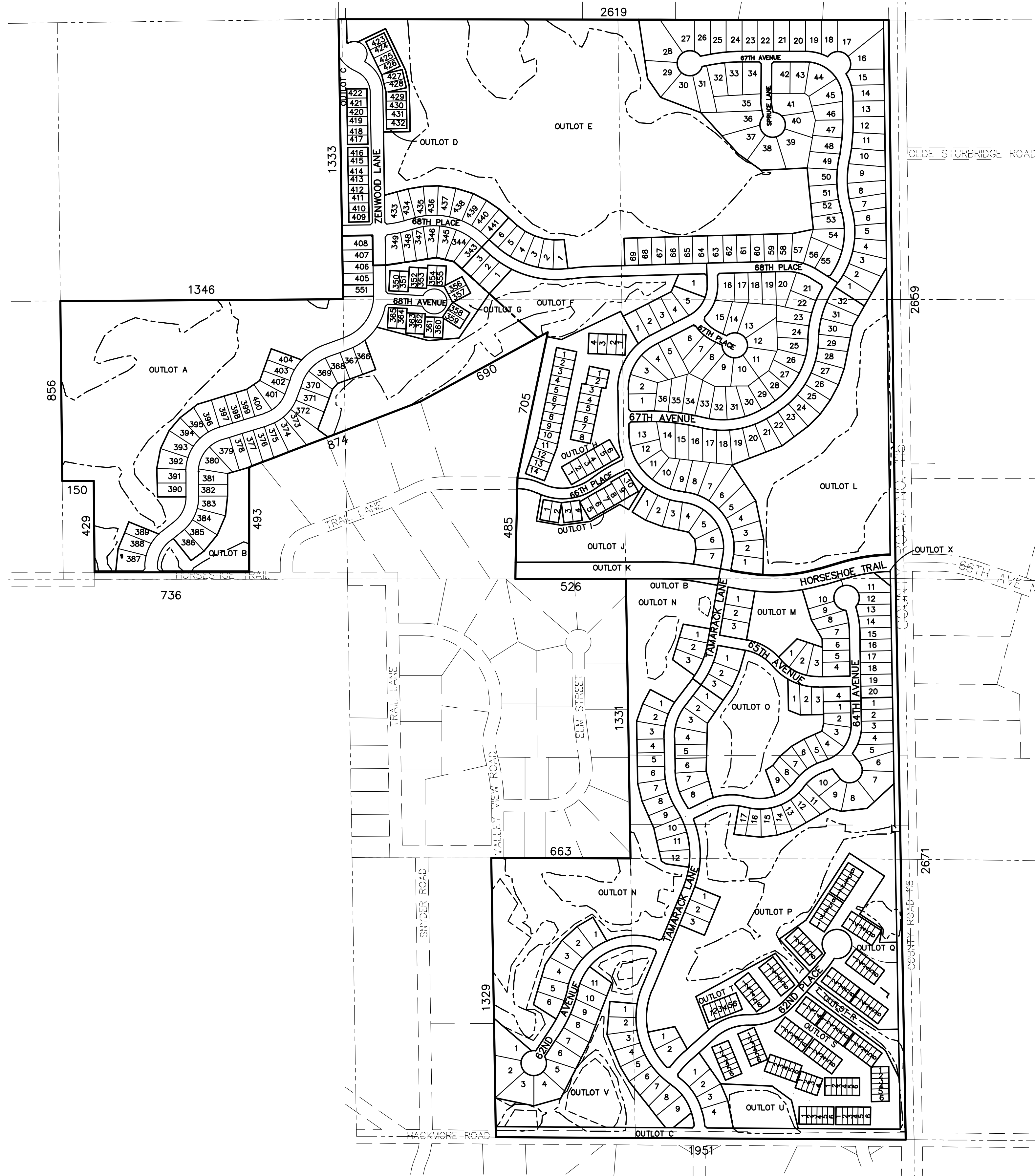
TAVERA
CORCORAN, MINNESOTA

1.01 OF 36

LEGEND

- Denotes concrete
- Denotes gravel
- Denotes bituminous
- Denotes riprap
- Denotes field edge
- Denotes tree line
- Denotes storm sewer line
- Denotes sanitary sewer line
- Denotes water line
- Denotes overhead utility lines
- Denotes underground television line
- Denotes underground telephone line
- Denotes underground fiber optic line
- Denotes underground electric line
- Denotes underground gas line
- Denotes fence (barbed wire)
- Denotes fence (chain link)
- Denotes fence (wood)
- Denotes catch basin
- Denotes catch basin beehive
- Denotes flared end section
- Denotes gate valve
- Denotes hydrant
- Denotes service
- Denotes water well
- Denotes cleanout
- Denotes hand hole
- Denotes sanitary or storm manhole
- Denotes sanitary or storm manhole
- Denotes lawn sprinkler valve
- Denotes lawn sprinkler head
- Denotes utility pole
- Denotes transformer box
- Denotes fiber optic box
- Denotes electric box
- Denotes natural gas meter
- Denotes light pole
- Denotes telephone box
- Denotes television box
- Denotes cast iron monument
- Denotes found iron pipe
- Denotes flag pole
- Denotes test hole
- Denotes mailbox
- Denotes sign





PROPOSED LEGAL FOR PRELIMINARY PLAT PURPOSES ONLY:

East 1/2 of the Southwest Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

Together with:

Lot 10, Block 1, Meadow Trails, Hennepin County, Minnesota.

Together with:

The East 1/2 of the Northeast Quarter except that part which lies East of a line parallel with and distant 40 feet West of the East line, Section 35, Township 119, Range 23, Hennepin County, Minnesota.

Together with:

The East 1/2 of the Southeast 1/4 of Section 35, Township 119, Range 23, Hennepin County, Minnesota.

EXCEPT: The East Sixteen (16) rods of the North Twenty (20) rods of the South Twenty-nine and eight tenths (29.8) rods of the Northeast Quarter (NE 1/4) of the Southeast Quarter (SE 1/4) of Section Thirty-five (35), Township One Hundred Nineteen (119), Range Twenty-three (23).

AND FURTHER EXCEPT:

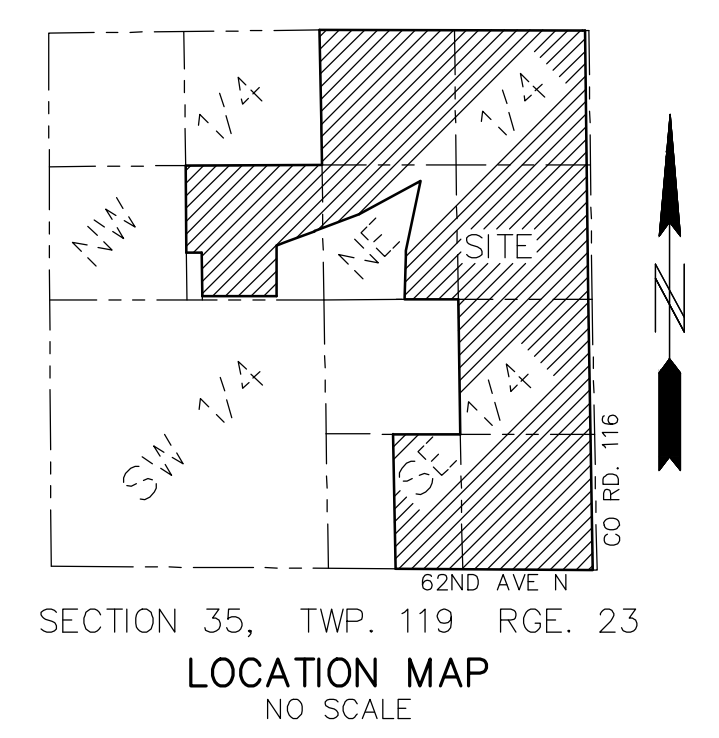
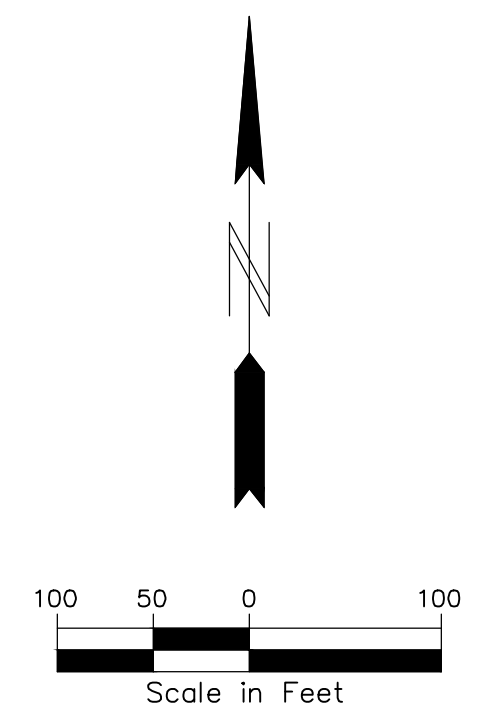
All that part of the following described tract:

Southeast 1/4 of the Southeast 1/4 and the South 9 8/10 rods of Northeast 1/4 of Southeast 1/4 also that part of North 20 rods of South 29 8/10 rods of the Northeast 1/4 of Southeast 1/4 lying West of East 16 rods thereof and that part of the Northeast 1/4 of Southeast 1/4 lying North of South 29 8/10 rods thereof, all lying in Section 35, Township 119 North, Range 23 West, except roads; which lies East of a line parallel with and distant 40 feet West of the East line of said section.

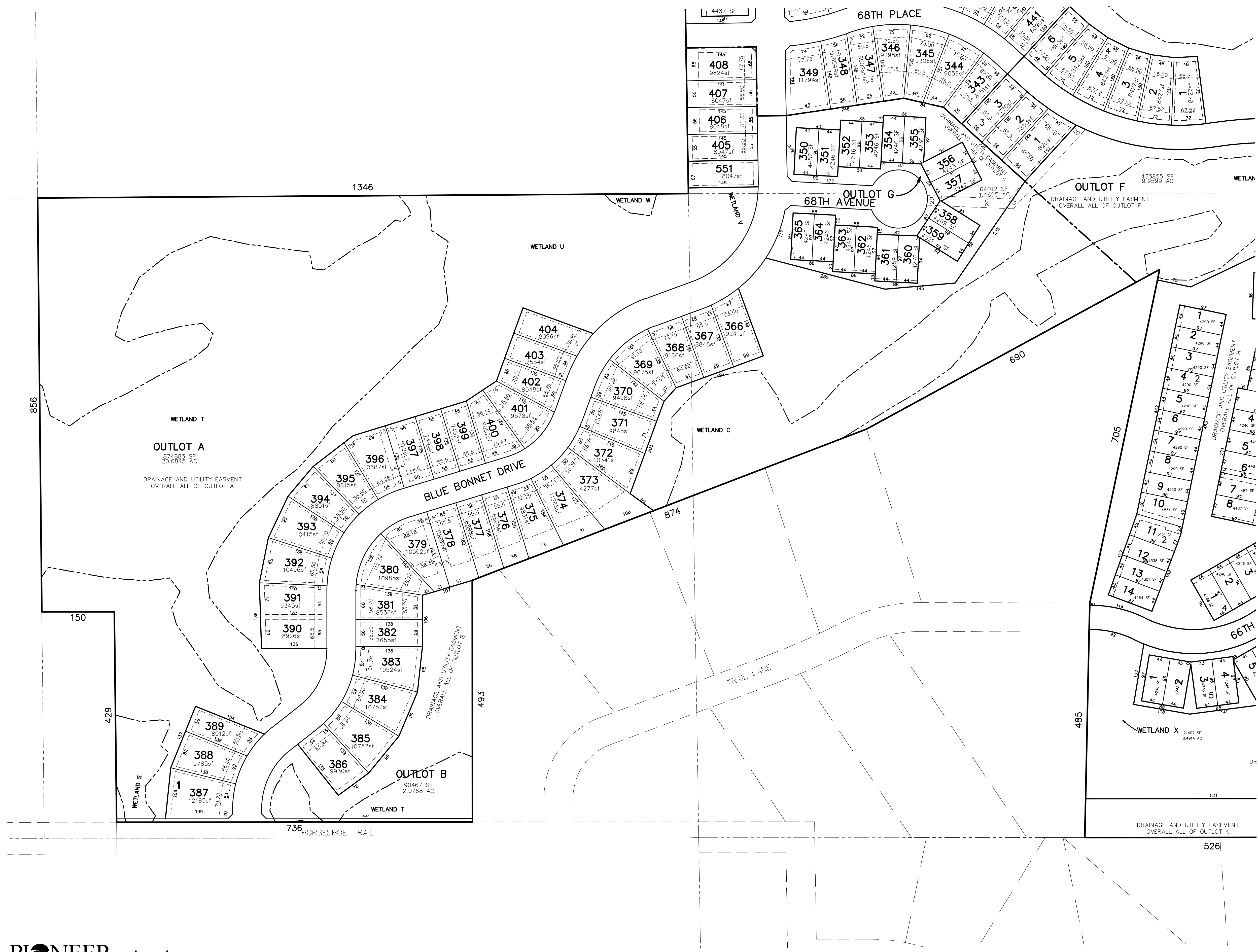
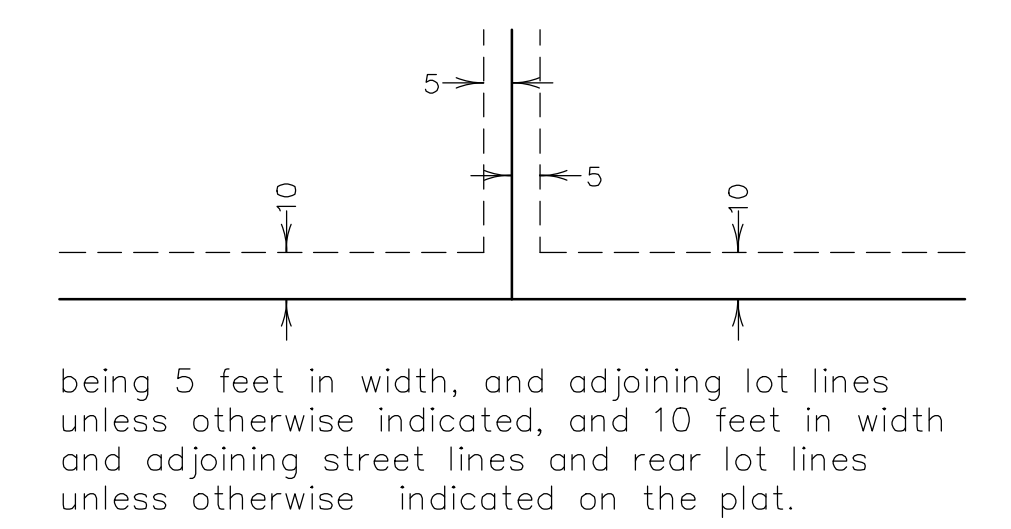
Together with:

The East 16 Rods of North 20 Rods of South 29.8 Rods of Northeast 1/4 of Southeast 1/4, Section 35, Township 119 North, Range 23 West, except that part which lies East of a line parallel with and distant 40 feet West of the East line of said section, Hennepin County, Minnesota.

TOTAL GROSS AREA	273.57	ACRES
TOTAL LOT AREA	96.31	ACRES
NUMBER OF LOTS	549	
NUMBER OF OUTLOTS	24	
TOTAL OUTLOT AREA	145.91	ACRES
TOTAL RIGHT OF WAY AREA	31.35	ACRES
TOWNHOME BASELOT AREA	15.86	ACRES
TWINHOME BASELOT AREA	15.90	ACRES
TOWNHOME SF PER UNIT (134 LOTS)	5,153	SF
TWINHOME SF PER UNIT (80 LOTS)	8,657	SF
GROSS DENSITY	2.01	LOTS/ACRE
NET DENSITY (EXCLUDES WETLANDS AND COUNTY ROW)	2.67	LOTS/ACRE



DRAINAGE AND UTILITY EASEMENTS FOR SINGLE FAMILY LOTS ARE SHOWN THUS:



PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.
Name: Peter J. Hawkinson
Reg. No.: 42299
Date: 9-11-2020

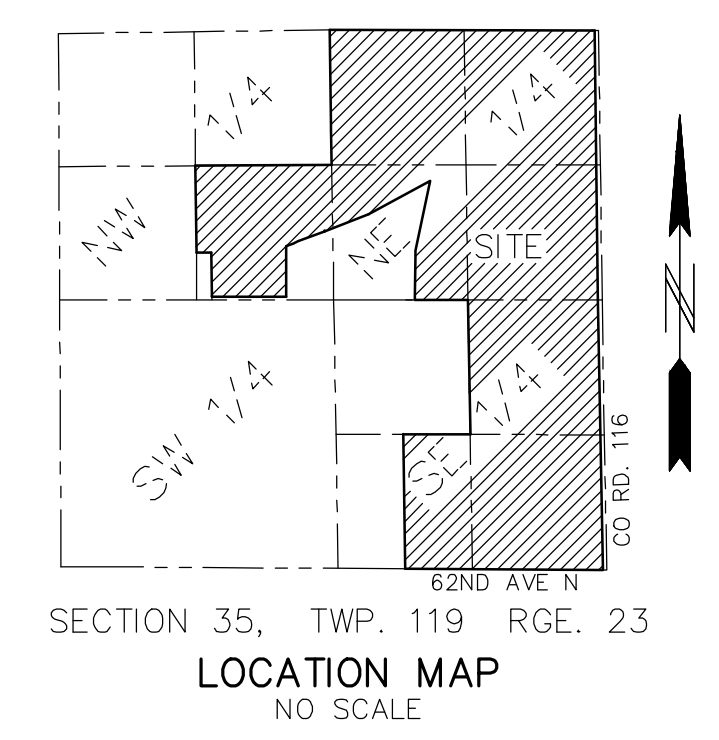
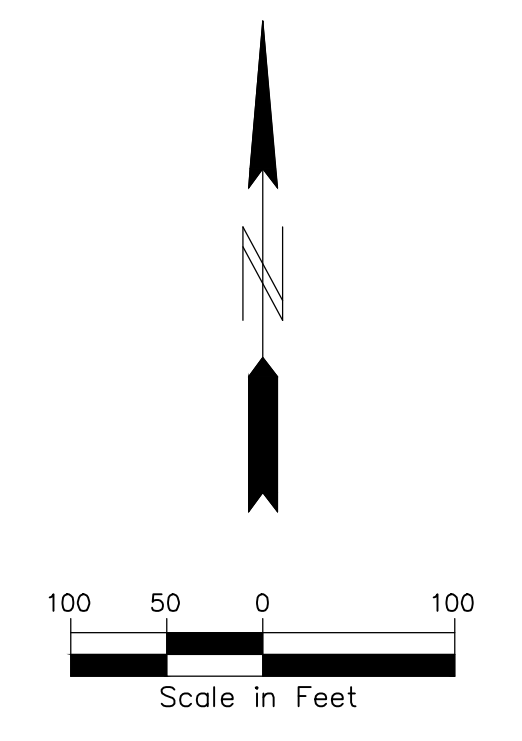
Revisions:
1. 10-8-2020 Pad Type Change
2. 11-9-2020 Add Demo Plan
3. 01-20-2021 City Comments & 08-18-2021 Trail L, 12 B, 1 2nd Add.
4. 04-09-2021 City Comments
5. 05-27-2021 City Comments
6. 06-11-2021 City Comments
7. 07-16-2021 2nd Addition
8. 08-18-2021 Trail L, 12 B, 1 2nd Add.
9. 09-22-2021 City Comments
10. 09-27-2021 3rd Addition
11. 02-23-2022 City Comments
12. 05-06-2022 City Comments
13. 05-26-2022 City Comments
14. 06-29-2022 City Comments
15. 08-24-2022 City Comments
16. 08-24-2022 City Comments
17. 09-01-2022 City Comments
18. 09-20-2022 5th Addition
19. 02-15-2023 City Comments
20. 03-07-2023 Wetland Buffer Update
21. 03-23-2023 NW Drwy Temp. Easement
22. 11-17-2023 6th Addition
23. 02-05-2024 City Comments

PRELIMINARY PLAT
Designed: PIC/BNM
Drawn: MPC

LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

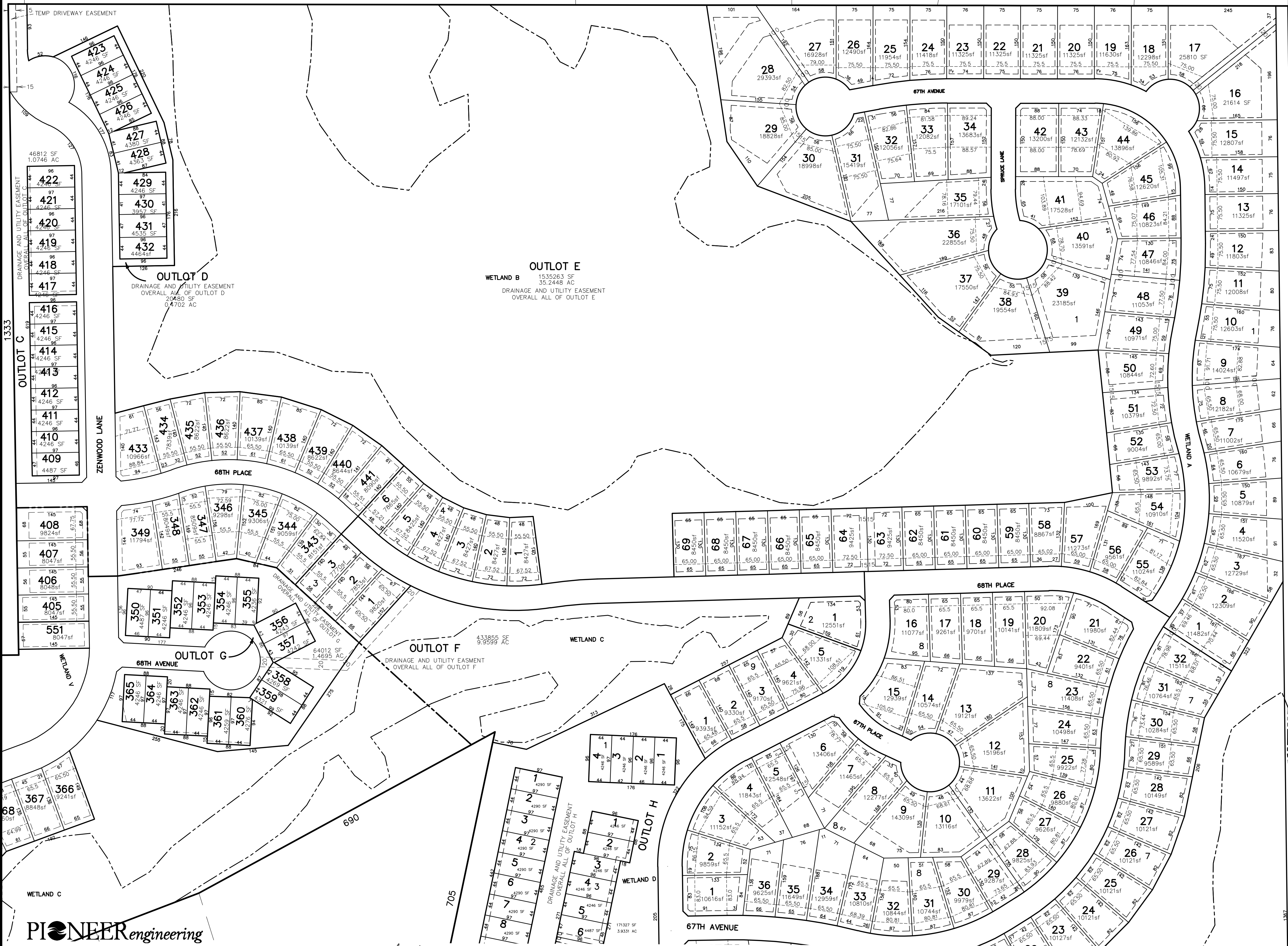
TAVERA
CORCORAN, MINNESOTA

2.02 OF 36



DRAINAGE AND UTILITY EASEMENTS FOR SINGLE FAMILY LOTS ARE SHOWN THUS:

being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plat.



PIONEER engineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.
Name: Peter J. Hawkinson
Reg. No.: 42299 Date: 9-11-2020

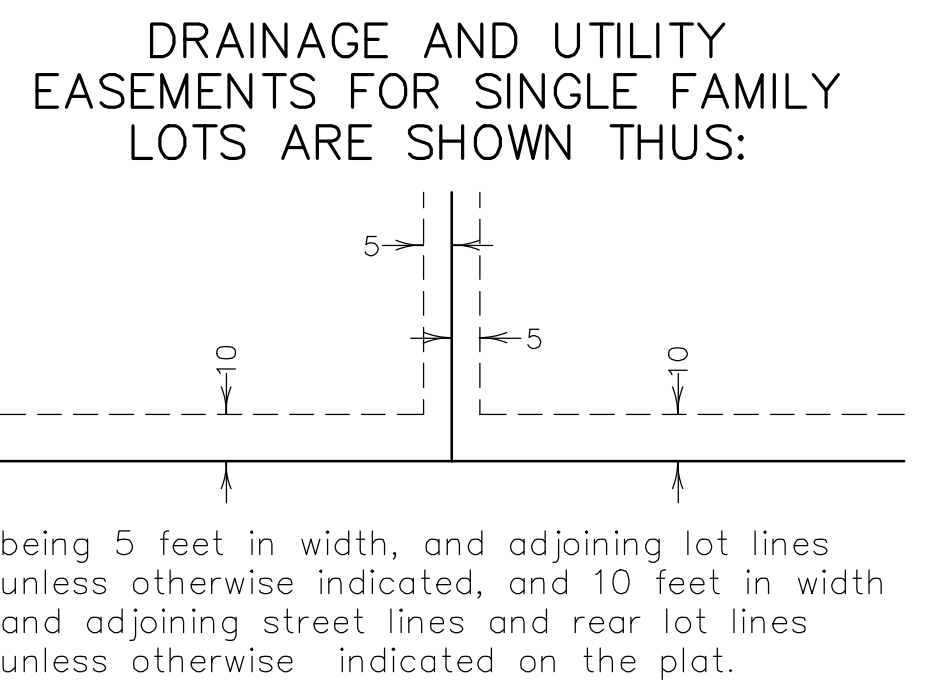
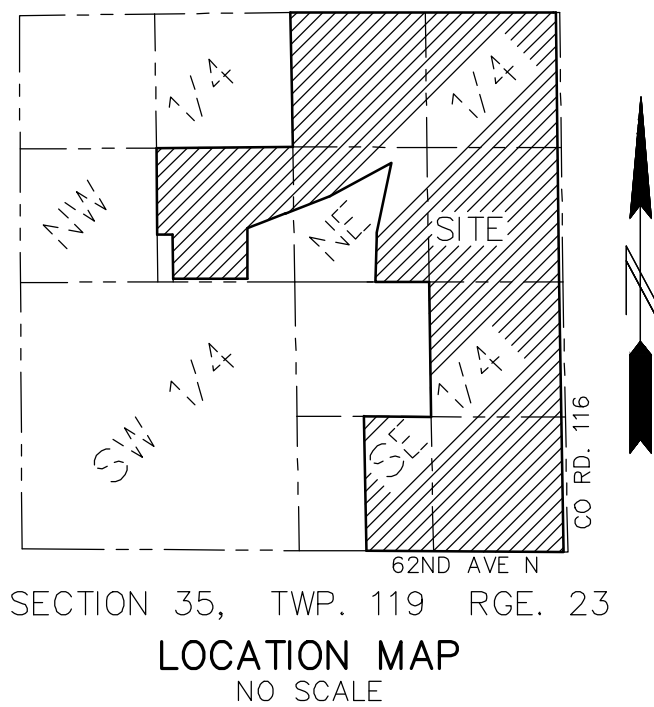
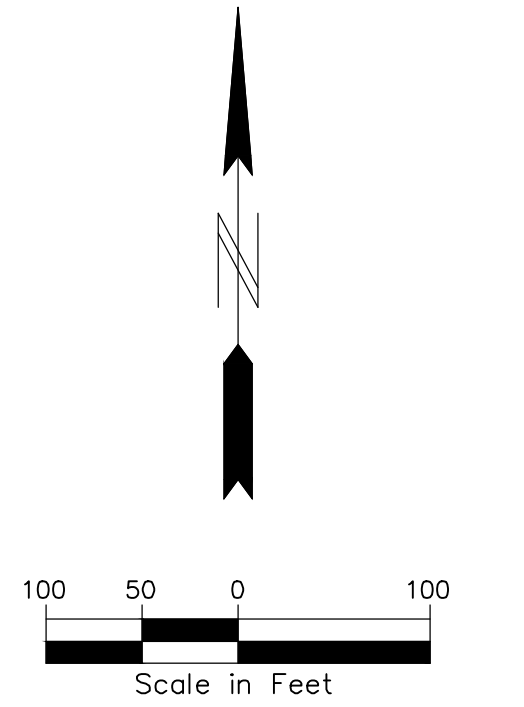
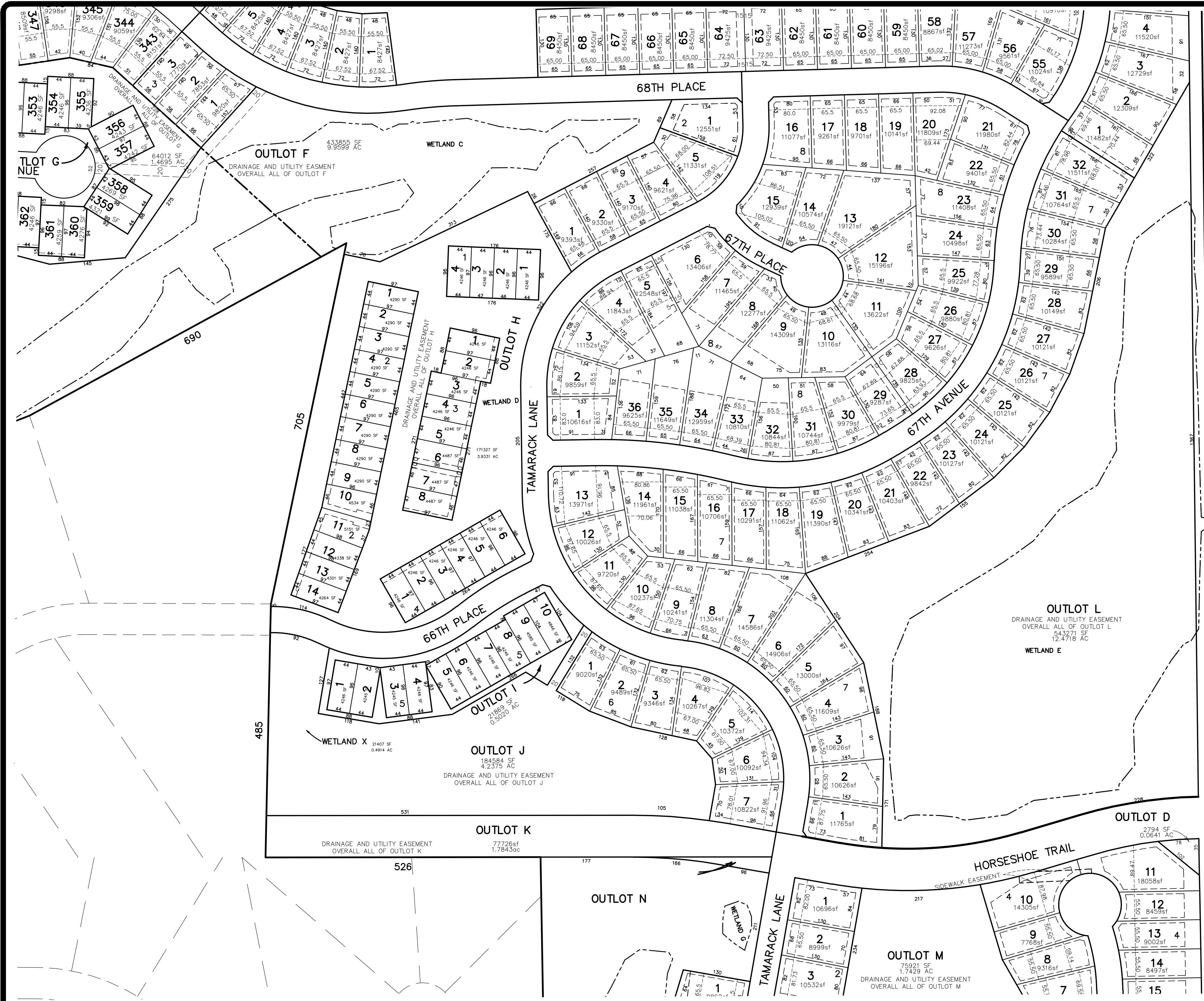
Revisions:
1. 10-8-2020 Pad Type Change & 06-11-2021 City Comments 10. 09-27-2021 3rd Addition
2. 11-9-2020 Add Demo Plan 7. 07-16-2021 2nd Addition 12. 05-06-2022 City Comments
3. 01-20-2021 City Comments & 08-18-2021 Trail L, T, B & 2nd Add.
4. 04-09-2021 City Comments 9. 09-22-2021 City Comments 13. 05-26-2022 City Comments

Date: 9-11-2020
Designed: PIC/BNM
Drawn: MPC

PRELIMINARY PLAT

LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

TAVERA
CORCORAN, MINNESOTA



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.

Name: Peter J. Hawkinson
 Reg. No.: 42299
 Date: 9-11-2020

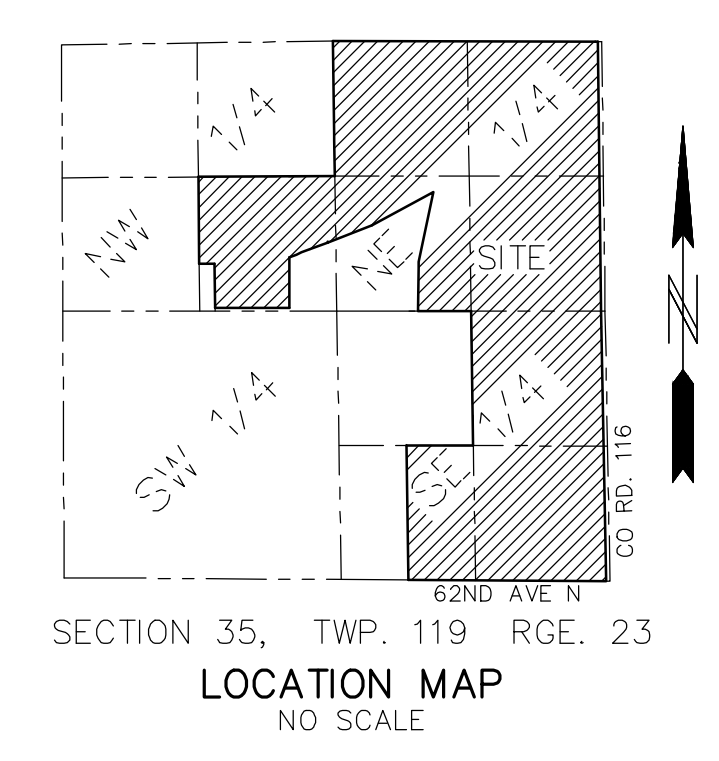
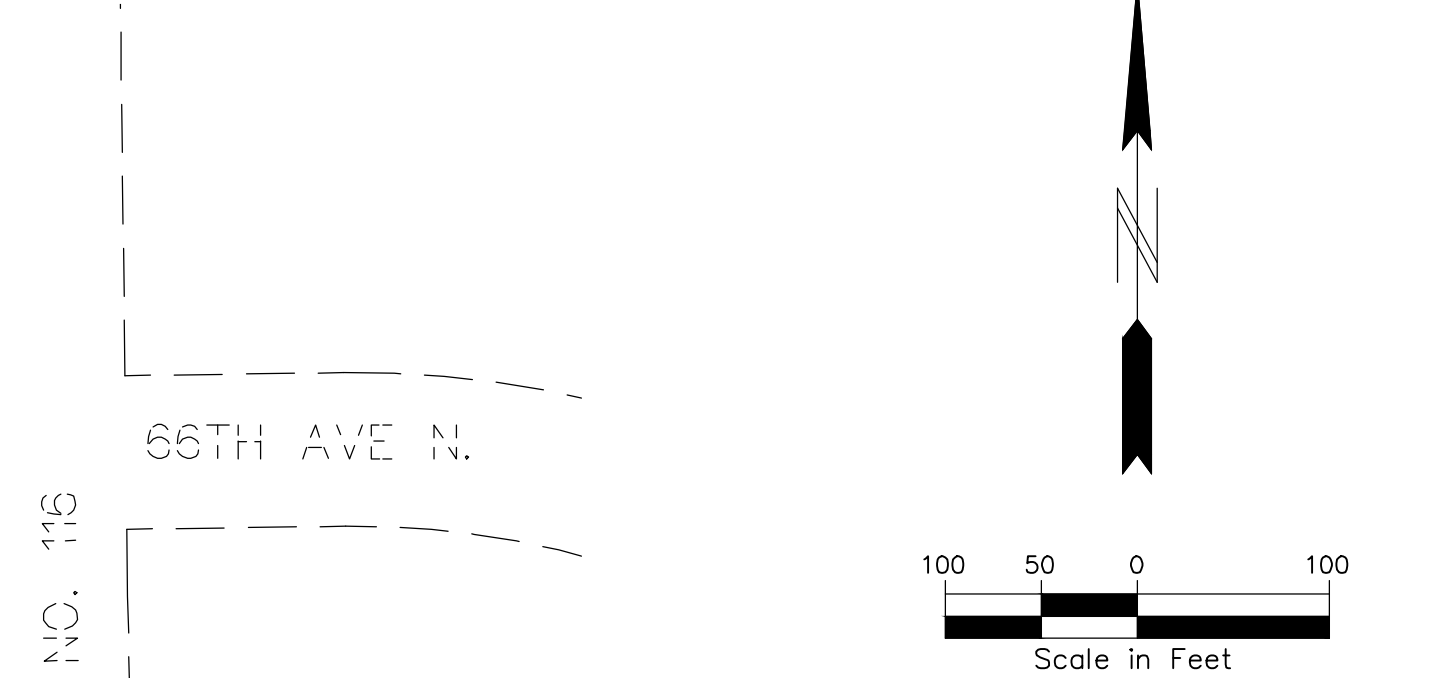
Revisions:
 1. 10-8-2020 Pad Type Change 6.06-11-2021 City Comments 11.02-23-2022 City Comments
 2. 11-9-2020 Add Demo Plan 7.07-16-2021 2nd Addition 12.05-06-2022 City Comments
 3. 01-26-2021 City Comments 8.08-18-2021 Trail L, L2 B1 2nd Add.
 4. 04-09-2021 City Comments 9.09-22-2021 City Comments 13.05-26-2022 City Comments
 5. 05-27-2021 City Comments 10.09-27-2021 3rd Addition
 Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

PRELIMINARY PLAT

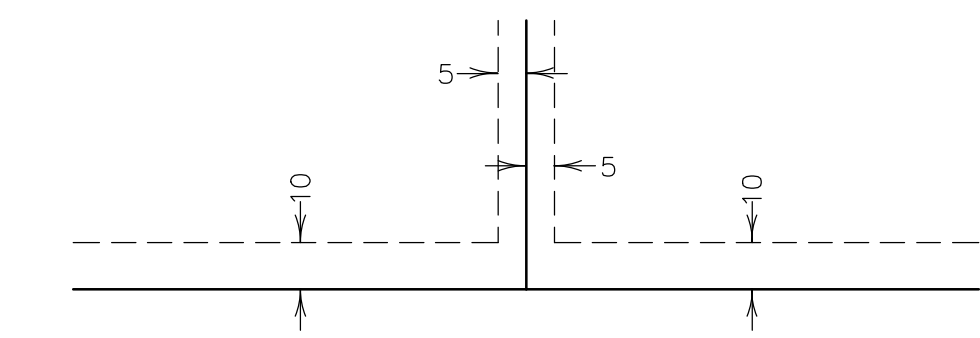
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

© 2022 Pioneer Engineering, P.A.
 14.06-26-2022 City Comments 16.08-24-2022 City Comments 18.09-26-2022 5th Addition 20.03-07-2023 Wetland Buffer Update 22.11-17-2023 6th Addition
 15.08-11-2022 City Comments 17.09-01-2022 City Comments 19.02-15-2023 City Comments 21.03-23-2023 NW Drwy Temp. Easement 23.02-05-2024 City Comments



DRAINAGE AND UTILITY EASEMENTS FOR SINGLE FAMILY LOTS ARE SHOWN THUS:



being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plot.

PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.
 Name: Peter J. Hawkinson
 Reg. No.: 42299
 Date: 9-11-2020

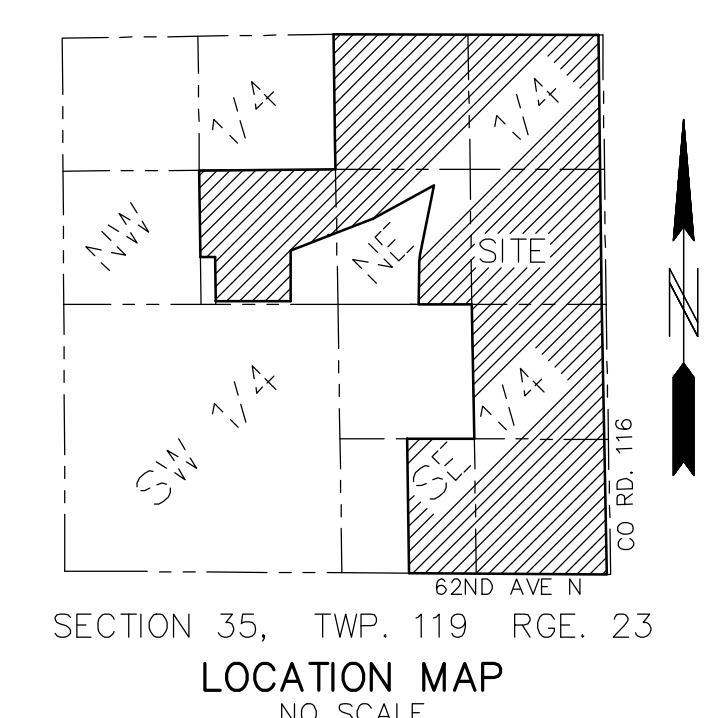
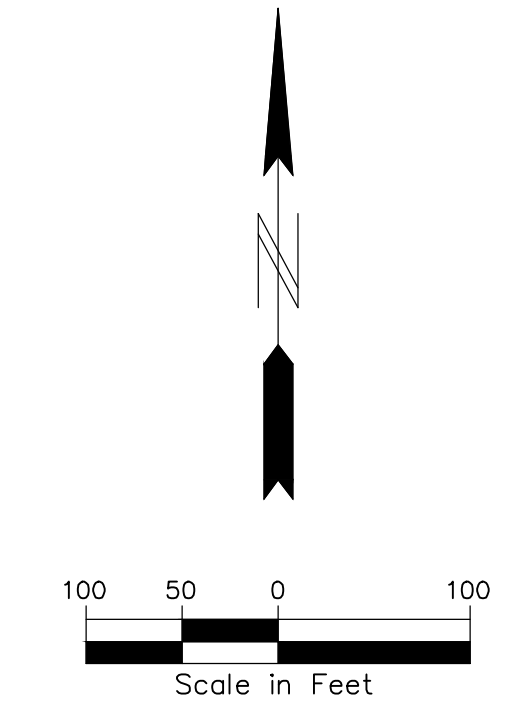
Revisions:
 1. 10-8-2020 Pad Type Change & 06-11-2021 City Comments
 2. 11-9-2020 Add Demo Plan 7. 07-16-2021 2nd Addition 12. 05-06-2022 City Comments
 3. 01-20-2021 City Comments & 08-18-2021 Trail L, L 2 B 1 2nd Add
 4. 04-09-2021 City Comments 9. 09-22-2021 City Comments 13. 05-26-2022 City Comments
 5. 05-27-2021 City Comments 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments
 14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-20-2022 5th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

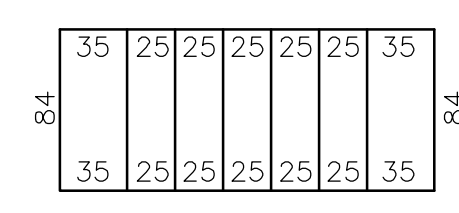
PRELIMINARY PLAT

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

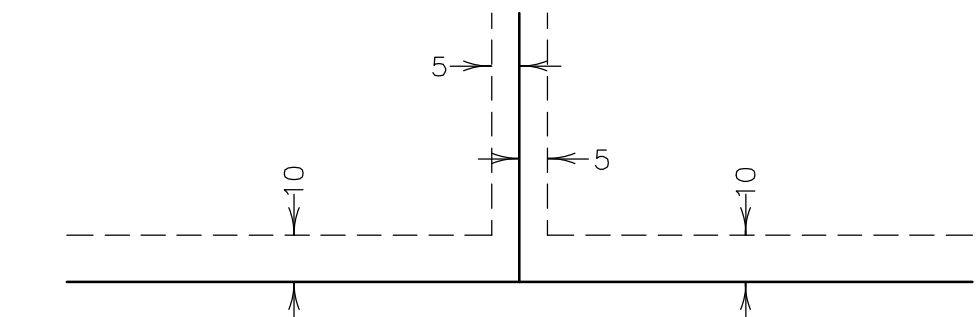
TAVERA
 CORCORAN, MINNESOTA



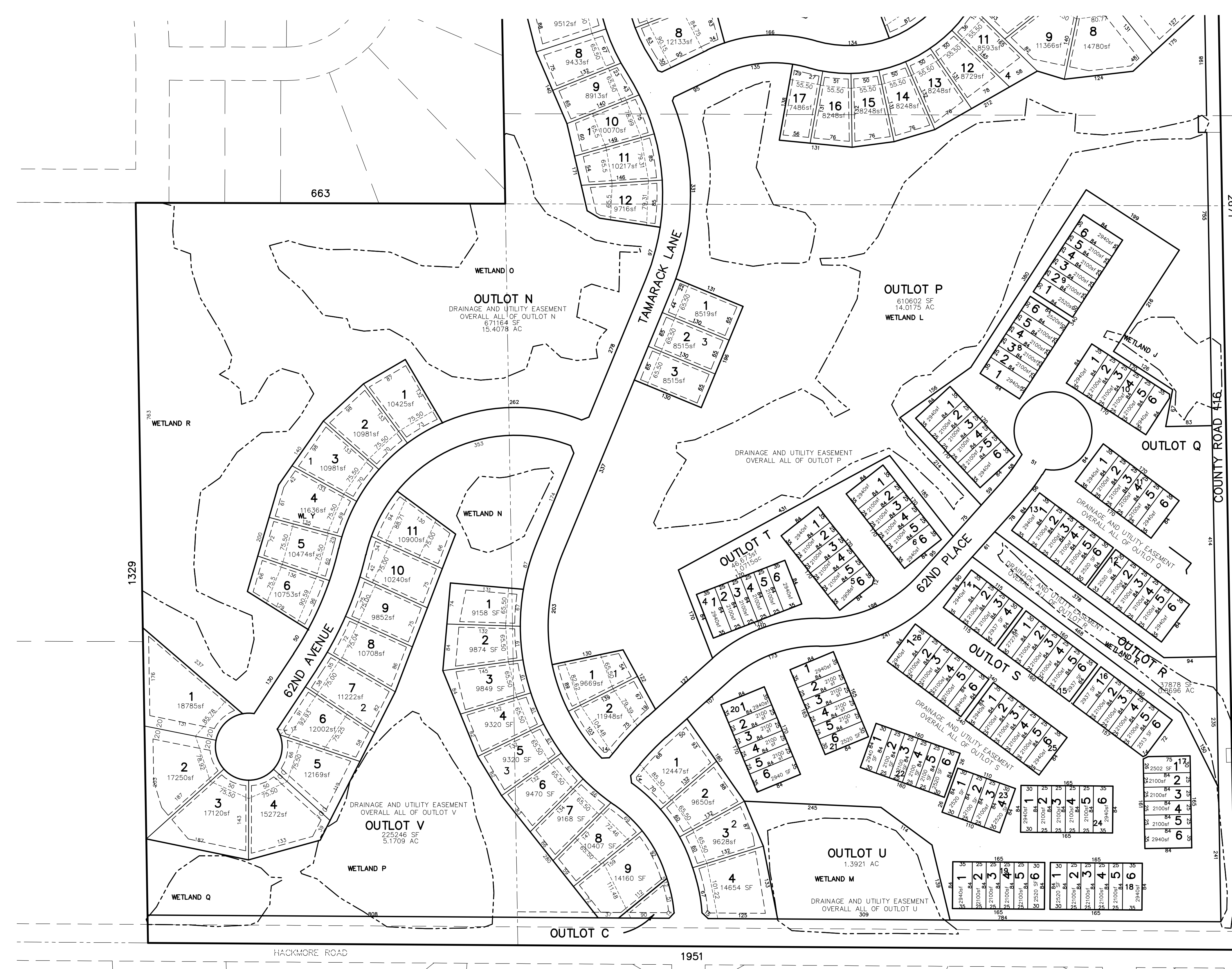
TOWNHOME LOT TYPICAL:

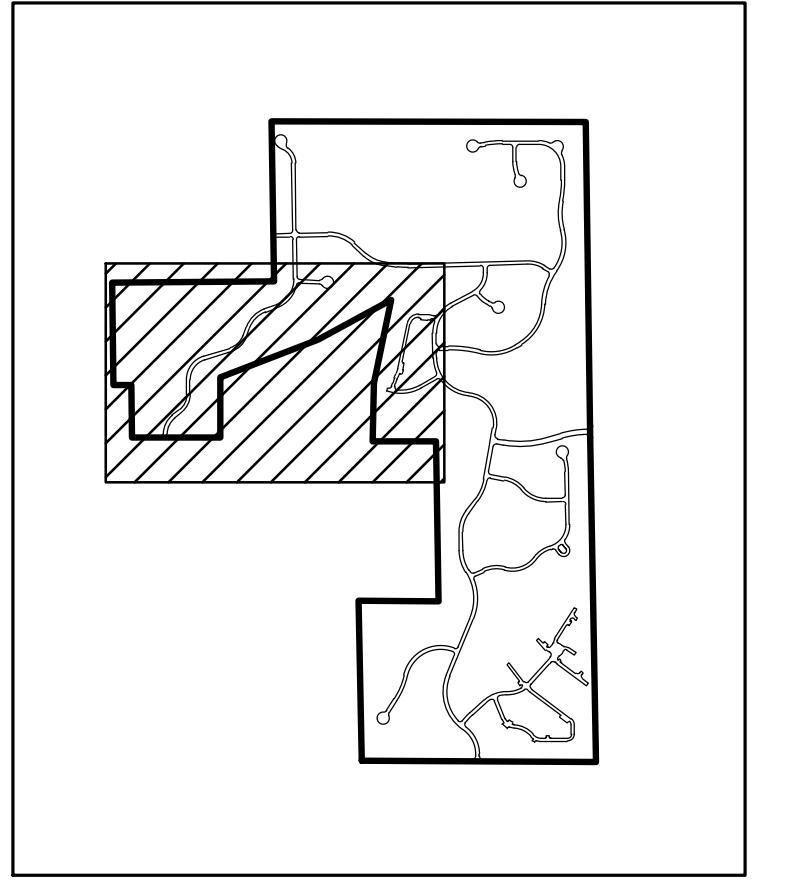
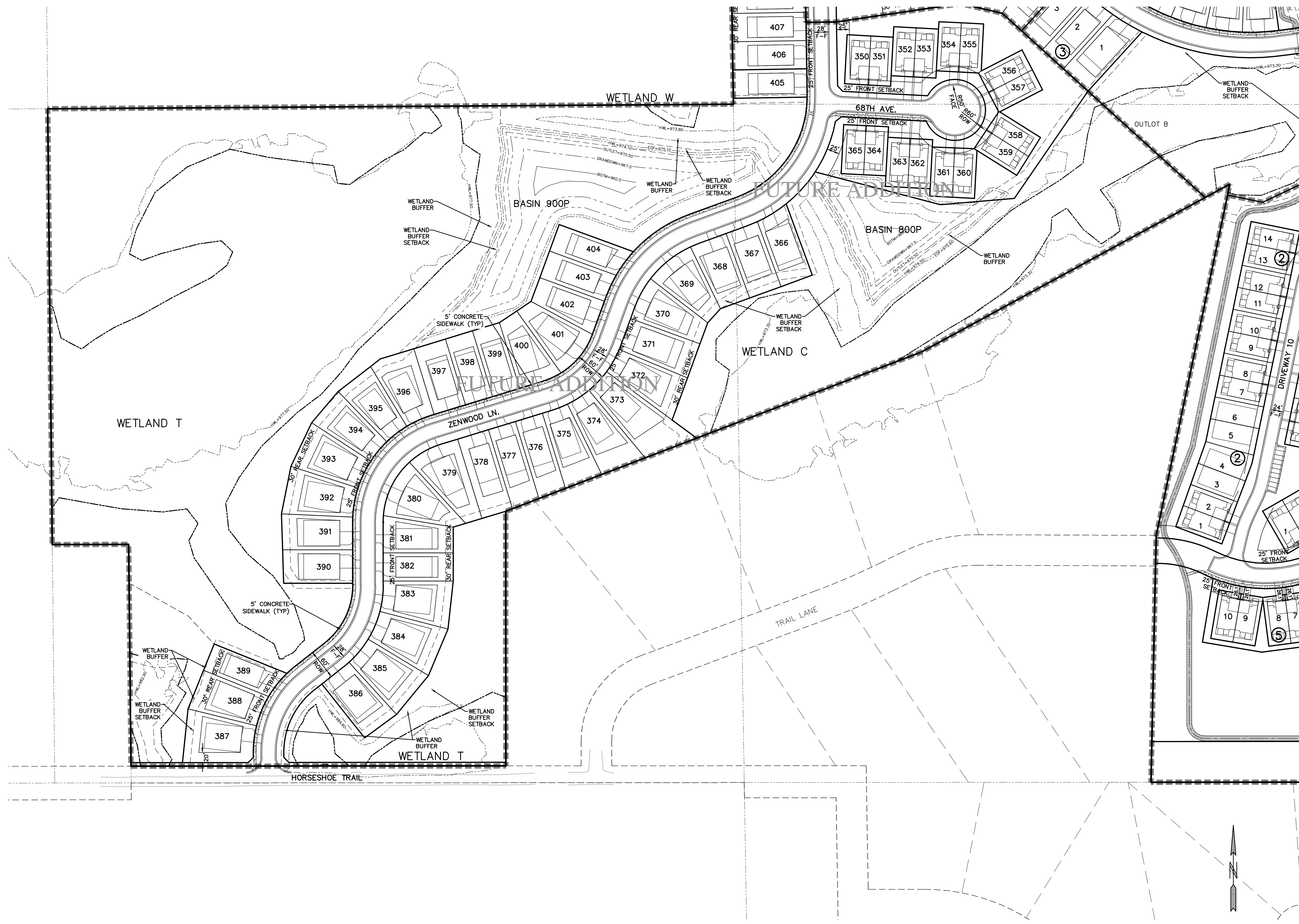


DRAINAGE AND UTILITY EASEMENTS FOR SINGLE FAMILY LOTS ARE SHOWN THIS:



being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plat.





INDEX

PROPOSED UNITS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
 VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

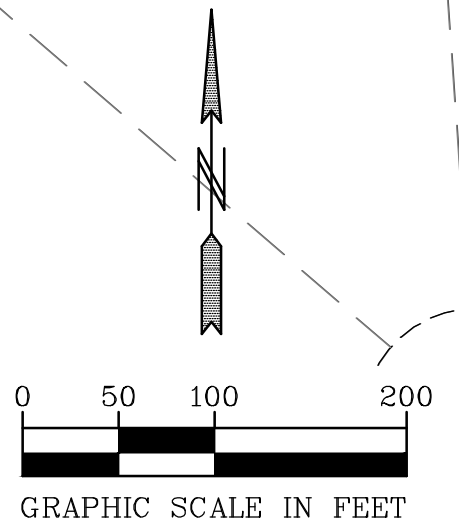
65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)

WETLAND REQUIREMENTS (AVERAGING ALLOWED):
 HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
 MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
 LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'



2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

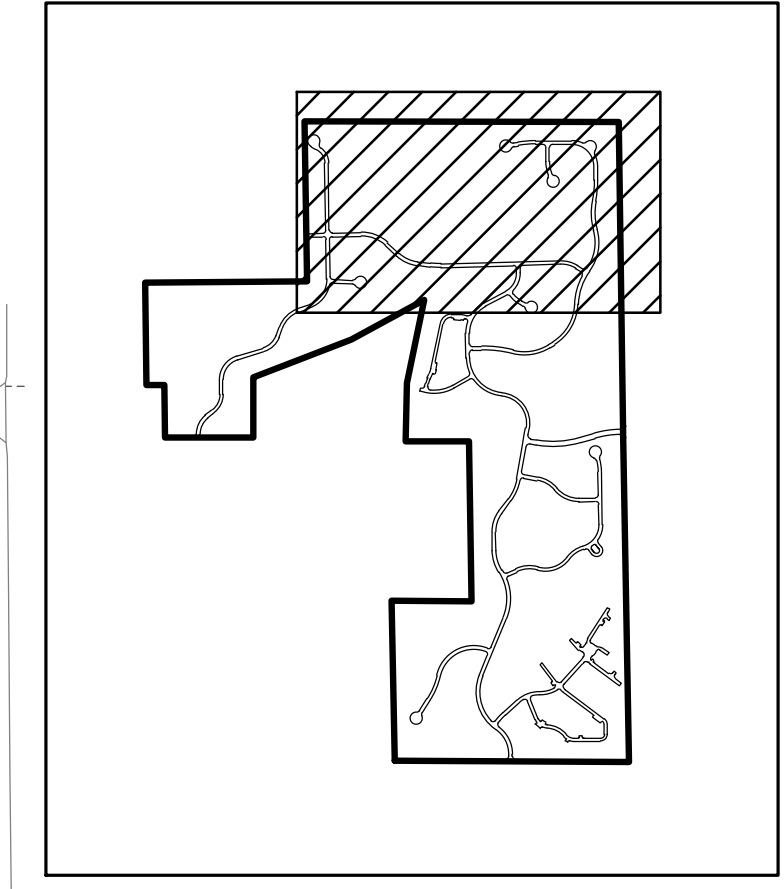
Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, 12 B 1 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, 12 B 1 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

SITE PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA



INDEX

PROPOSED VILLAS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
 VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

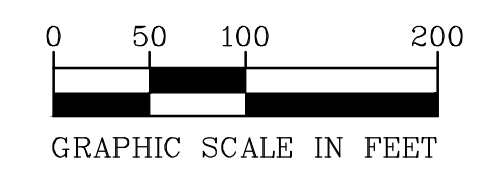
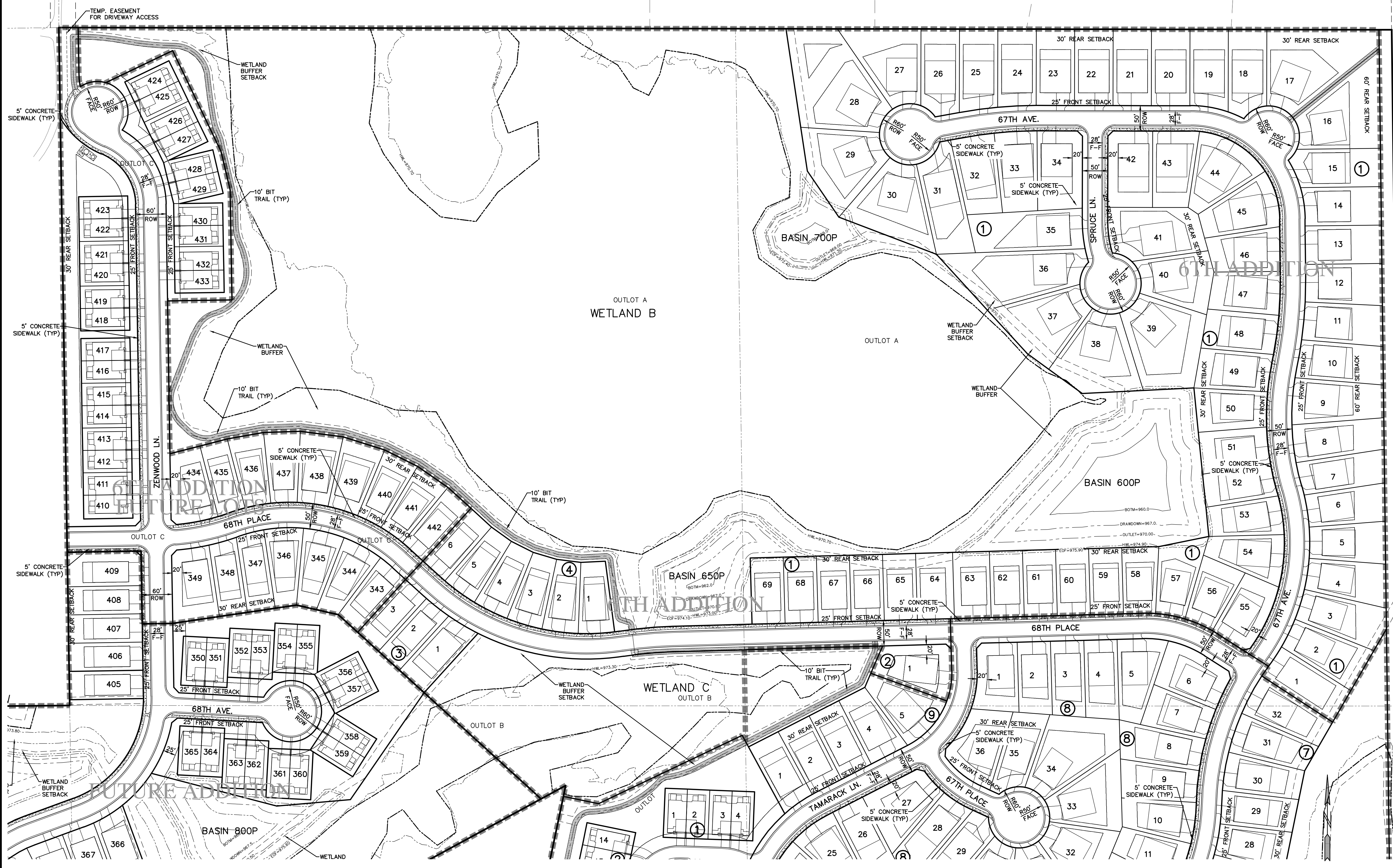
65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)

WETLAND REQUIREMENTS (AVERAGING ALLOWED):
 HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
 MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
 LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'



2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

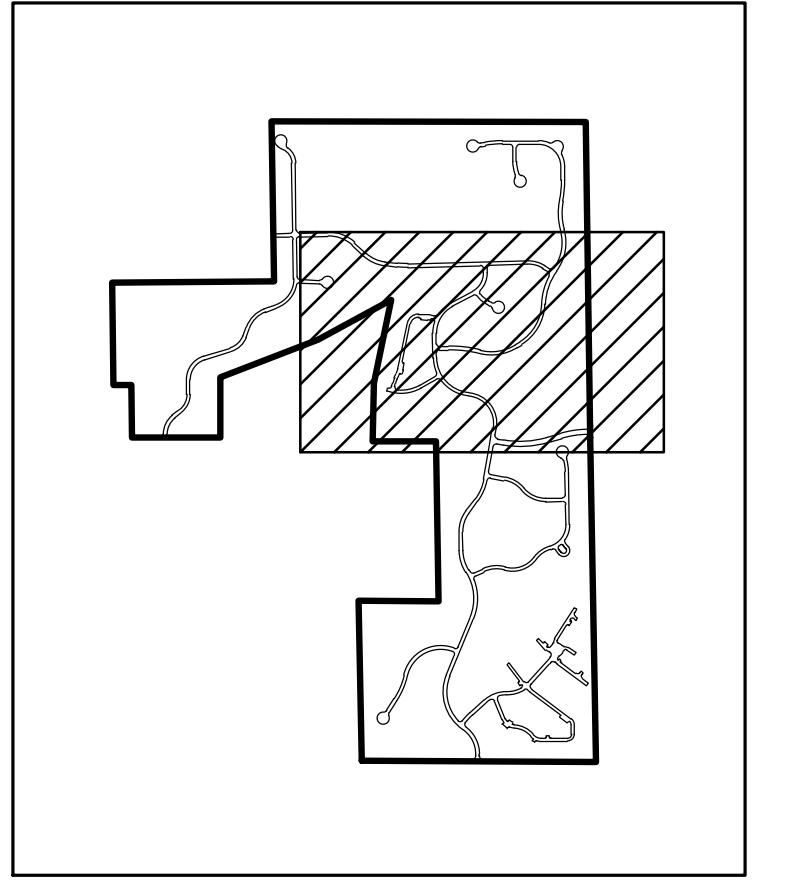
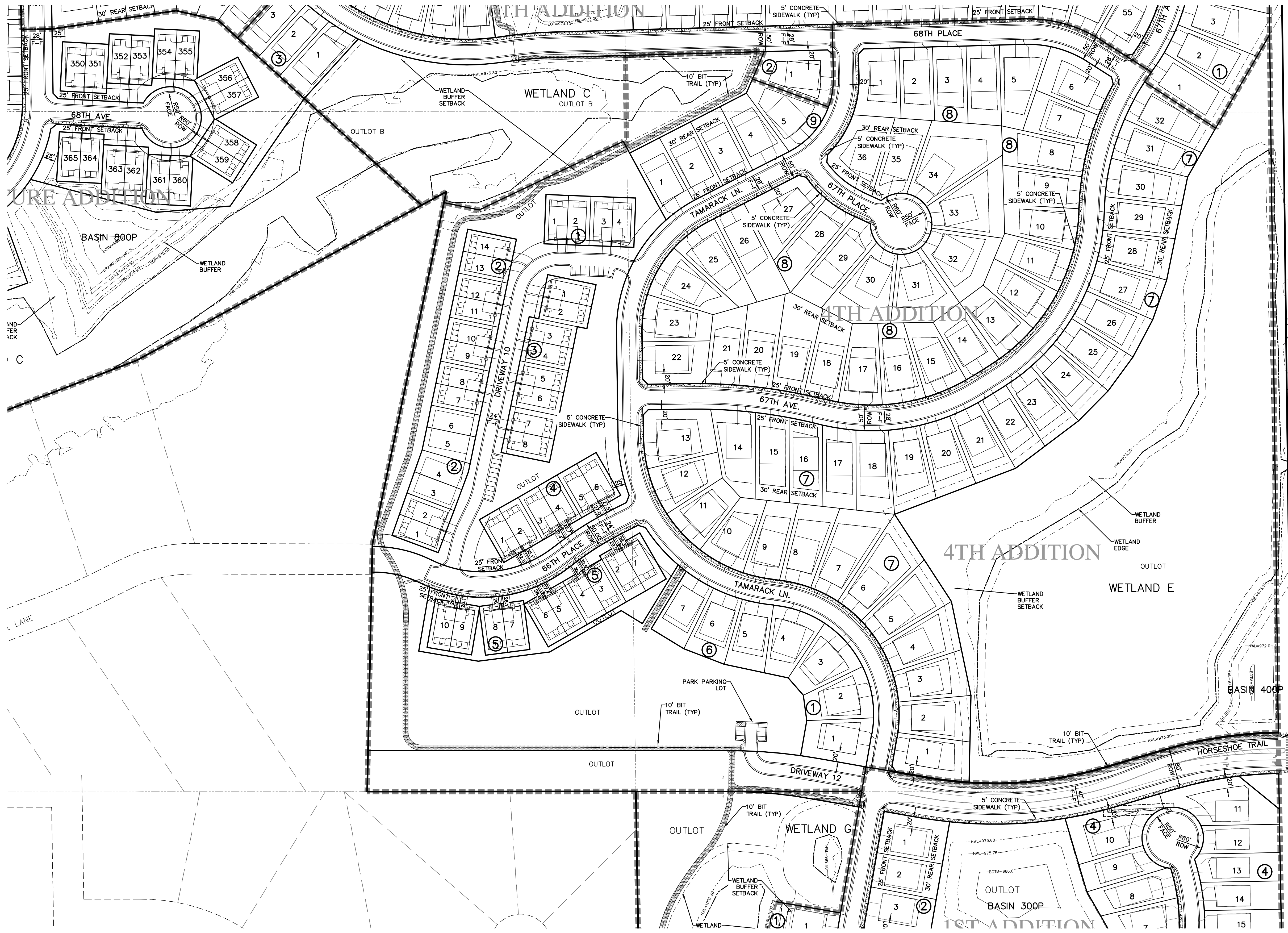
Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F, B, 1 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F, B, 1 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

SITE PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

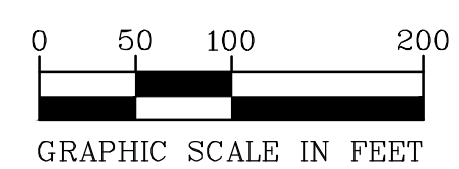


INDEX

PROPOSED UNITS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECKS)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
TWINHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY
TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)

WETLAND REQUIREMENTS (AVERAGING ALLOWED):
HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'



2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, L2 B, L2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, L2 B, L2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

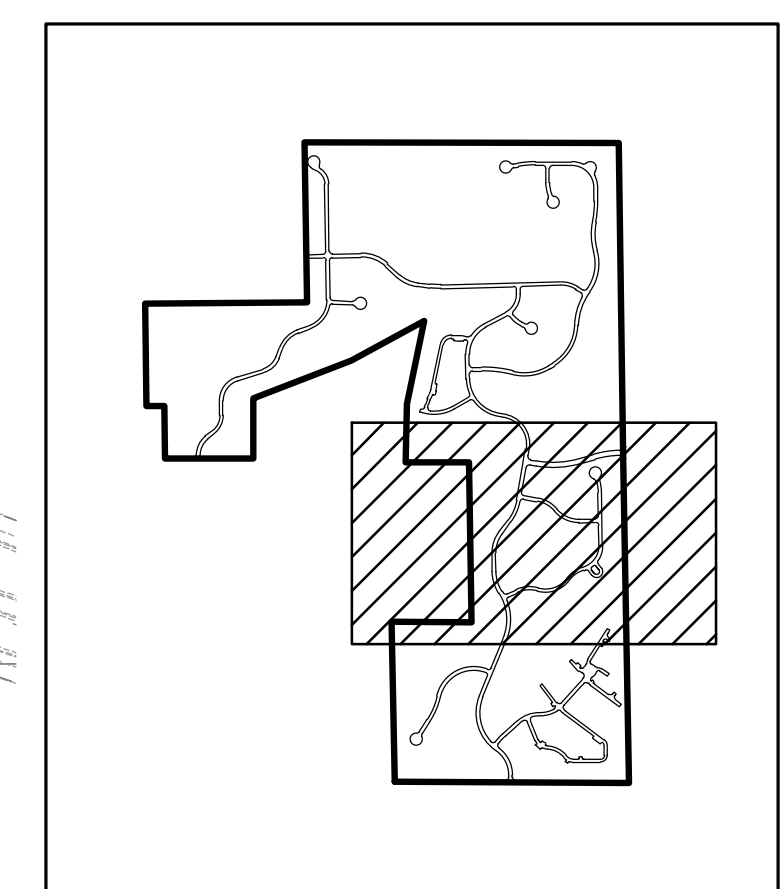
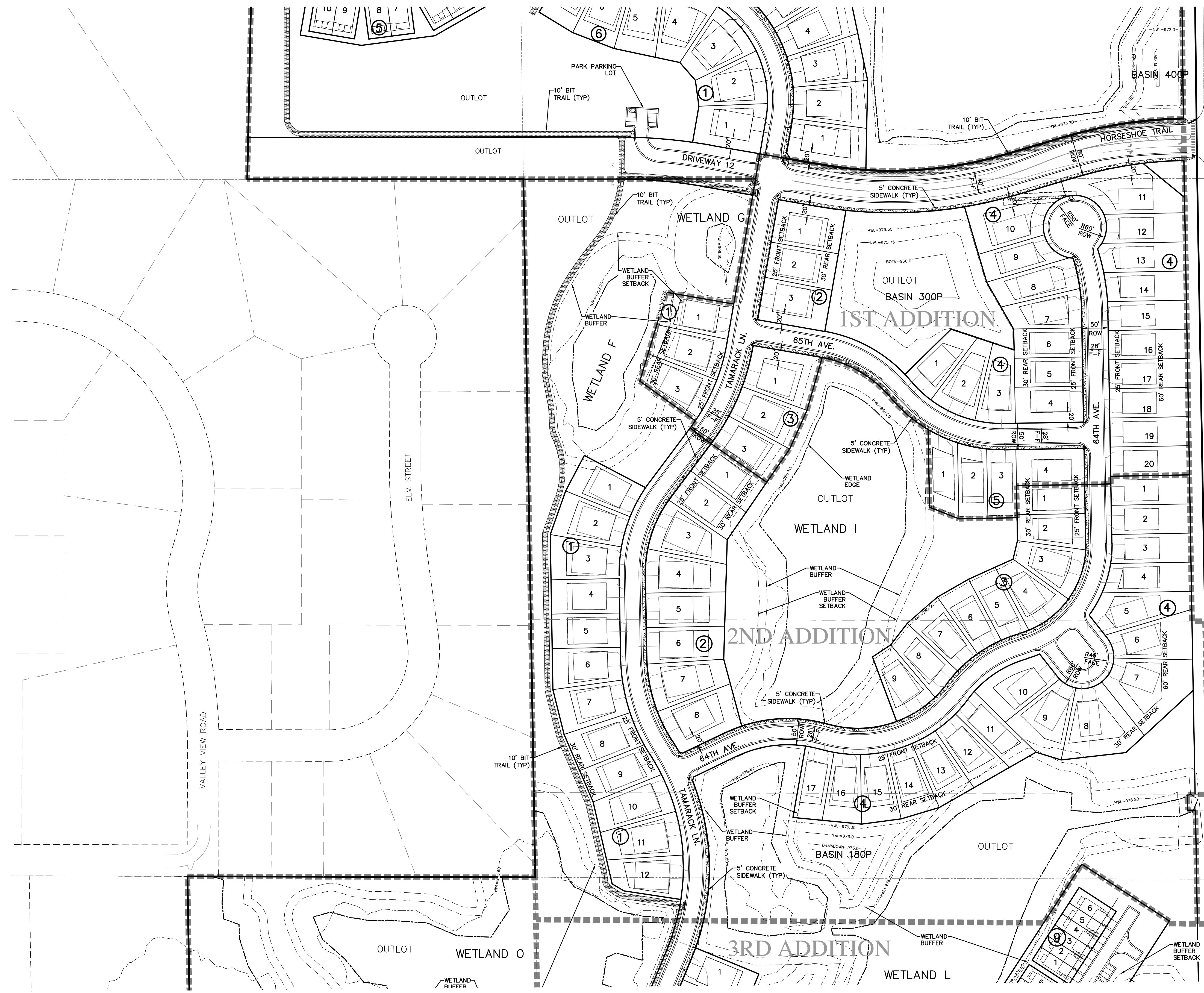
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

SITE PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

© 2022 Pioneer Engineering, P.A.
 14. 06-29-2022 City Comments
 15. 08-11-2022 City Comments
 16. 08-24-2022 City Comments
 17. 09-01-2022 City Comments
 18. 09-20-2022 5th Addition
 19. 02-15-2023 City Comments
 20. 03-07-2023 Wetland Buffer Update
 21. 03-23-2023 NW Drwy Temp. Easement
 22. 11-17-2023 6th Addition
 23. 02-05-2024 City Comments



INDEX

PROPOSED UNITS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
 VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

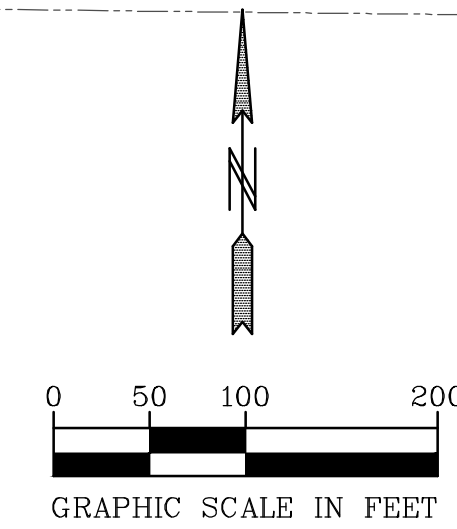
65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

TWYNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY

TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)

WETLAND REQUIREMENTS (AVERAGING ALLOWED):
 HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
 MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
 LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'



2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No. 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-18-2021 Trail L, F & I 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-18-2021 Trail L, F & I 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

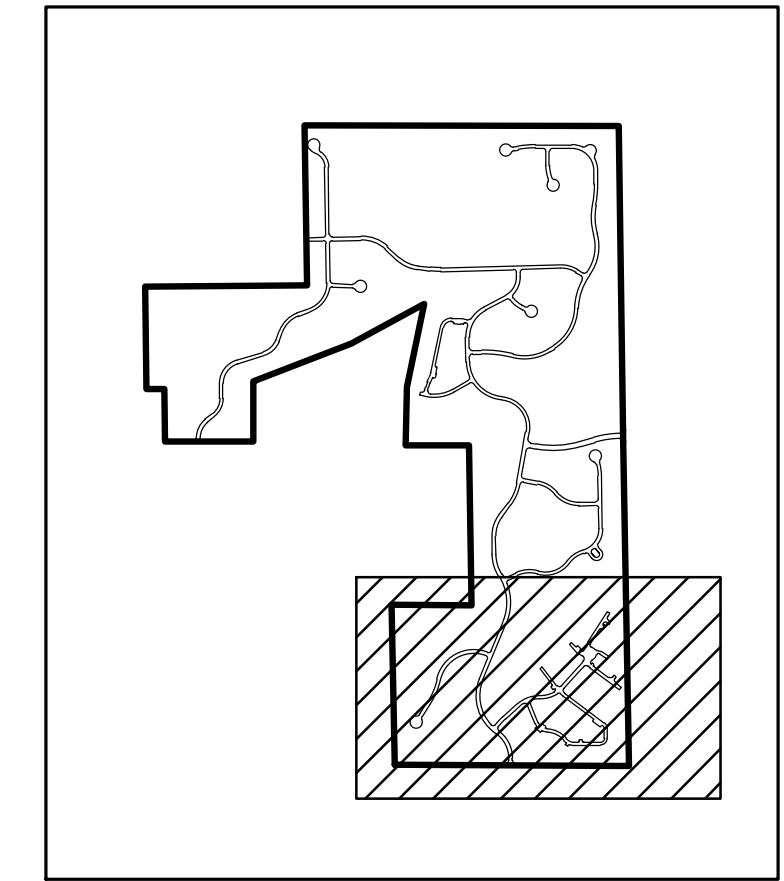
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

SITE PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

© 2022 Pioneer Engineering, P.A.
 14. 06-29-2022 City Comments
 15. 08-11-2022 City Comments
 16. 08-24-2022 City Comments
 17. 09-01-2022 City Comments
 18. 09-20-2022 5th Addition
 19. 02-15-2023 City Comments
 20. 03-07-2023 Wetland Buffer Update
 21. 03-23-2023 NW Drwy Temp. Easement
 22. 11-17-2023 6th Addition
 23. 02-05-2024 City Comments



INDEX

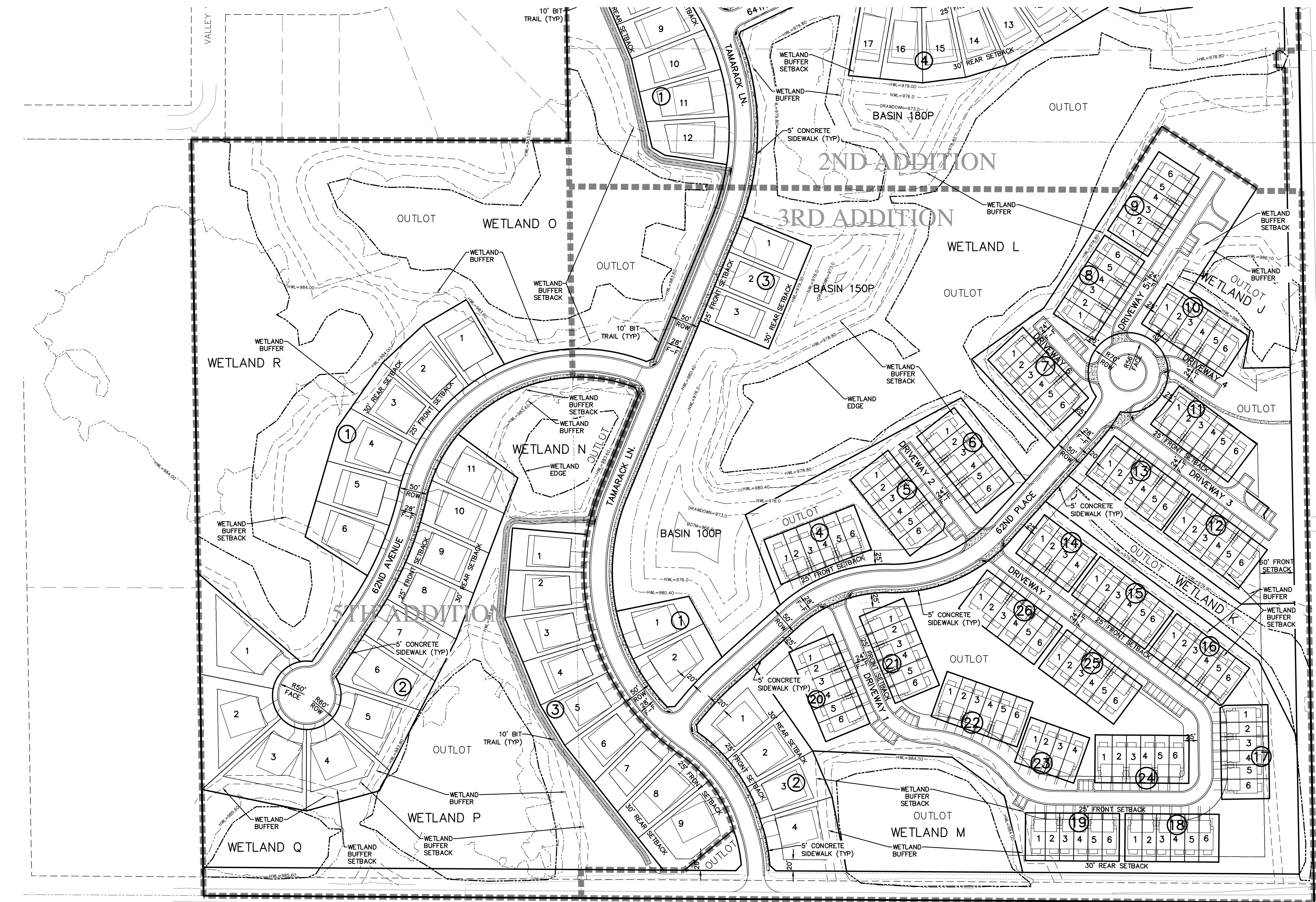
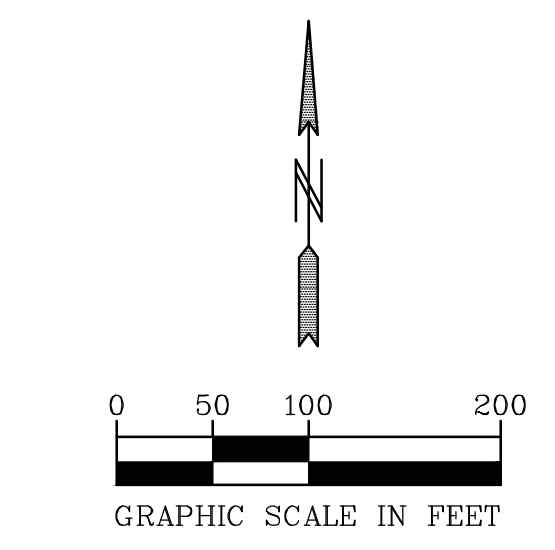
PROPOSED UNITS: 549
 55-65' VILLAS: 70 (44-55', 29-65')
 55' SF: 51
 65' SF: 156
 75' SF: 58
 TWIN UNITS: 80
 ROW TOWNHOME UNITS: 134

PROPOSED SETBACKS:
 VILLAS:
 AREA: 7,000 SF
 WIDTH: 55' TO 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
 75' WIDE SINGLE FAMILY LOTS:
 AREA: 9,000 SF
 WIDTH: 75'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
 65' WIDE SINGLE FAMILY LOTS:
 AREA: 7,800 SF
 WIDTH: 65'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'
 55' WIDE SINGLE FAMILY LOTS:
 AREA: 6,600 SF
 WIDTH: 55'
 FRONT: 25'
 REAR: 30'(BUILDING)
 REAR: 20'(PATIO, DECK)
 SIDE: 7.5'
 SIDE STREET: 20'
 CO. RD. 116: 60'

TOWNHOME PARKING SUMMARY
 UNITS: 134
 OFF STREET: 38
 ON STREET: 20





TWINHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO RIGHT OF WAY
 TOWNHOME LOTS:
 FRONT: 25' TO CURB(PRIVATE STREET)
 FRONT: 25' TO RIGHT OF WAY(PUBLIC STREET)
 SIDE: 15' BUILDING TO BUILDING
 SIDE STREET: 25' TO CURB(PRIVATE STREET)
 SIDE STREET: 25' TO RIGHT OF WAY(PUBLIC STREET)

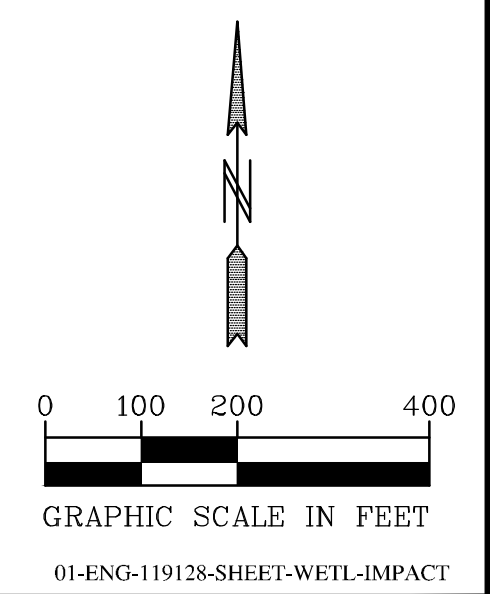
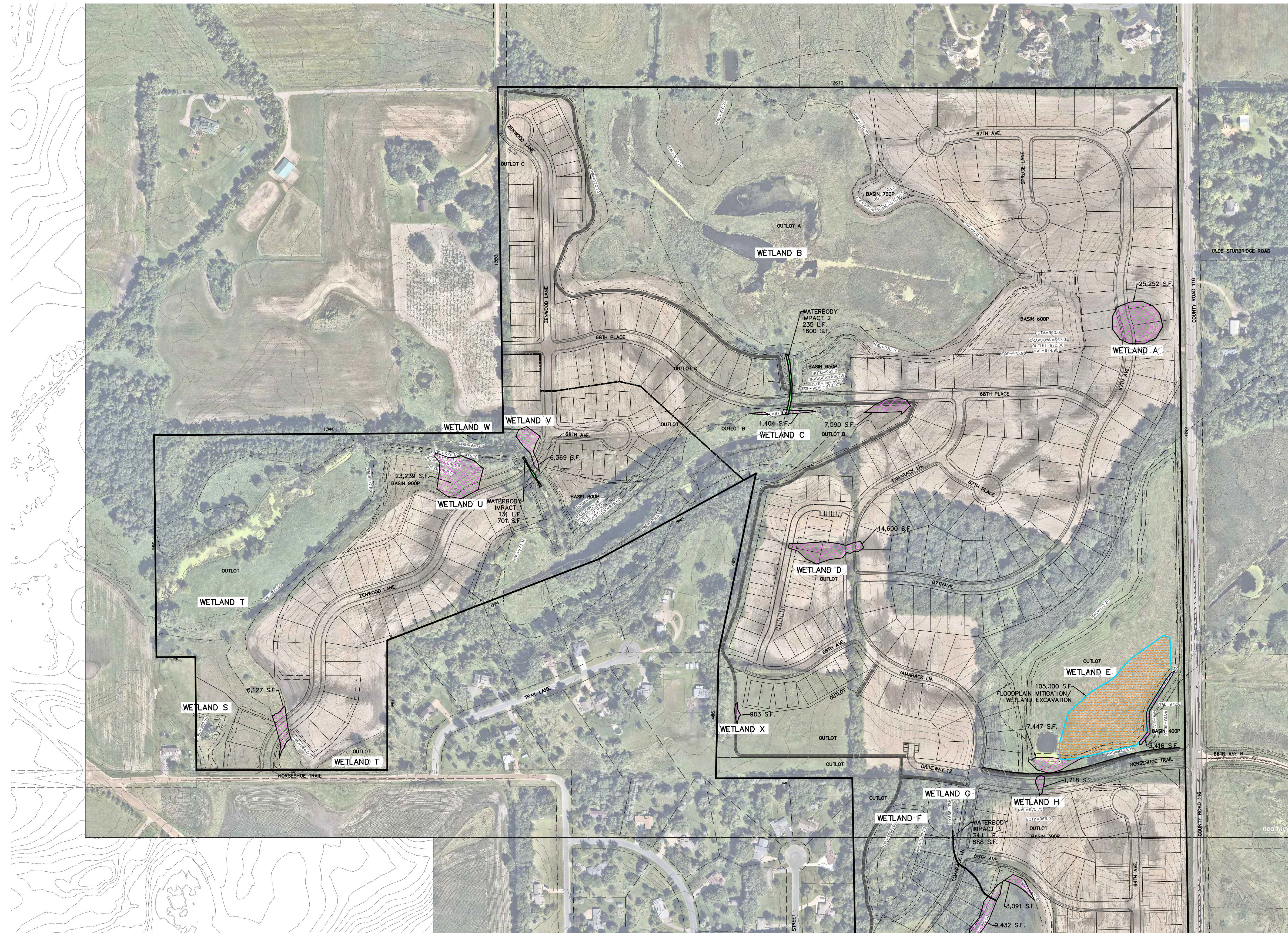
WETLAND REQUIREMENTS (AVERAGING ALLOWED):
 HIGH:
 AVERAGE WIDTH: 50'
 MINIMUM WIDTH: 40'
 MAXIMUM WIDTH: 60'
 SETBACK FROM BUFFER: 15'
 MEDIUM:
 AVERAGE WIDTH: 25'
 MINIMUM WIDTH: 20'
 MAXIMUM WIDTH: 40'
 SETBACK FROM BUFFER: 15'
 LOW:
 AVERAGE WIDTH: 25' (WATERSHED STANDARD)
 MINIMUM WIDTH: 10'
 MAXIMUM WIDTH: 20'
 SETBACK FROM BUFFER: 15'



WATERBODY IMPACT NAME	IMPACT AREA (SF)	IMPACT LENGTH (LF)
1	701	131
2	1,800	235
3	688	344
4	396	198
5	212	106
TOTAL	3,797	1,014

WETLAND NAME	SITE IMPACT AREA (SF)	HACKAMORE IMPACT AREA (SF)
WETLAND A	25,252	NA
WETLAND C	8,320	NA
WETLAND D	14,600	NA
WETLAND E	10,863	NA
WETLAND H	1,718	NA
WETLAND I	25,710	NA
WETLAND J	397	NA
WETLAND K	230	268
WETLAND L	5,283	NA
WETLAND M	NA	11,175
WETLAND N	15,411	NA
WETLAND O	2,818	NA
WETLAND P	NA	3,168
WETLAND T	6,127	NA
WETLAND U	23,239	NA
WETLAND V	6,369	NA
WETLAND X	903	NA
WETLAND Y	2,666	NA
TOTAL	150,580	14,611

-  WATERBODY IMPACT
-  FLOODPLAIN MITIGATION/WETLAND EXCAVATION
-  WETLAND IMPACT
-  BUFFER SIGN



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F, B, 1 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F, B, 1 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments
 14. 06-29-2022 City Comments
 15. 08-11-2022 City Comments
 16. 08-24-2022 City Comments
 17. 09-01-2022 City Comments
 18. 09-20-2022 5th Addition
 19. 02-15-2023 City Comments
 20. 03-07-2023 Wetland Buffer Update
 21. 03-23-2023 NW Drwy Temp. Easement
 22. 11-17-2023 6th Addition
 23. 02-05-2024 City Comments





WETLAND IMPACT

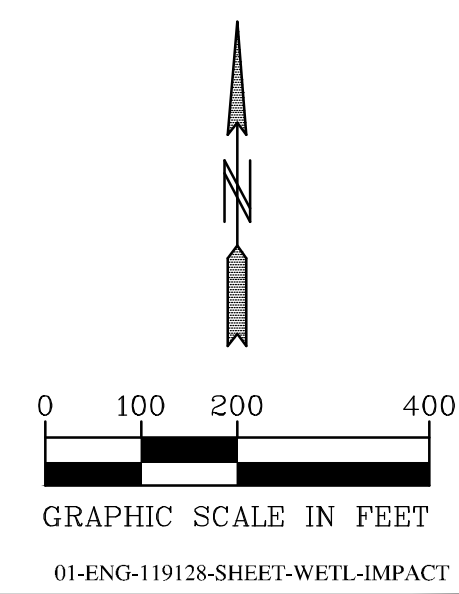
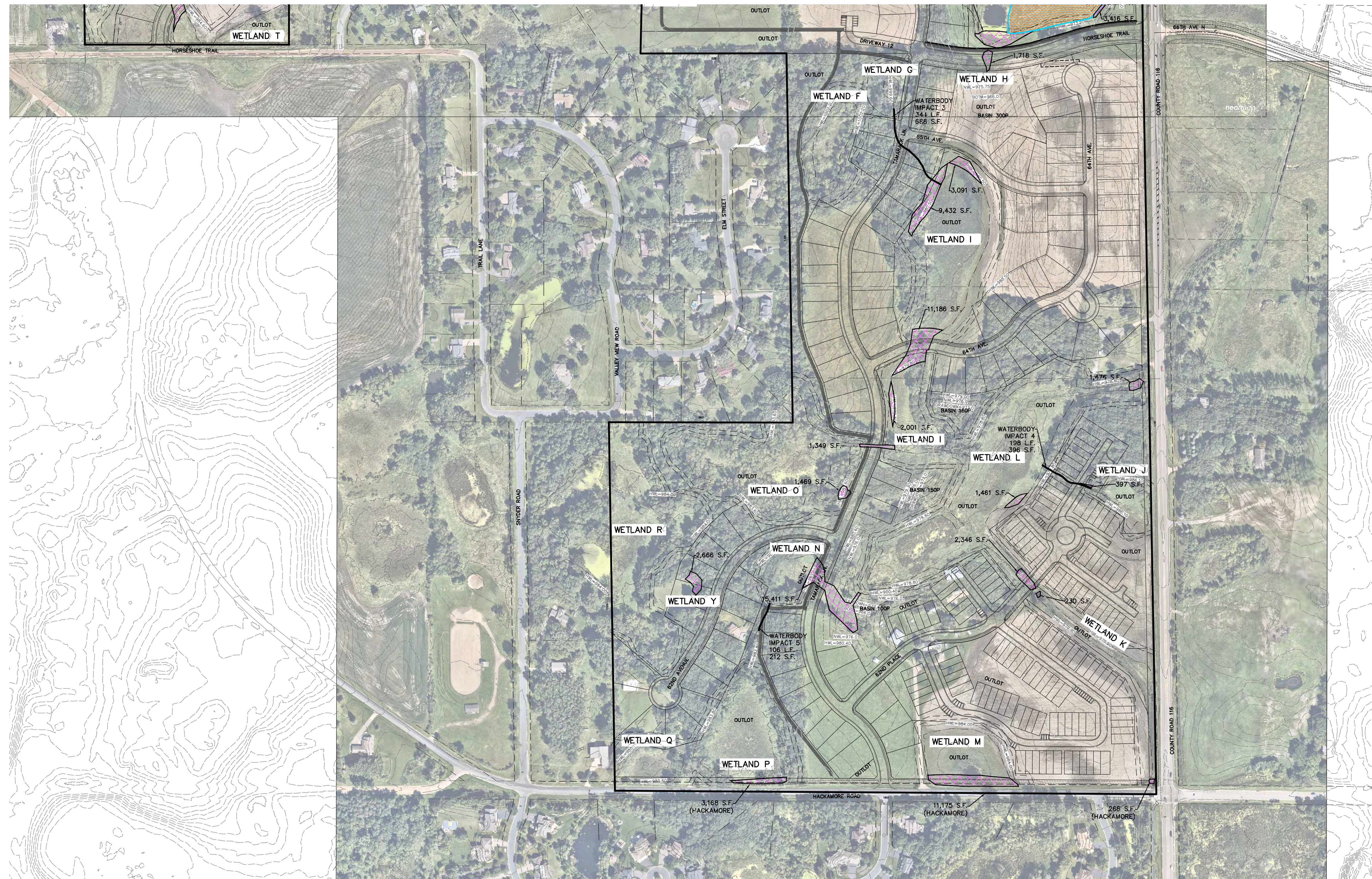
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

WATERBODY IMPACT NAME	IMPACT AREA (SF)	IMPACT LENGTH (LF)
1	701	131
2	1,800	235
3	688	344
4	396	198
5	212	106
TOTAL	3,797	1,014

WETLAND NAME	SITE IMPACT AREA (SF)	HACKAMORE IMPACT AREA (SF)
WETLAND A	25,252	NA
WETLAND C	8,320	NA
WETLAND D	14,600	NA
WETLAND E	10,863	NA
WETLAND H	1,718	NA
WETLAND I	25,710	NA
WETLAND J	397	NA
WETLAND K	230	268
WETLAND L	5,283	NA
WETLAND M	NA	11,175
WETLAND N	15,411	NA
WETLAND O	2,818	NA
WETLAND P	NA	3,168
WETLAND T	6,127	NA
WETLAND U	23,239	NA
WETLAND V	6,369	NA
WETLAND X	903	NA
WETLAND Y	2,666	NA
TOTAL	150,580	14,611

-  WATERBODY IMPACT
-  FLOODPLAIN MITIGATION/WETLAND EXCAVATION
-  WETLAND IMPACT
-  BUFFER SIGN



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F B, I 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F B, I 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC







WETLAND IMPACT

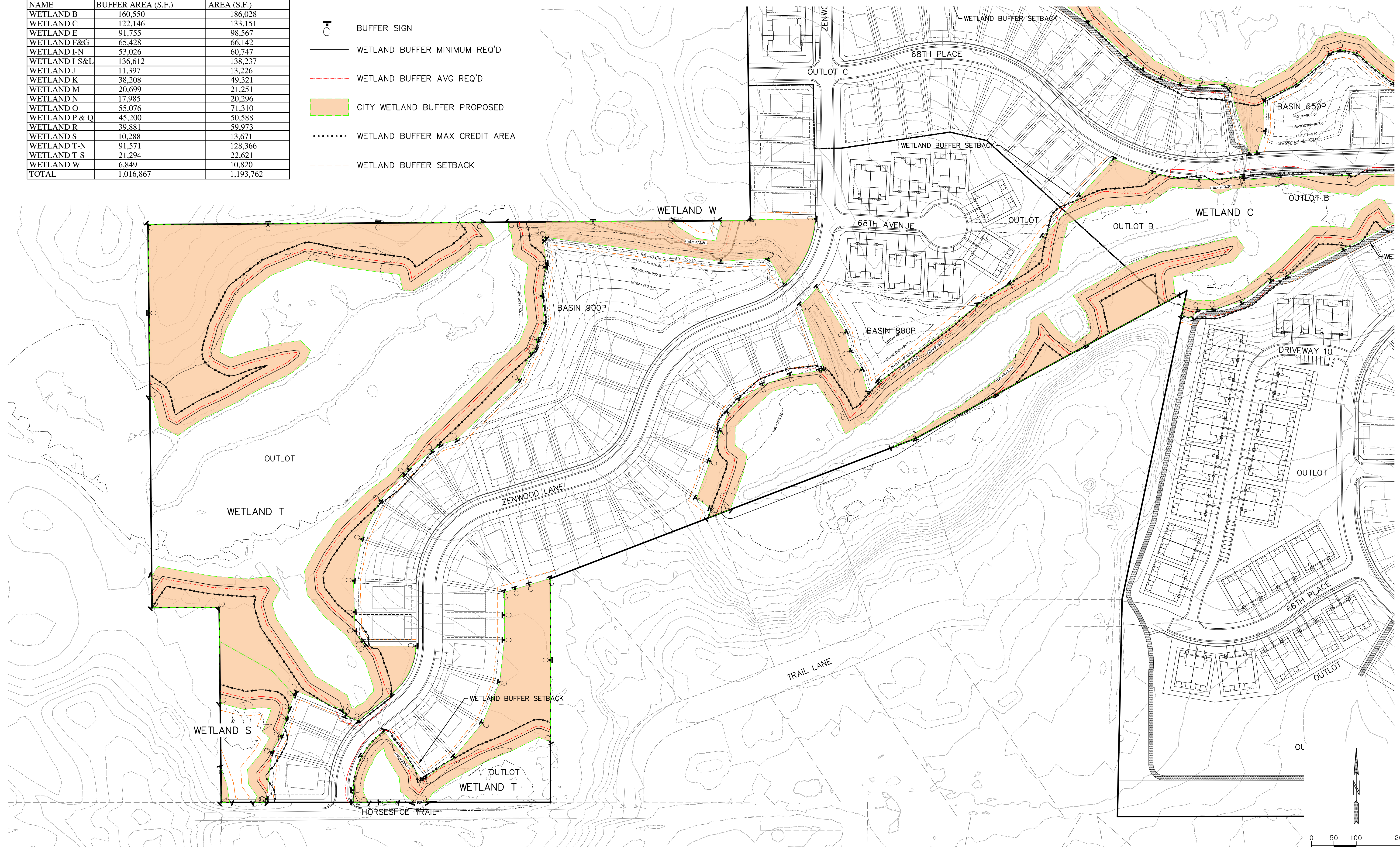
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

© 2022 Pioneer Engineering, P.A.
 14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-20-2022 5th Addition 20. 03-07-2023 Wetland Buffer Update 22. 11-17-2023 6th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments 21. 03-23-2023 NW Drwy Temp. Easement 23. 02-05-2024 City Comments

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	186,028
WETLAND C	122,146	133,151
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
Paul J. Chene
Reg. No.: 19860
Date: 9-11-2020

Revisions:
1. 10-8-2020 Pad Type Change
2. 11-9-2020 Add Demo Plan
3. 01-29-2021 City Comments & 08-10-2021 Trail L. 12 B. 1 2nd Add.
4. 04-09-2021 City Comments
5. 05-27-2021 City Comments
6. 06-11-2021 City Comments
7. 07-16-2021 2nd Addition
8. 08-10-2021 Trail L. 12 B. 1 2nd Add.
9. 09-22-2021 City Comments
10. 09-27-2021 3rd Addition
11. 02-23-2022 City Comments
12. 05-06-2022 City Comments
13. 05-26-2022 City Comments





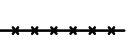

Date: 9-11-2020
Designed: PIC/BNM
Drawn: MPC

WETLAND BUFFER PLAN

LENNAR
16305 36TH AVENUE NORTH
PLYMOUTH, MINNESOTA 55446

TAVERA
CORCORAN, MINNESOTA

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	186,028
WETLAND C	122,146	133,151
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: *Paul J. Chene*
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, P B, I 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, P B, I 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments
 14. 06-29-2022 City Comments
 15. 08-11-2022 City Comments
 16. 08-24-2022 City Comments
 17. 09-01-2022 City Comments
 18. 09-20-2022 5th Addition
 19. 02-15-2023 City Comments
 20. 03-07-2023 Wetland Buffer Update
 21. 03-23-2023 NW Drwy Temp. Easement
 22. 11-17-2023 6th Addition
 23. 02-05-2024 City Comments

WETLAND BUFFER PLAN


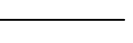
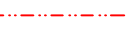

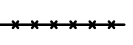

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

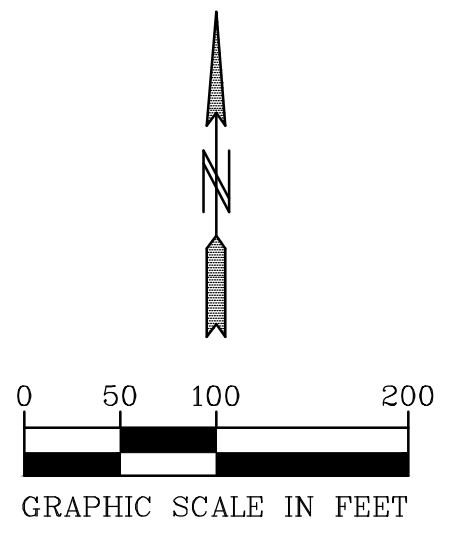
TAVERA
 CORCORAN, MINNESOTA

© 2022 Pioneer Engineering, P.A.

01-ENG-119128-SHEET-WETL-BUFFER

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	186,028
WETLAND C	122,146	133,151
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, 12 B, 1 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, 12 B, 1 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments


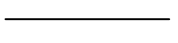


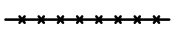

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

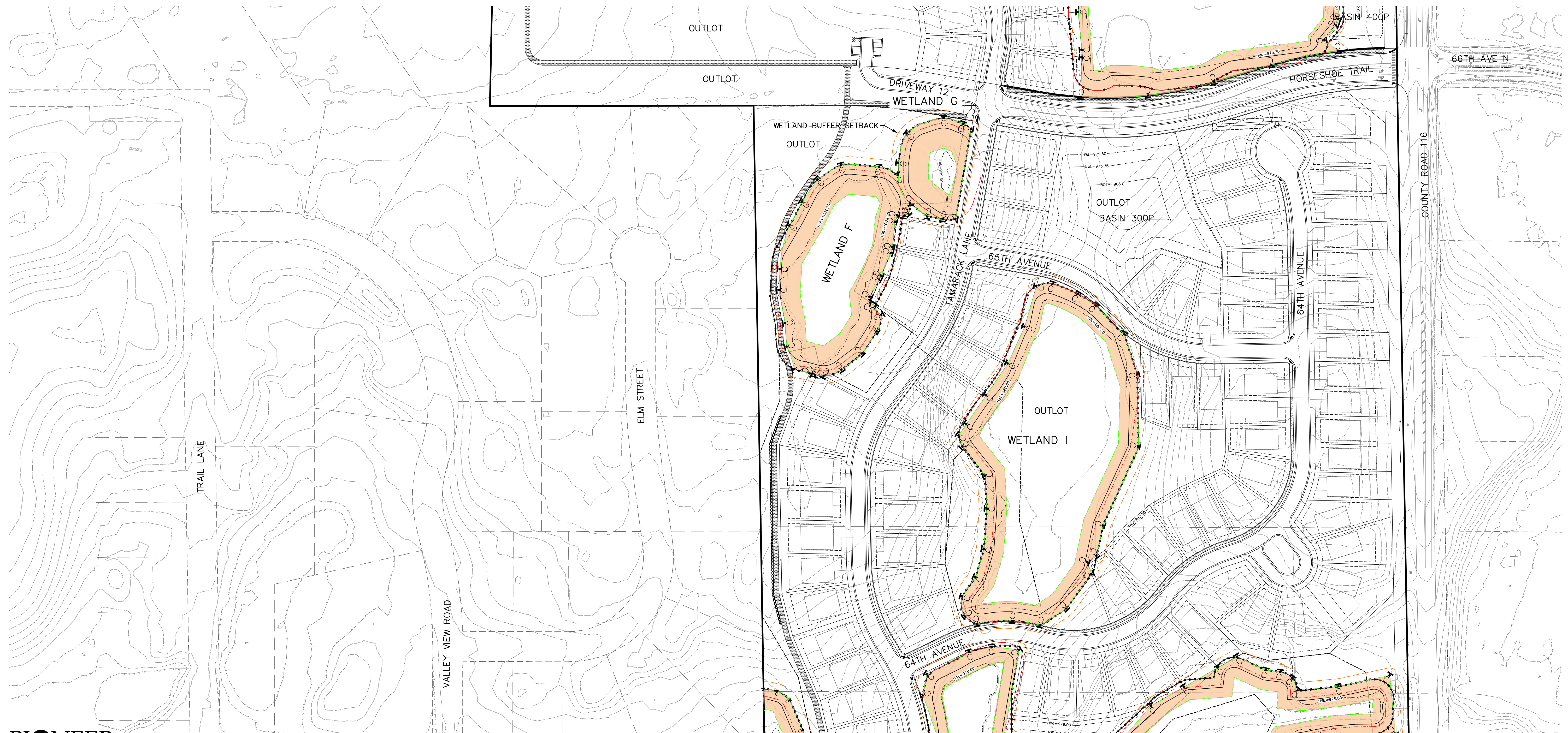
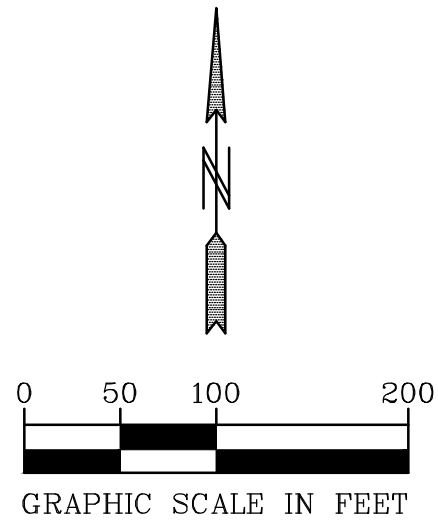
WETLAND BUFFER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	186,028
WETLAND C	122,146	133,151
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F, B, I 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F, B, I 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments





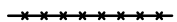

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

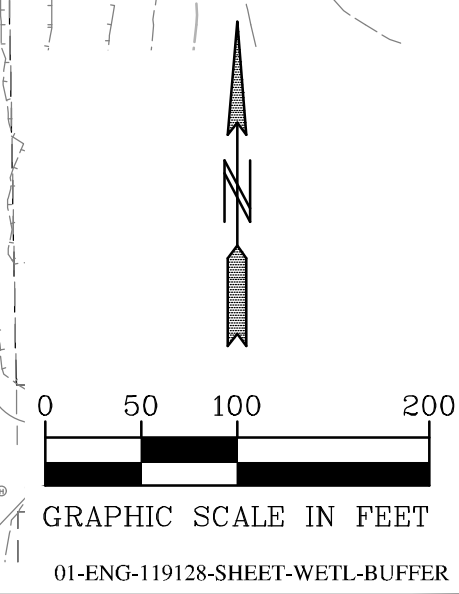
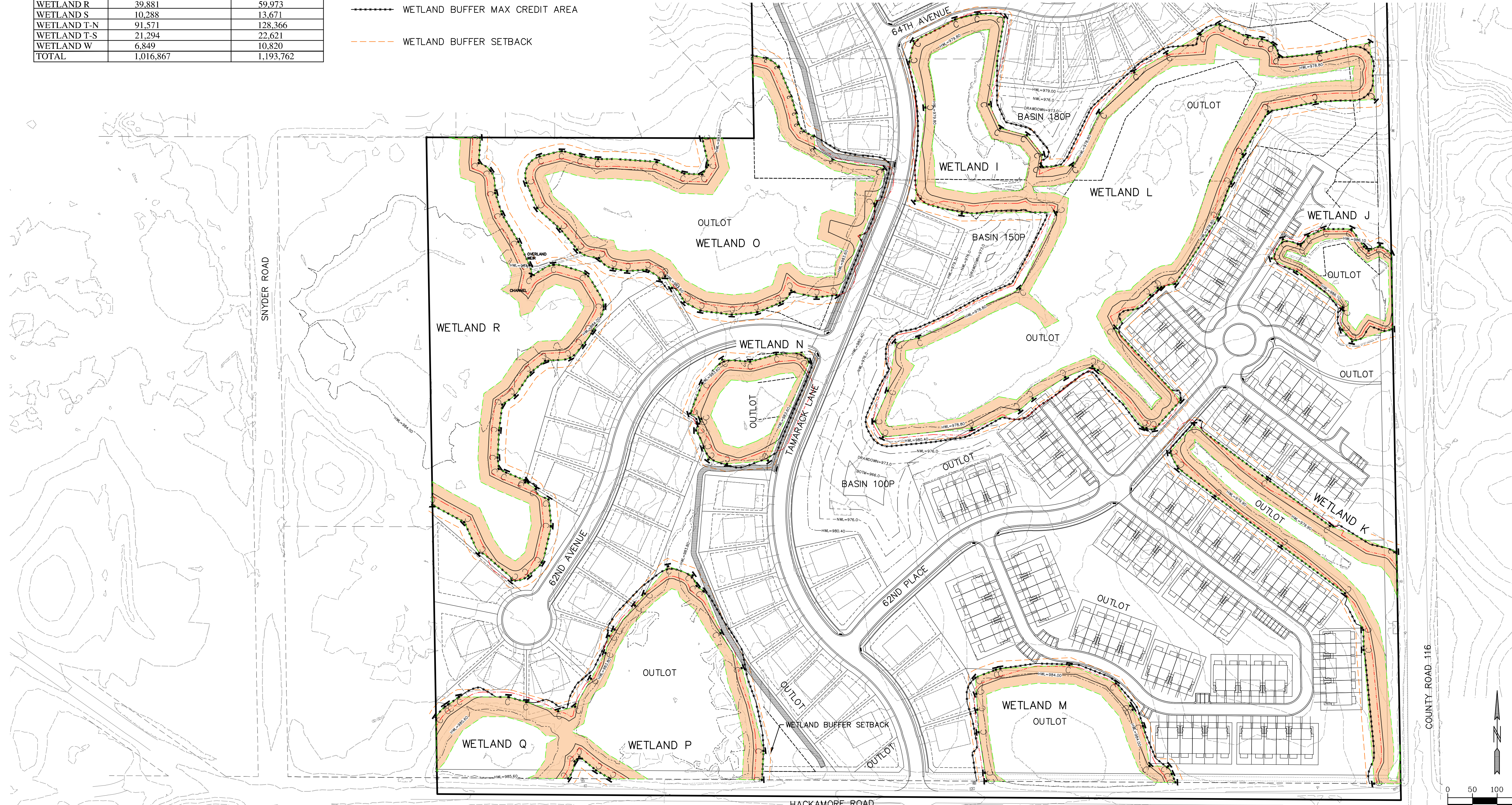
WETLAND BUFFER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

WETLAND NAME	REQUIRED AVERAGE BUFFER AREA (S.F.)	PROVIDED BUFFER AREA (S.F.)
WETLAND B	160,550	186,028
WETLAND C	122,146	133,151
WETLAND E	91,755	98,567
WETLAND F&G	65,428	66,142
WETLAND I-N	53,026	60,747
WETLAND I-S&L	136,612	138,237
WETLAND J	11,397	13,226
WETLAND K	38,208	49,321
WETLAND M	20,699	21,251
WETLAND N	17,985	20,296
WETLAND O	55,076	71,310
WETLAND P & Q	45,200	50,588
WETLAND R	39,881	59,973
WETLAND S	10,288	13,671
WETLAND T-N	91,571	128,366
WETLAND T-S	21,294	22,621
WETLAND W	6,849	10,820
TOTAL	1,016,867	1,193,762

-  BUFFER SIGN
-  WETLAND BUFFER MINIMUM REQ'D
-  WETLAND BUFFER AVG REQ'D
-  CITY WETLAND BUFFER PROPOSED
-  WETLAND BUFFER MAX CREDIT AREA
-  WETLAND BUFFER SETBACK



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F, B, 1 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F, B, 1 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

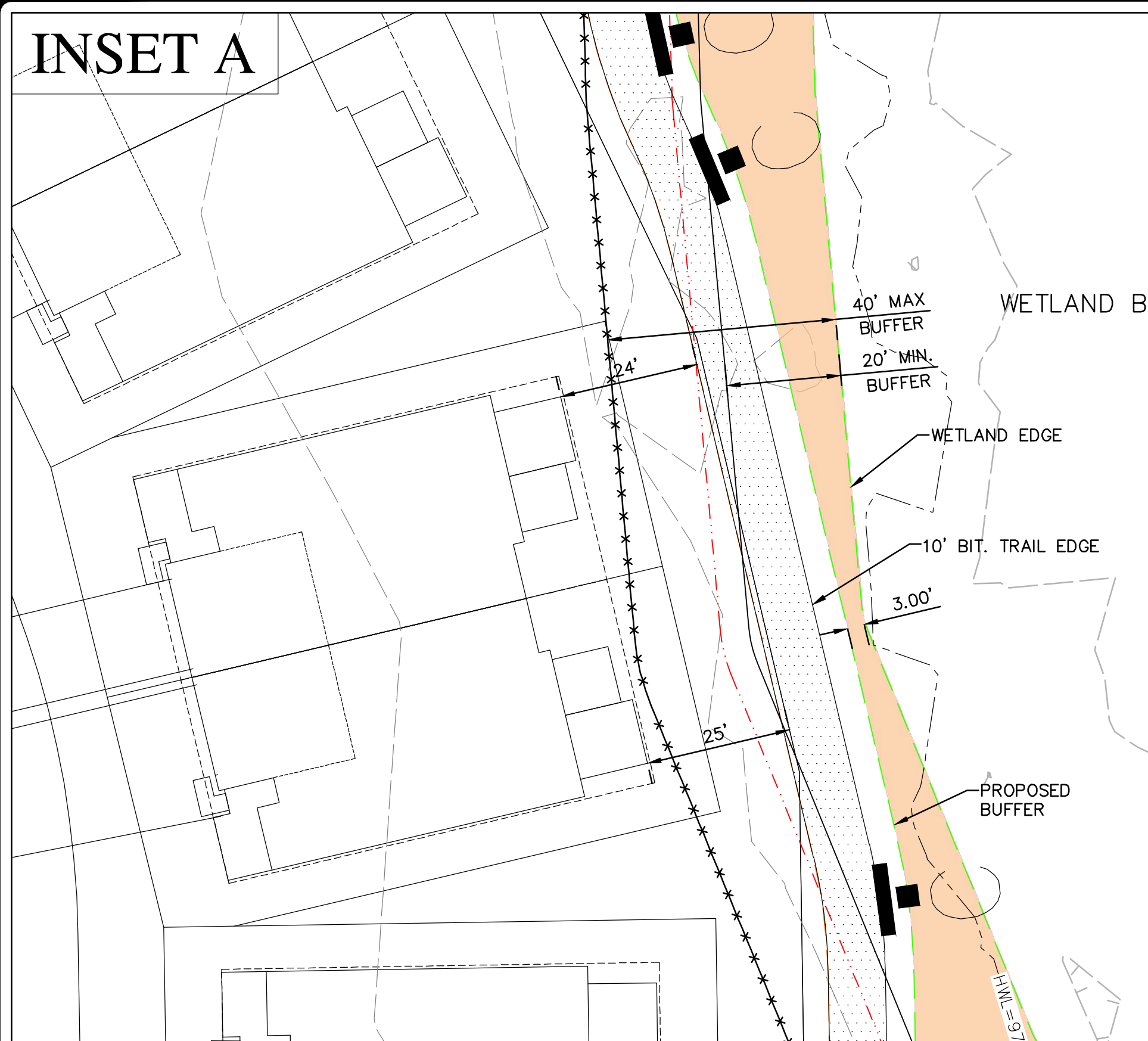
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

WETLAND BUFFER PLAN

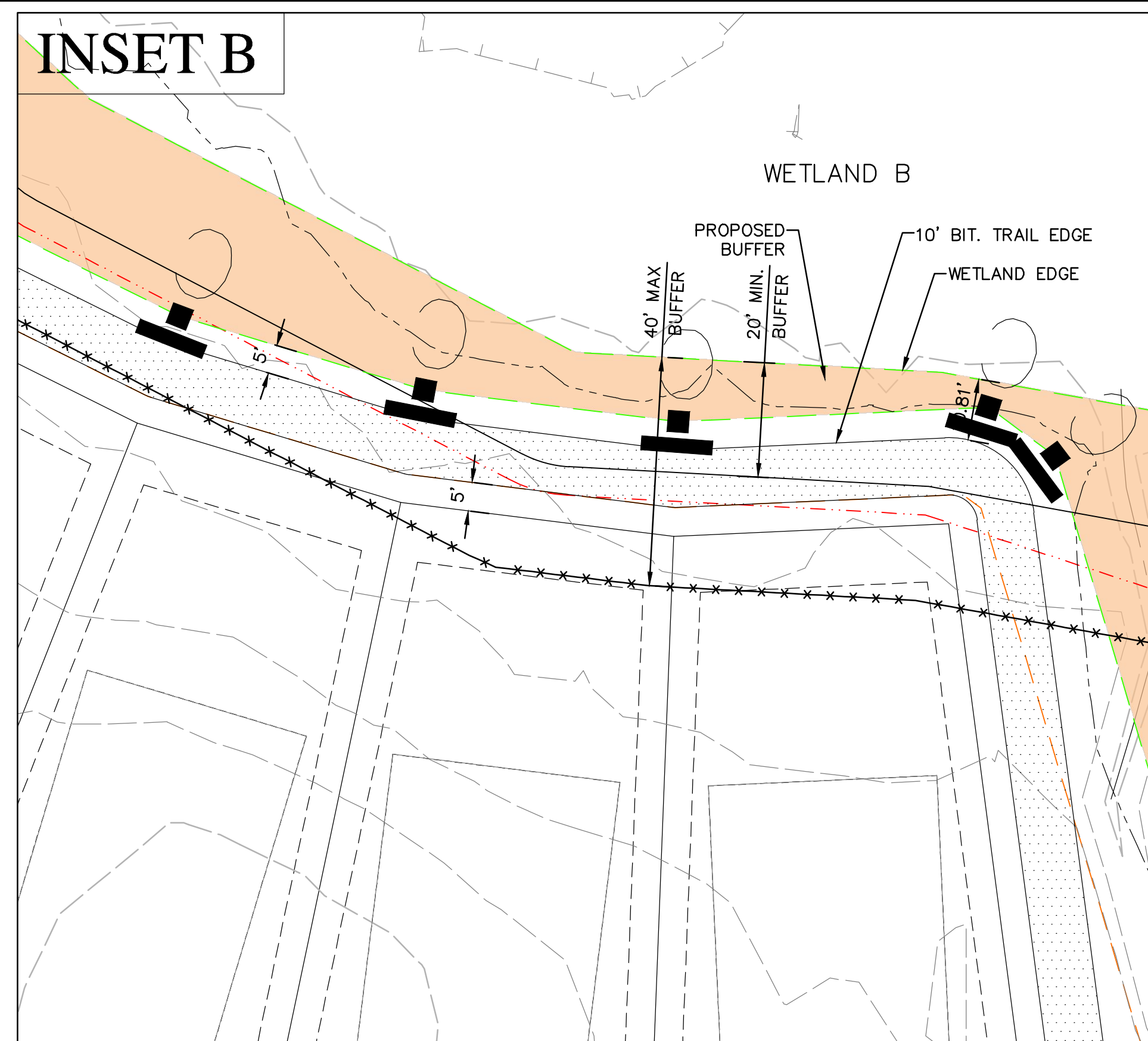
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

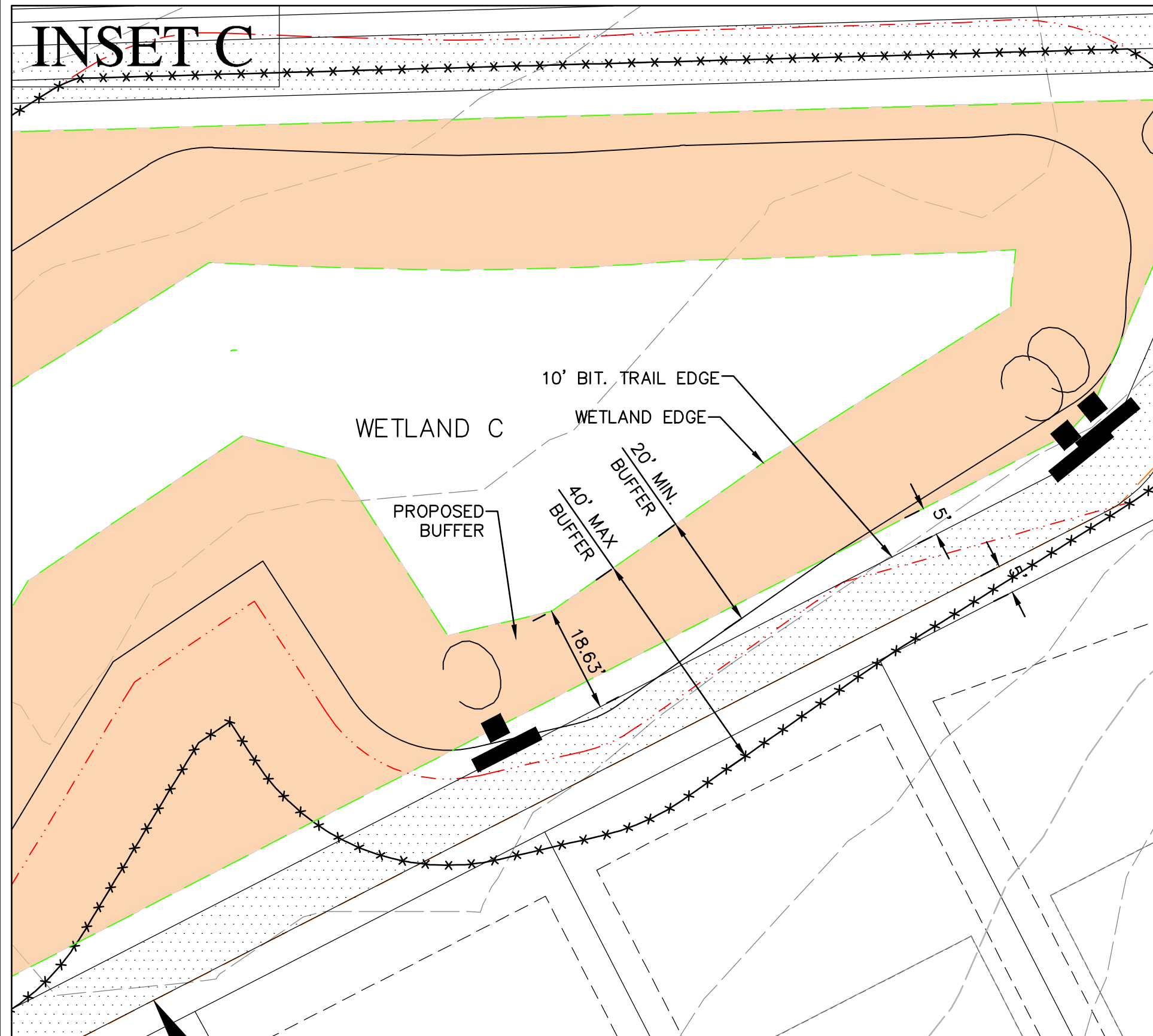
INSET A



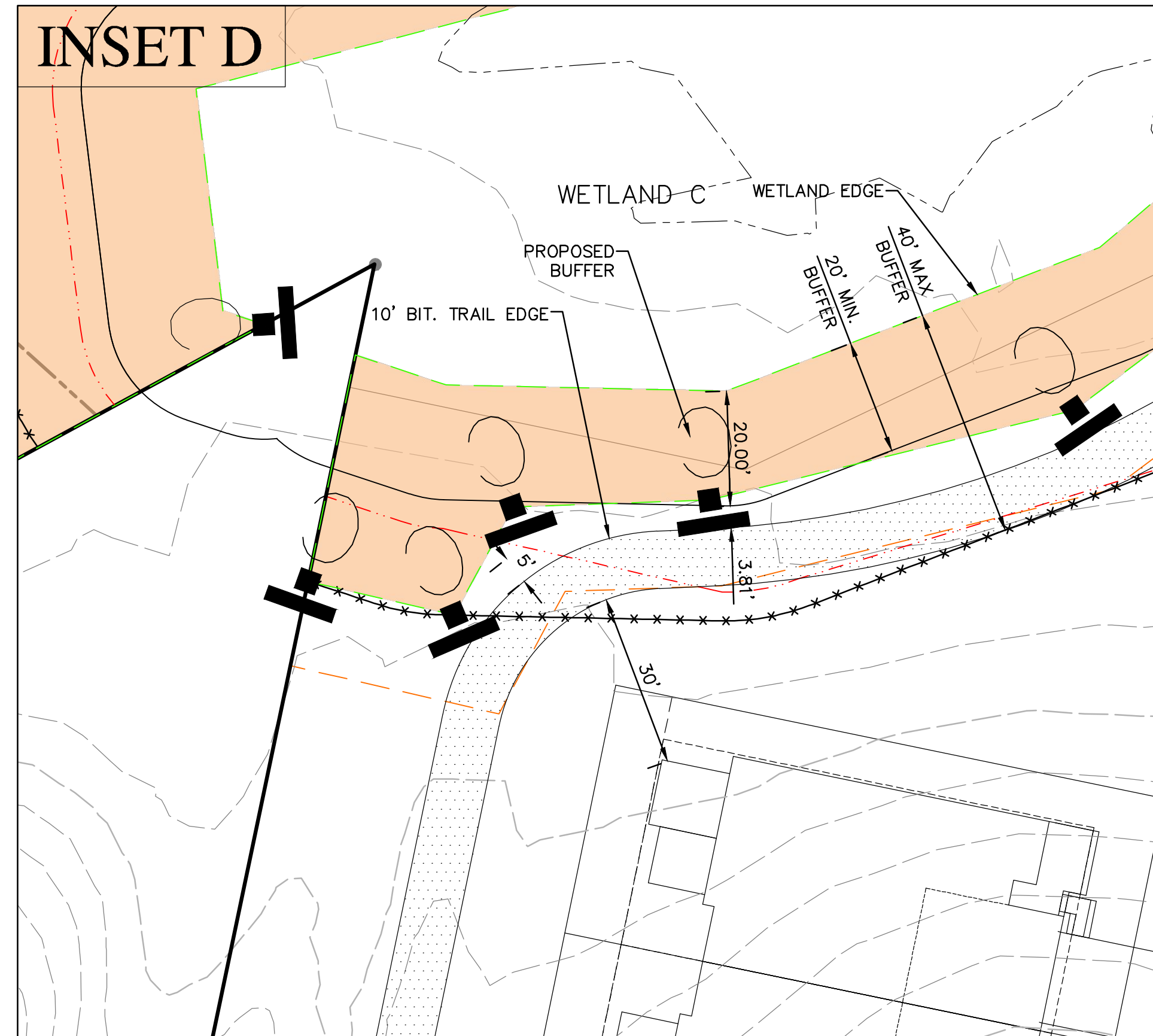
INSET B



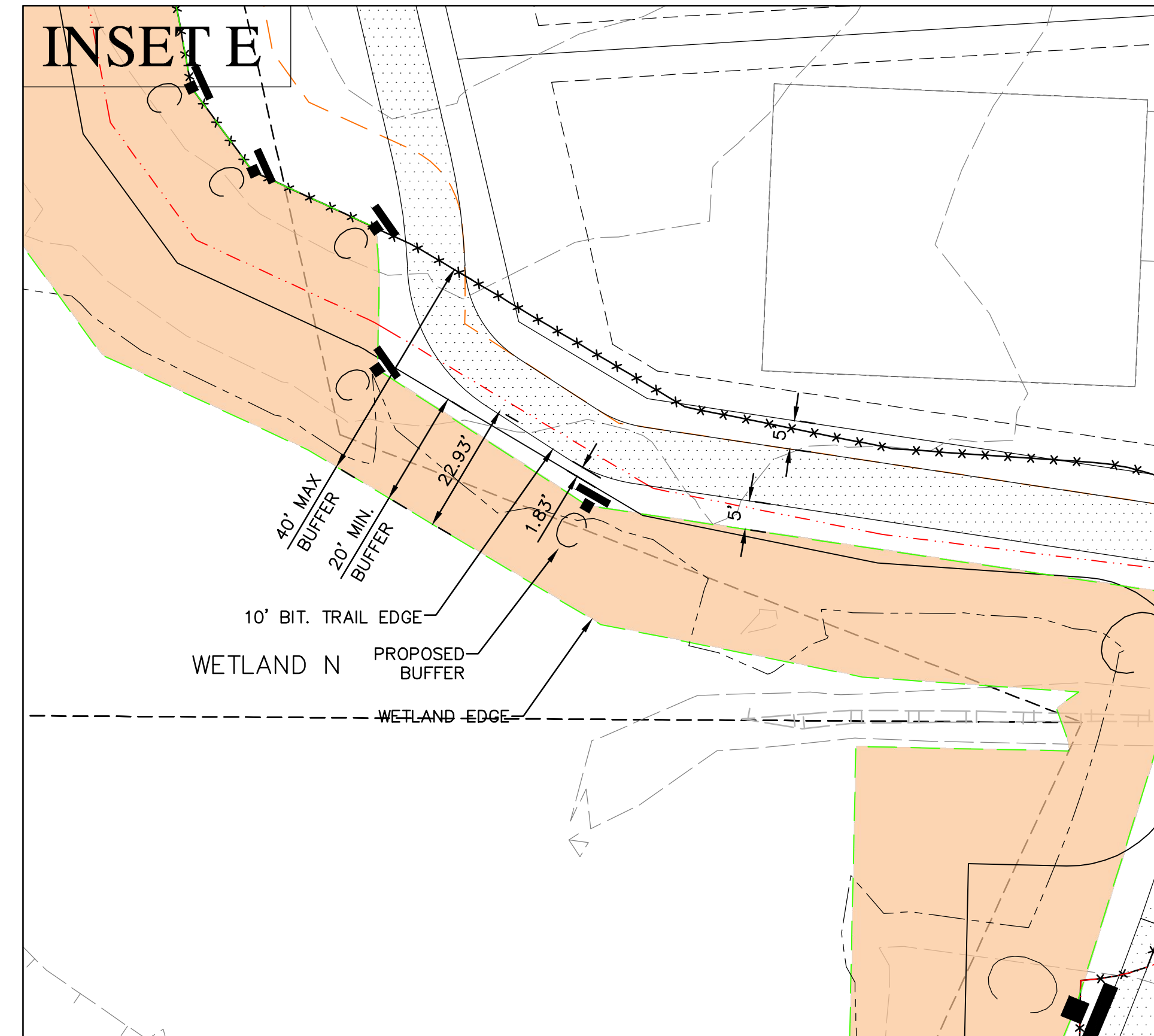
INSET C



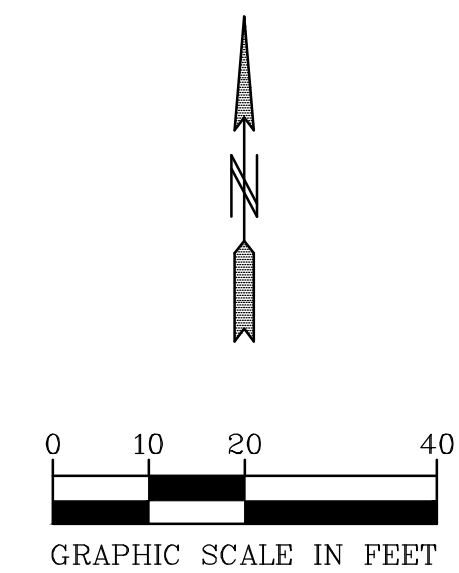
INSET D

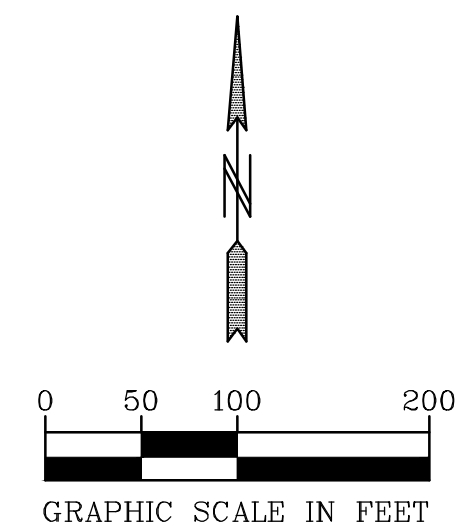
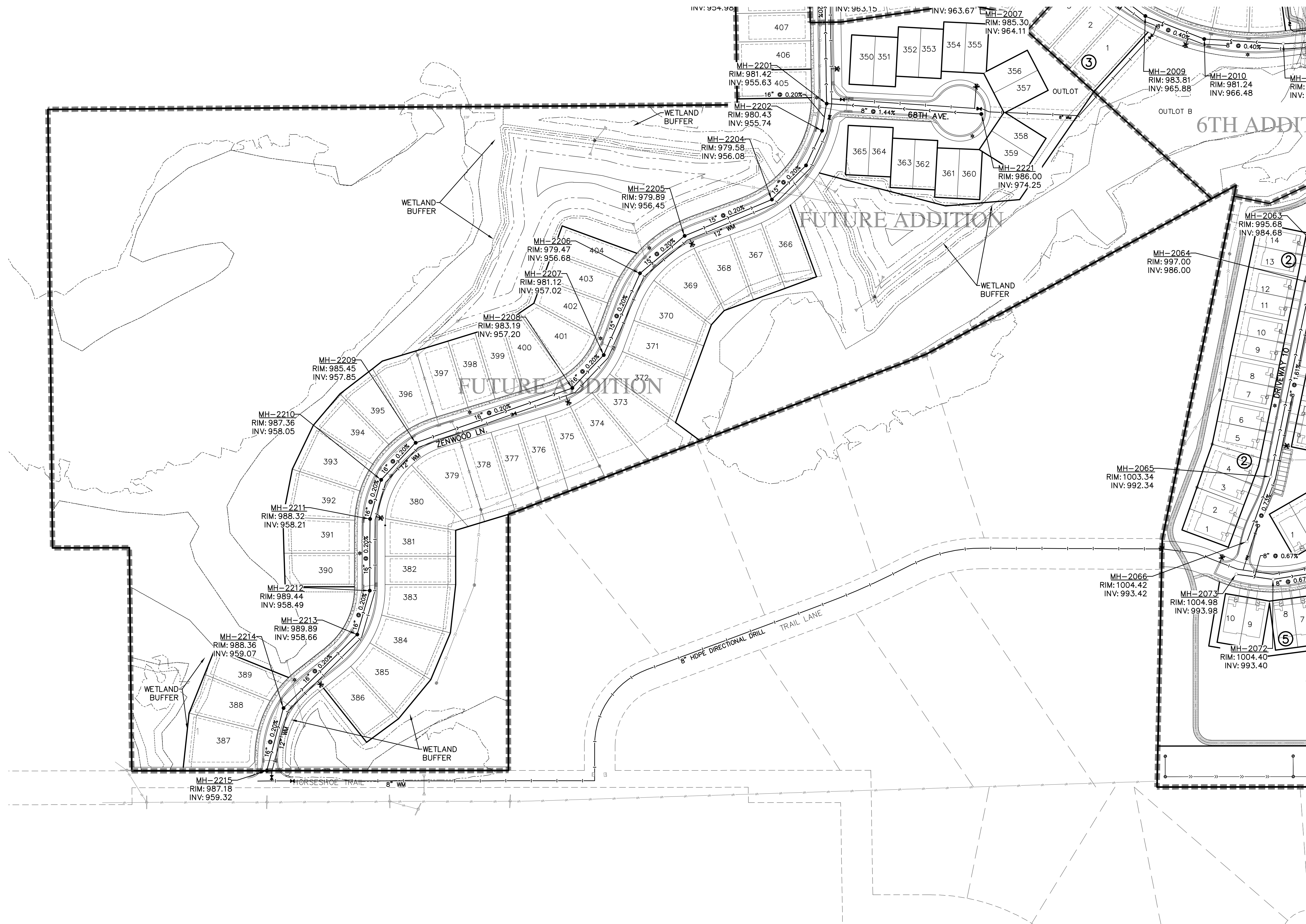


INSET E



- BUFFER SIGN
- WETLAND BUFFER MINIMUM REQ'D
- WETLAND BUFFER AVG REQ'D
- CITY WETLAND BUFFER PROPOSED
- WATERSHED WETLAND BUFFER PROPOSED
- WETLAND BUFFER MAX CREDIT AREA
- WETLAND BUFFER SETBACK





PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, P & B 1 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, P & B 1 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

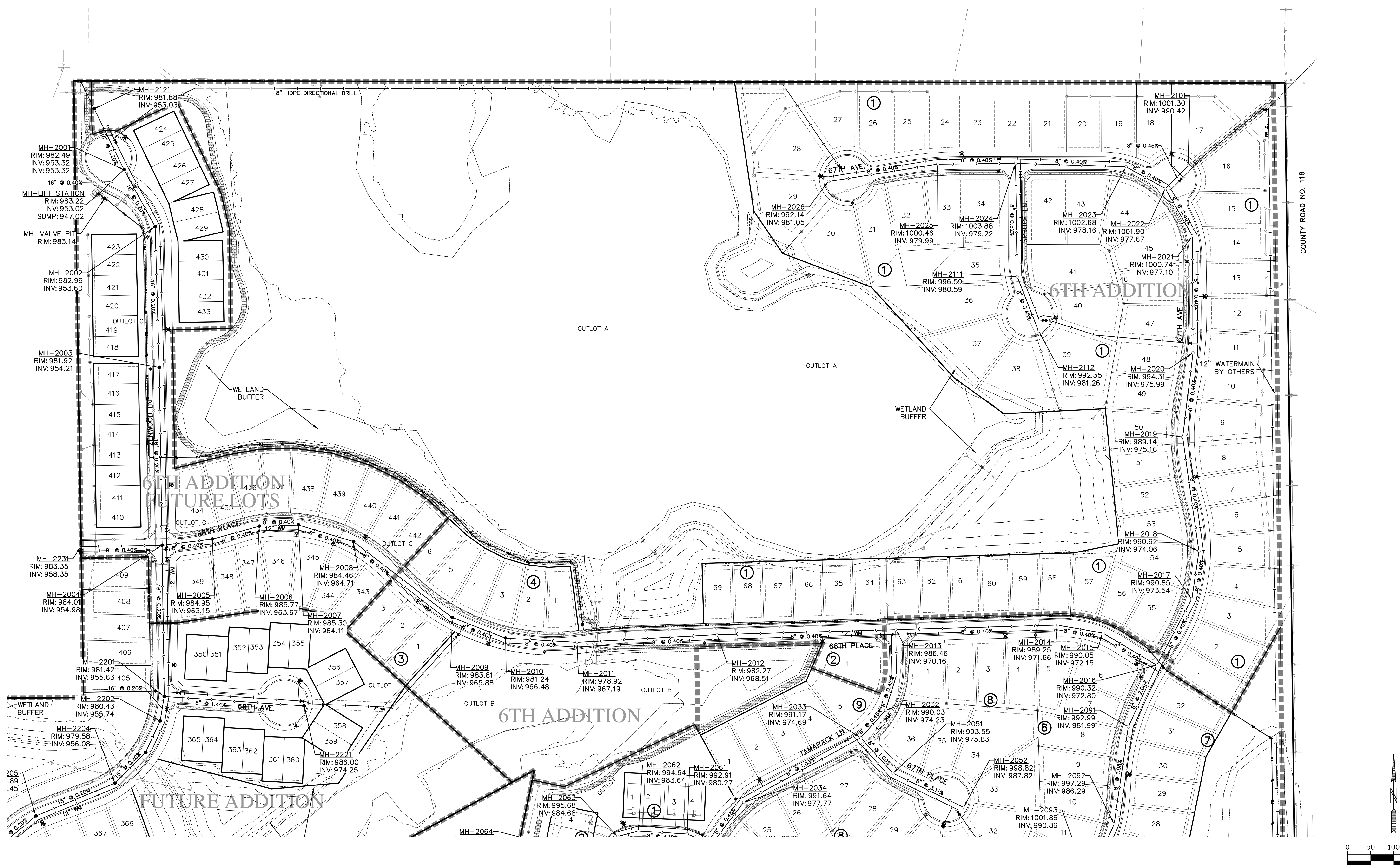
Date: 9-11-2020
 Designed: PJC/BNM
 Drawn: MPC

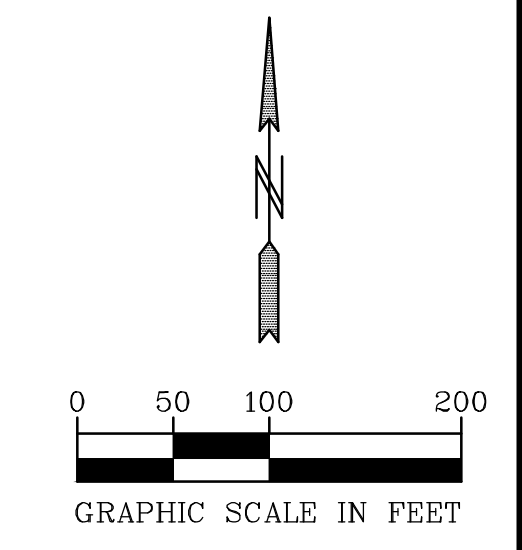
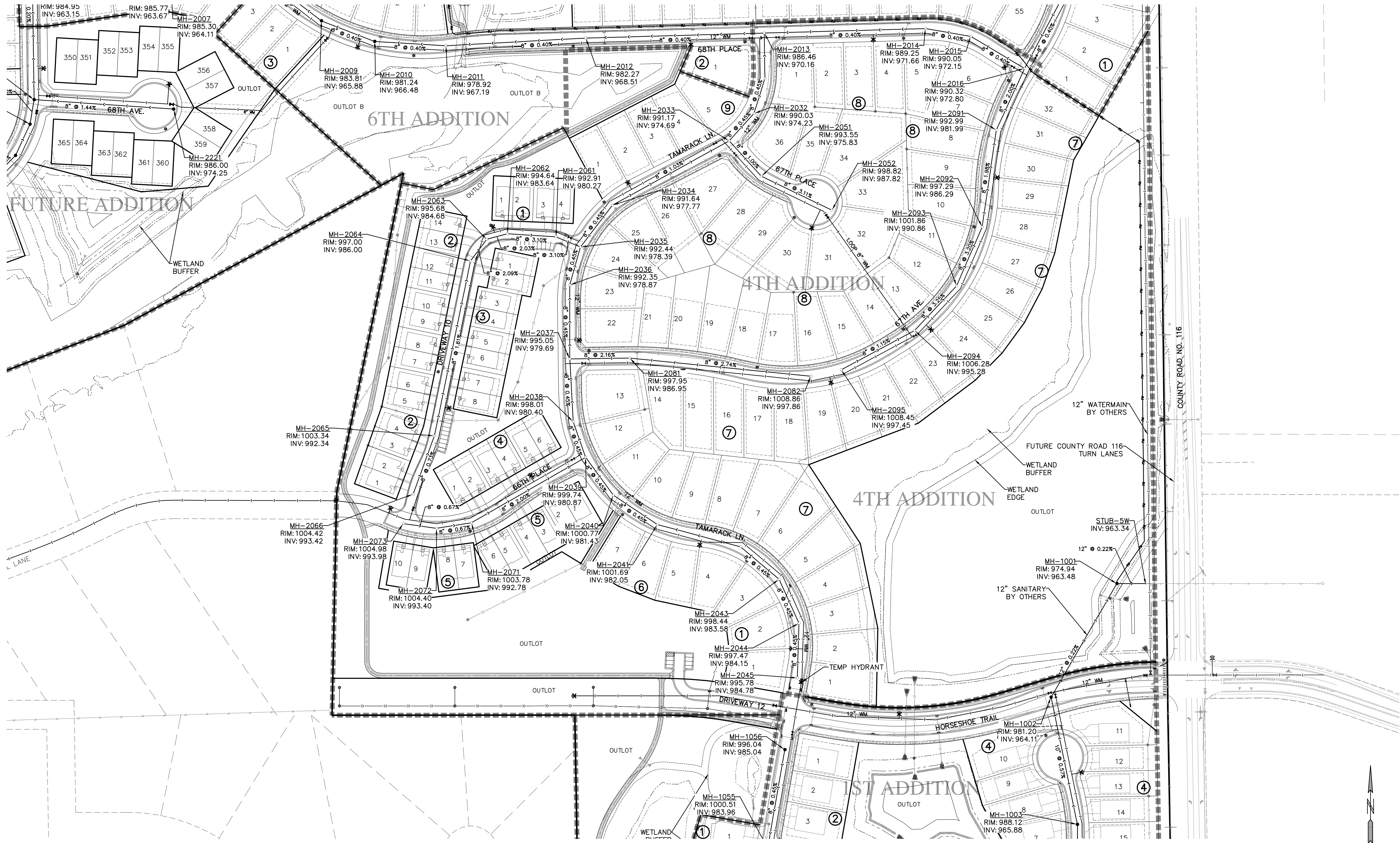
**SANITARY SEWER & WATERMAIN
 MASTER PLAN**

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-20-2022 5th Addition 20. 03-07-2023 Wetland Buffer Update 22. 11-13-2023 6th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments 21. 03-23-2023 NW Drwy Temp. Easement 23. 02-05-2024 City Comments





PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-18-2021 Trail L, 12 B, 1 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-18-2021 Trail L, 12 B, 1 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

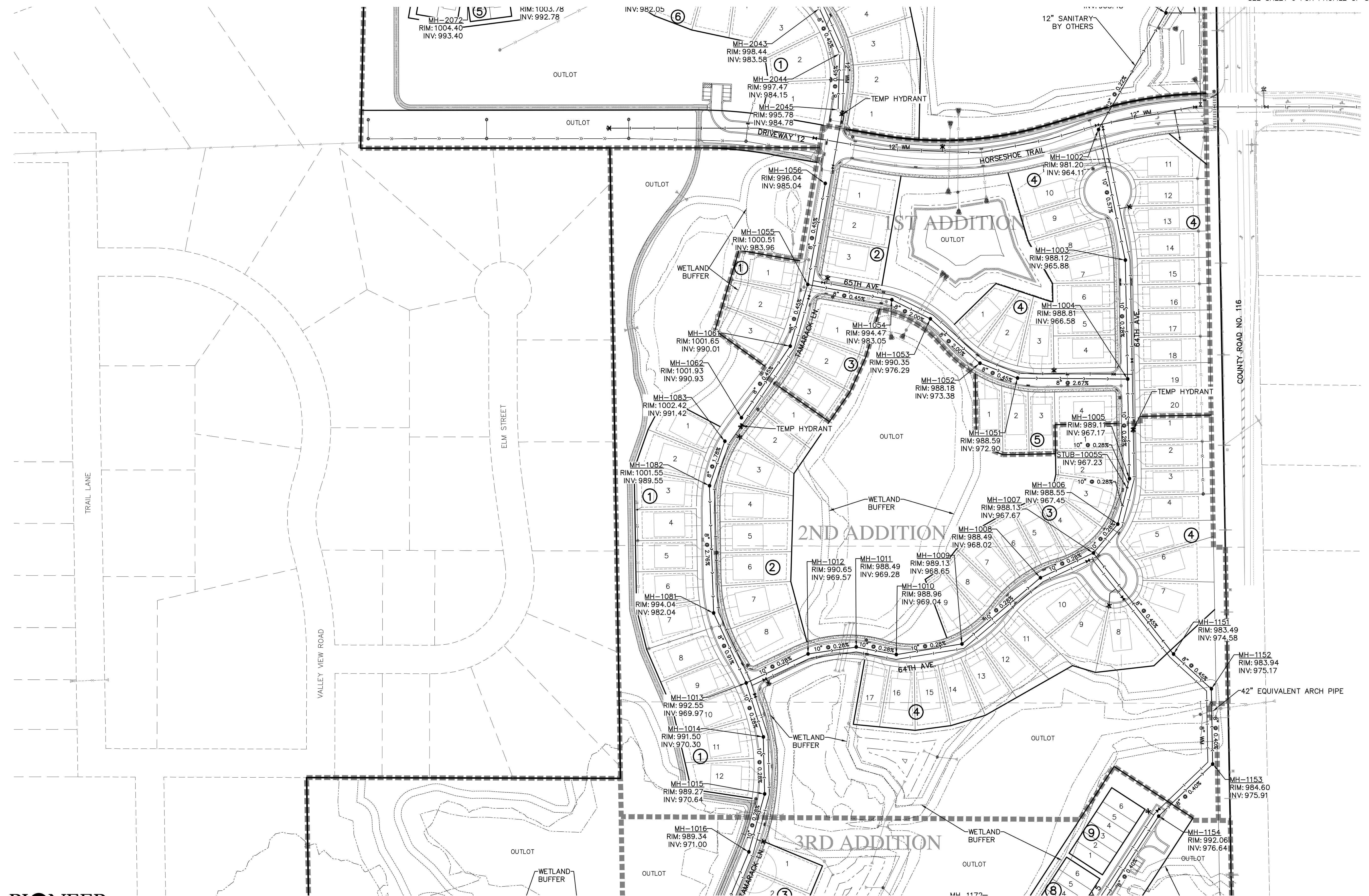
**SANITARY SEWER & WATERMAIN
 MASTER PLAN**

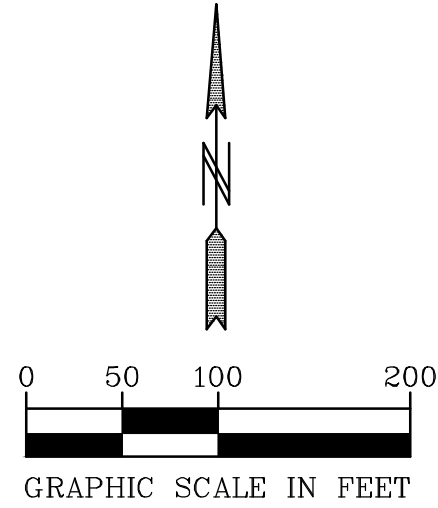
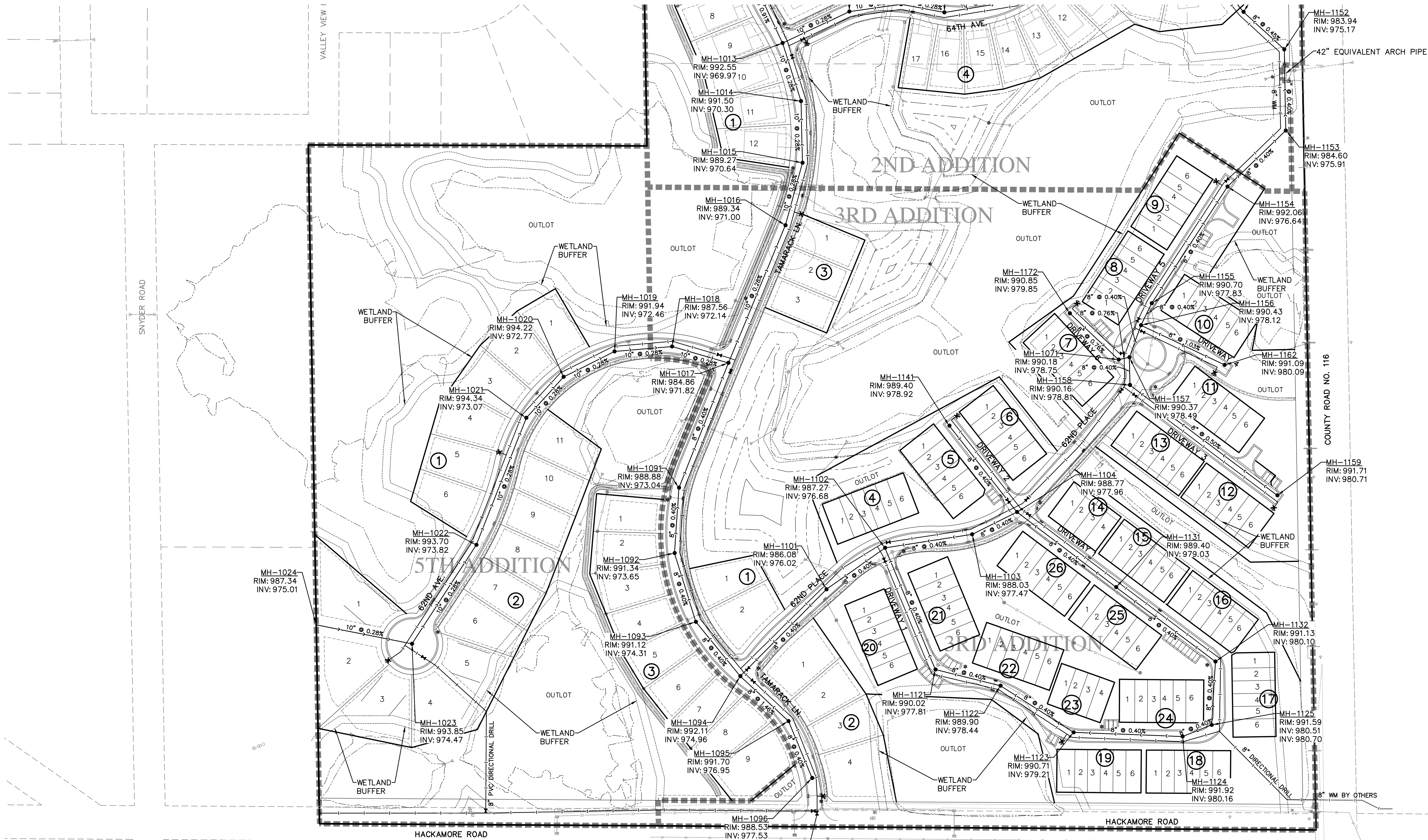
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

6.03 OF 36

14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-29-2022 5th Addition 20. 03-07-2023 Wetland Buffer Update 22. 11-13-2023 6th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments 21. 03-23-2023 NW Drwy Temp. Easement 23. 02-05-2024 City Comments





PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

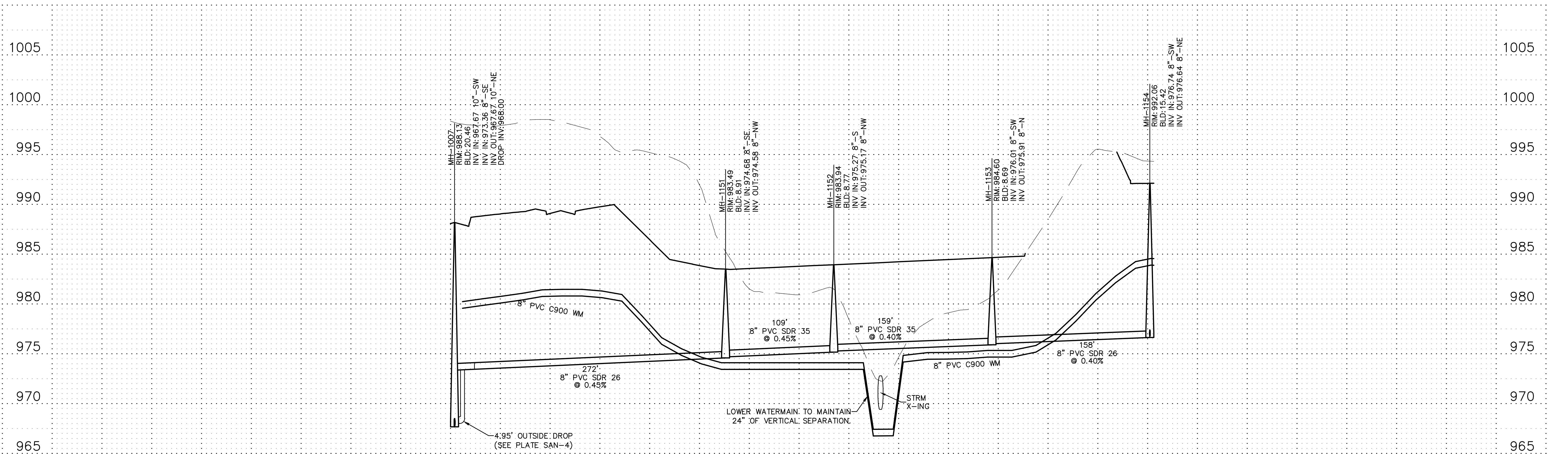
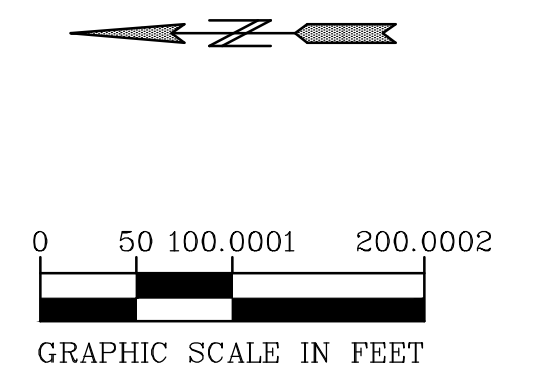
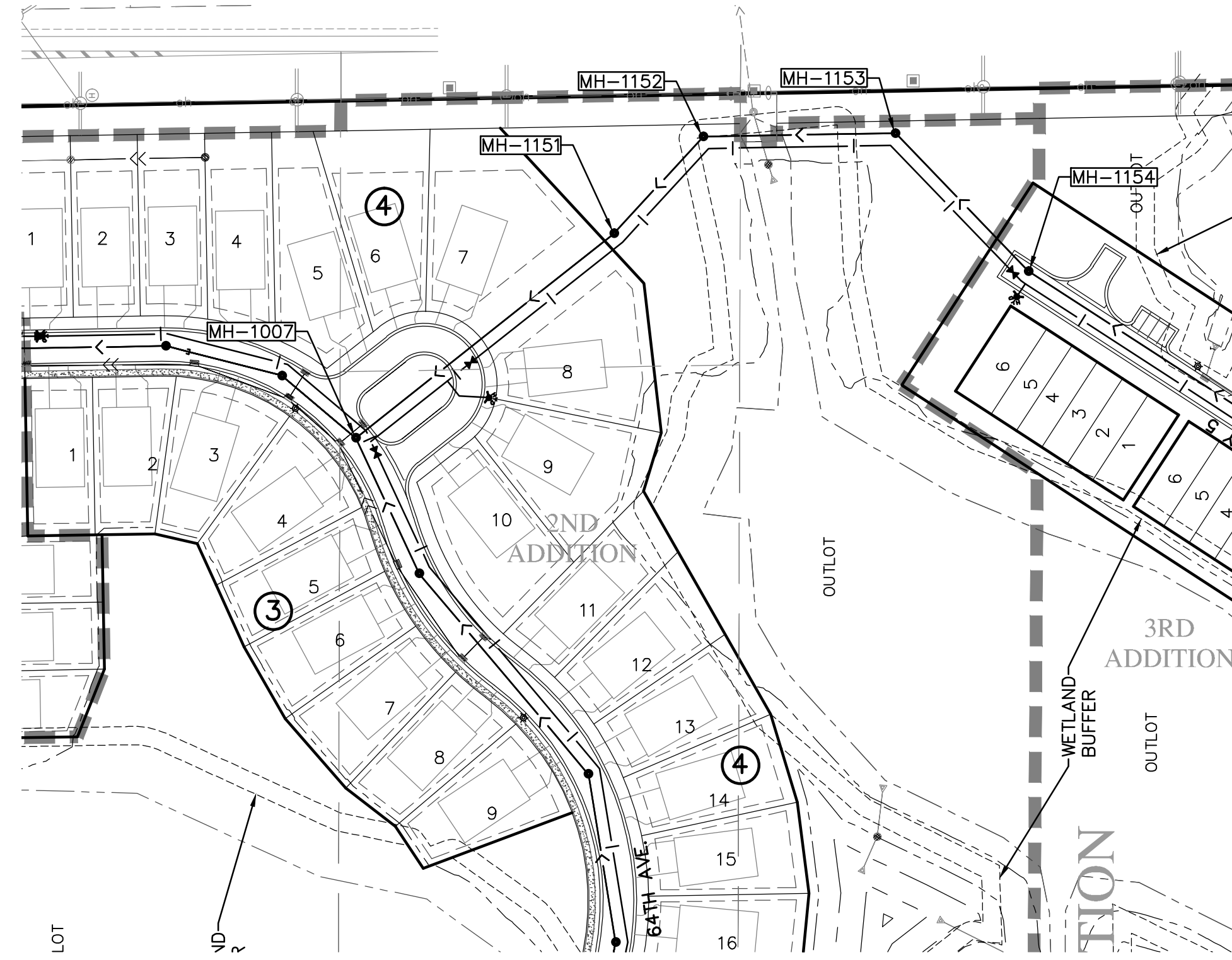
Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, F B, I 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, F B, I 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

SANITARY SEWER & WATERMAIN MASTER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change
 2. 11-9-2020 Add Demo Plan
 3. 01-29-2021 City Comments & 08-18-2021 Trail L, F & I 2nd Add.
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-18-2021 Trail L, F & I 2nd Add.
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

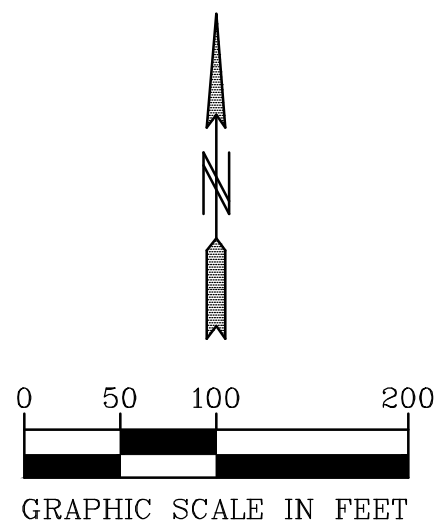
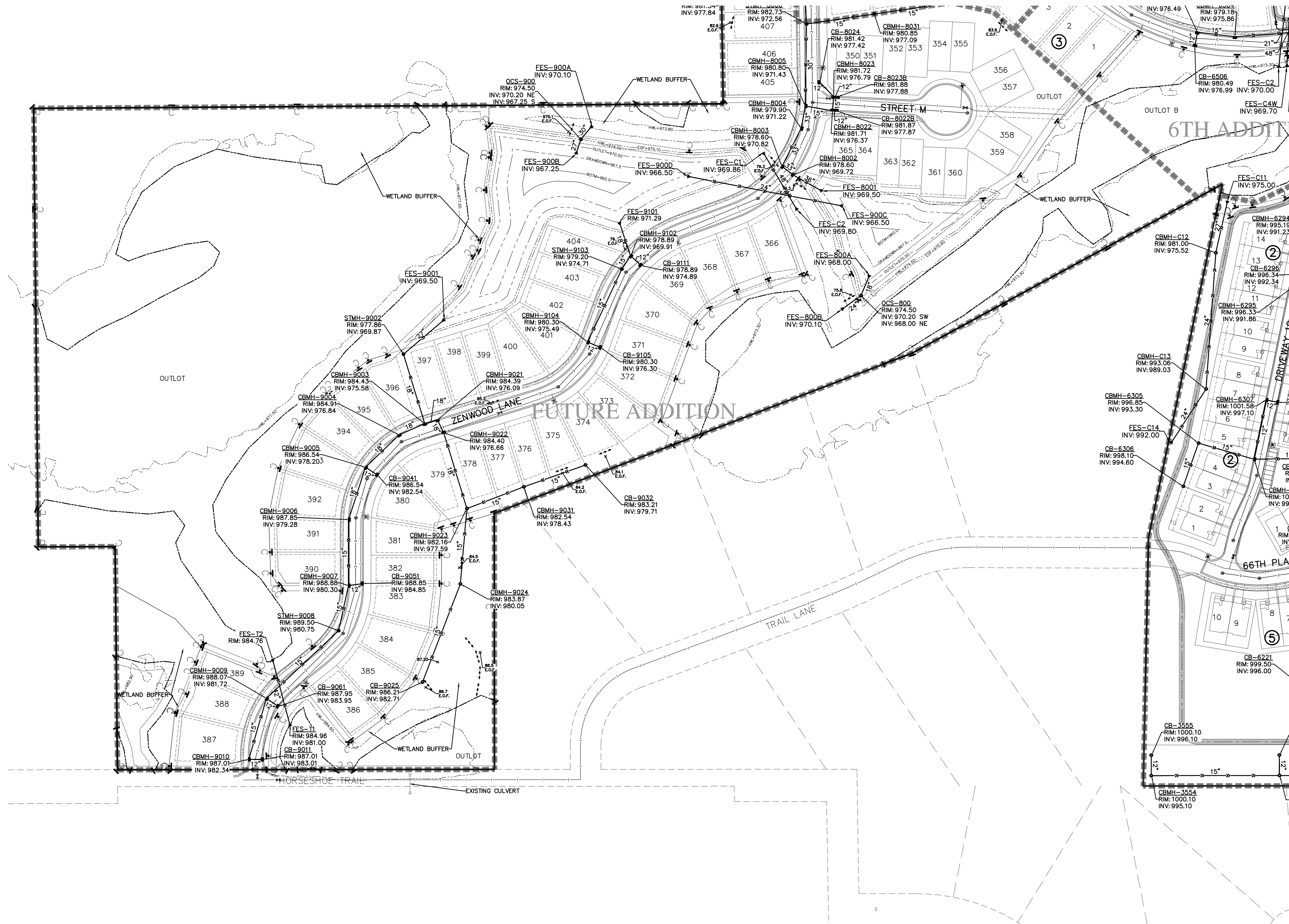
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

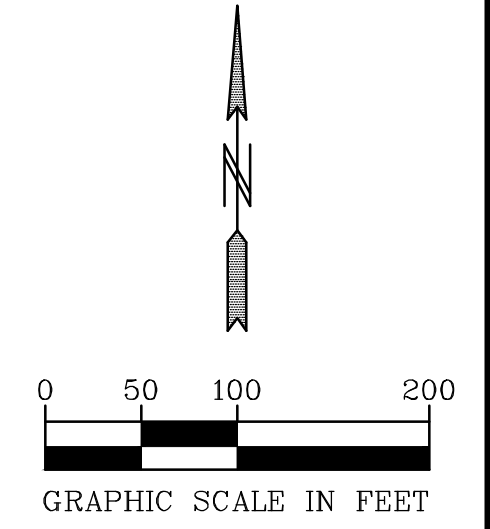
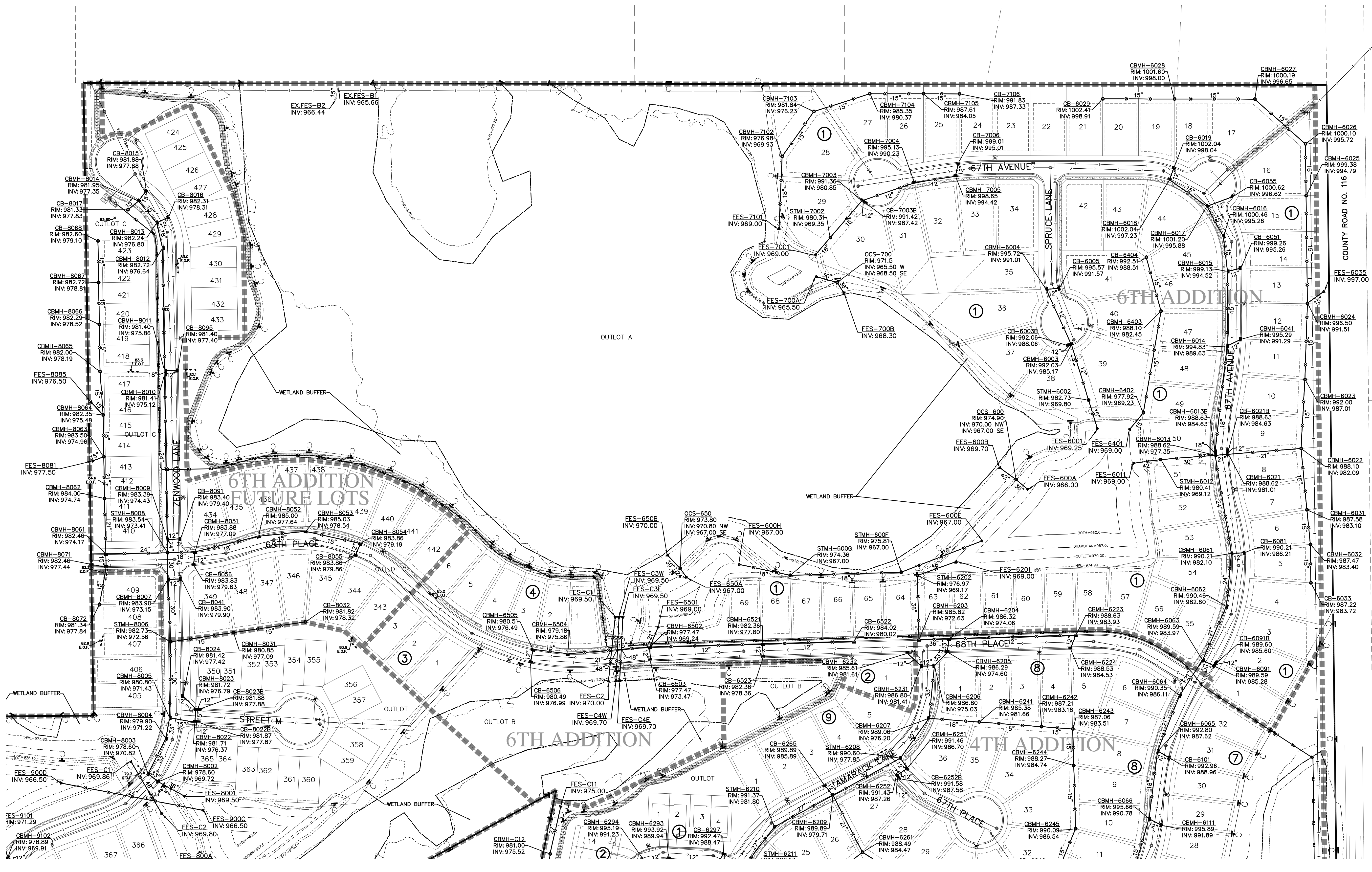
SANITARY SEWER & WATERMAIN MASTER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

OA-ENG-119128-SHEET-SSWR





PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: *Paul J. Chene*
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Add Demo Plan
 2. 11-9-2020 Add Demo Plan
 3. 01-20-2021 City Comments & 08-10-2021 Trail L, T, B 1 2nd Add
 4. 04-09-2021 City Comments
 5. 05-27-2021 City Comments
 6. 06-11-2021 City Comments
 7. 07-16-2021 2nd Addition
 8. 08-10-2021 Trail L, T, B 1 2nd Add
 9. 09-22-2021 City Comments
 10. 09-27-2021 3rd Addition
 11. 02-23-2022 City Comments
 12. 05-06-2022 City Comments
 13. 05-26-2022 City Comments

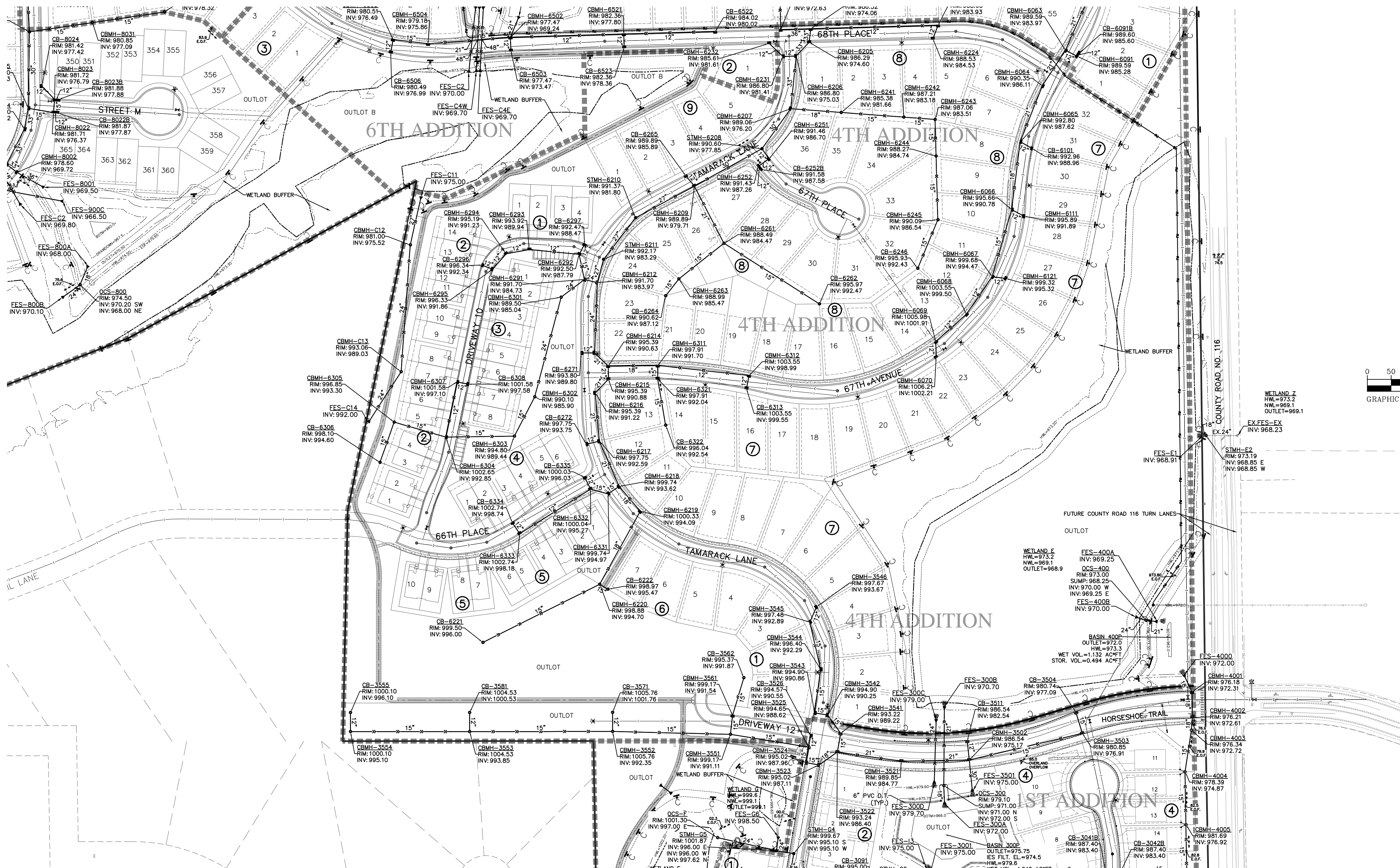
Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

STORM SEWER CONSTRUCTION MASTER PLAN

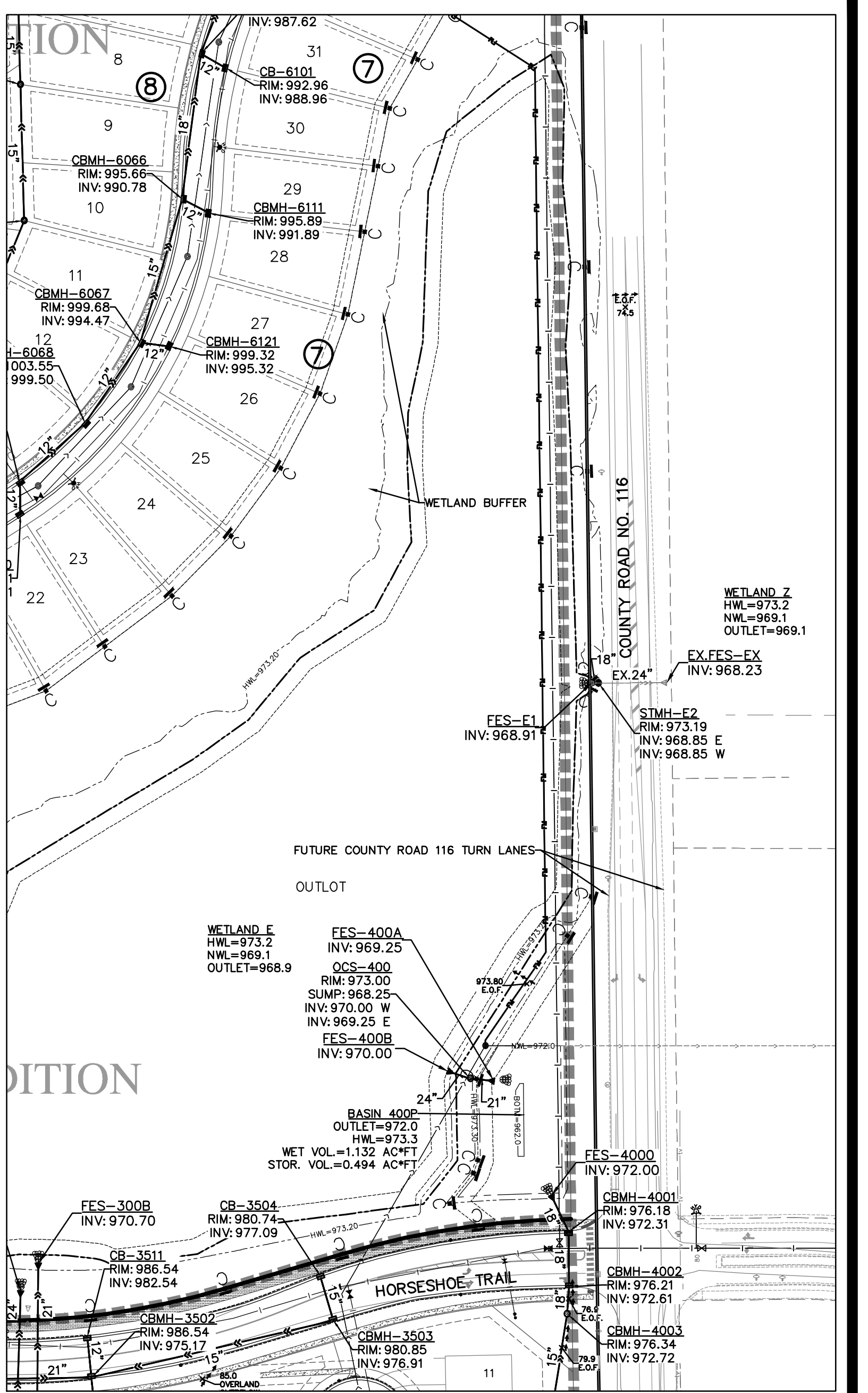
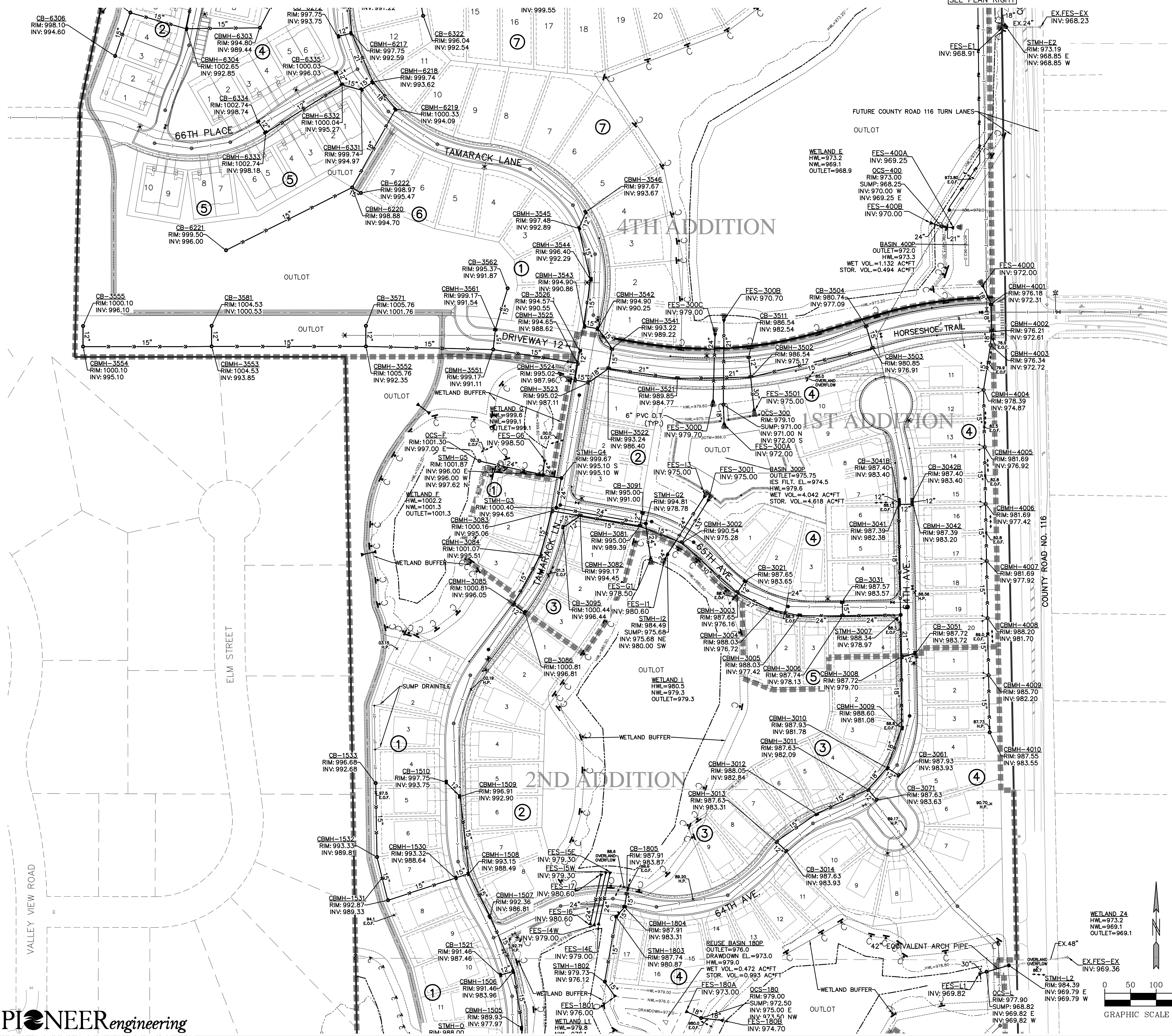
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

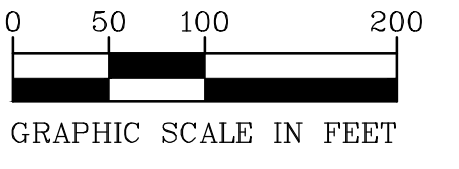
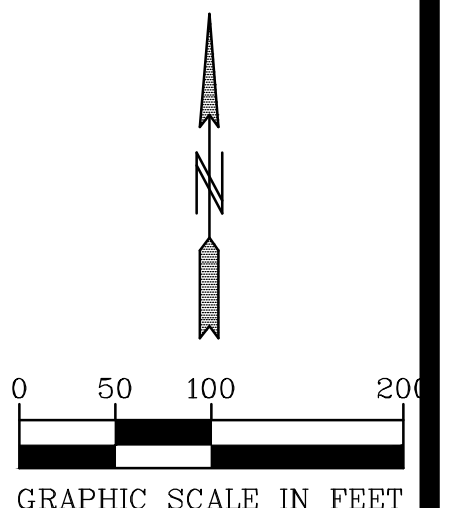
© 2022 Pioneer Engineering, P.A. 14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-20-2022 5th Addition 20. 03-07-2023 Wetland Buffer Update 22. 11-13-2023 6th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments 21. 03-23-2023 NW Drwy Temp. Easement 23. 02-05-2024 City Comments



SEE PLAN RIGHT



SEE PLAN LEFT



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: *Paul J. Chene*
 License No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change 6.06-11-2021 City Comments 10.09-27-2021 3rd Addition
 2. 11-9-2020 Add Demo Plan 7.07-16-2021 2nd Addition 12.05-06-2022 City Comments
 3. 01-20-2021 City Comments & 08-10-2021 Trail L 12 B 1 2nd Add
 4. 04-09-2021 City Comments 09-22-2021 City Comments 13.05-26-2022 City Comments

Date: 9-11-2020
 Designed: PIC/BNM
 Drawn: MPC

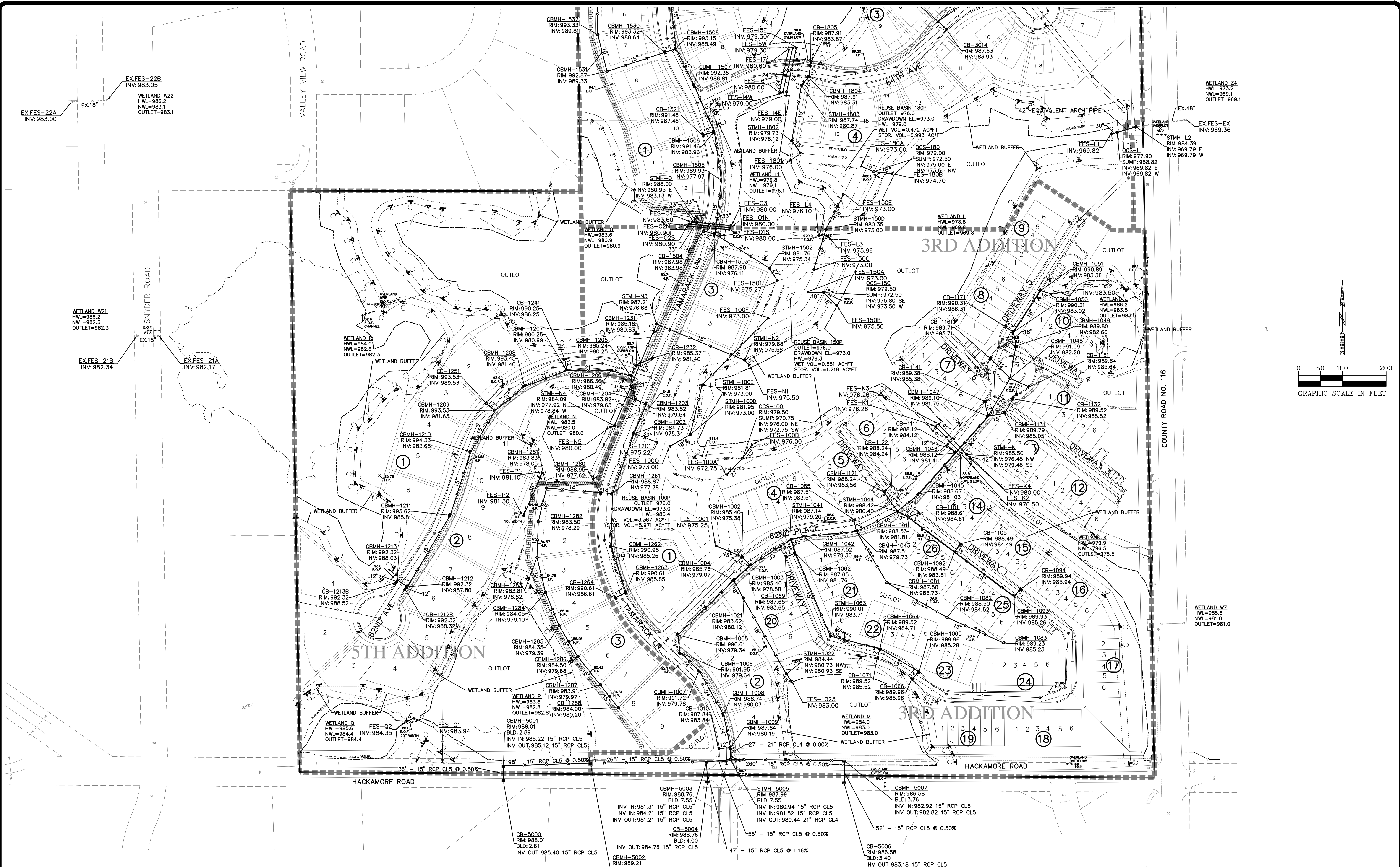
STORM SEWER CONSTRUCTION MASTER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

7.04 OF 36

© 2022 Pioneer Engineering, P.A. 14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-20-2022 5th Addition 20. 03-07-2023 Wetland Buffer Update 22. 11-17-2023 6th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments 21. 03-23-2023 NW Drwy Temp. Easement 23. 02-05-2024 City Comments



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: *Paul J. Chene*
 Paul J. Chene
 Reg. No.: 19860 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change 6.06-11-2021 City Comments 11.02-23-2022 City Comments
 2. 11-9-2020 Add Demo Plan 7.07-16-2021 2nd Addition 12.05-06-2022 City Comments
 3. 01-29-2021 City Comments & 08-18-2021 Trail L 12 B 1 2nd Add
 4. 04-09-2021 City Comments 09-22-2021 City Comments 13.05-26-2022 City Comments

5. 05-27-2021 City Comments 10.09-27-2021 3rd Addition
 6. 06-11-2021 City Comments 11.02-23-2022 City Comments
 7. 07-16-2021 2nd Addition 12.05-06-2022 City Comments
 8. 08-18-2021 Trail L 12 B 1 2nd Add
 9. 09-22-2021 City Comments 13.05-26-2022 City Comments

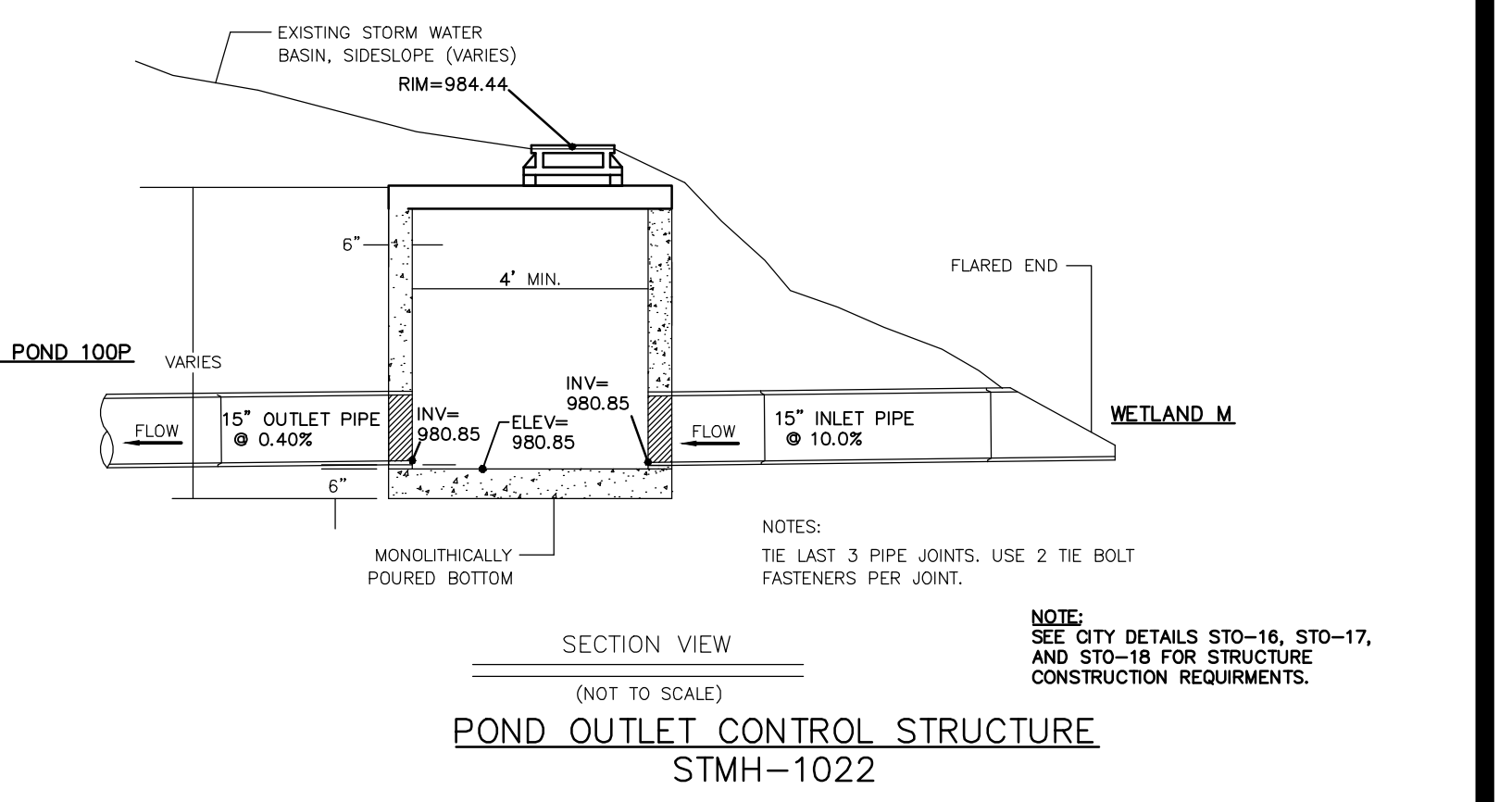
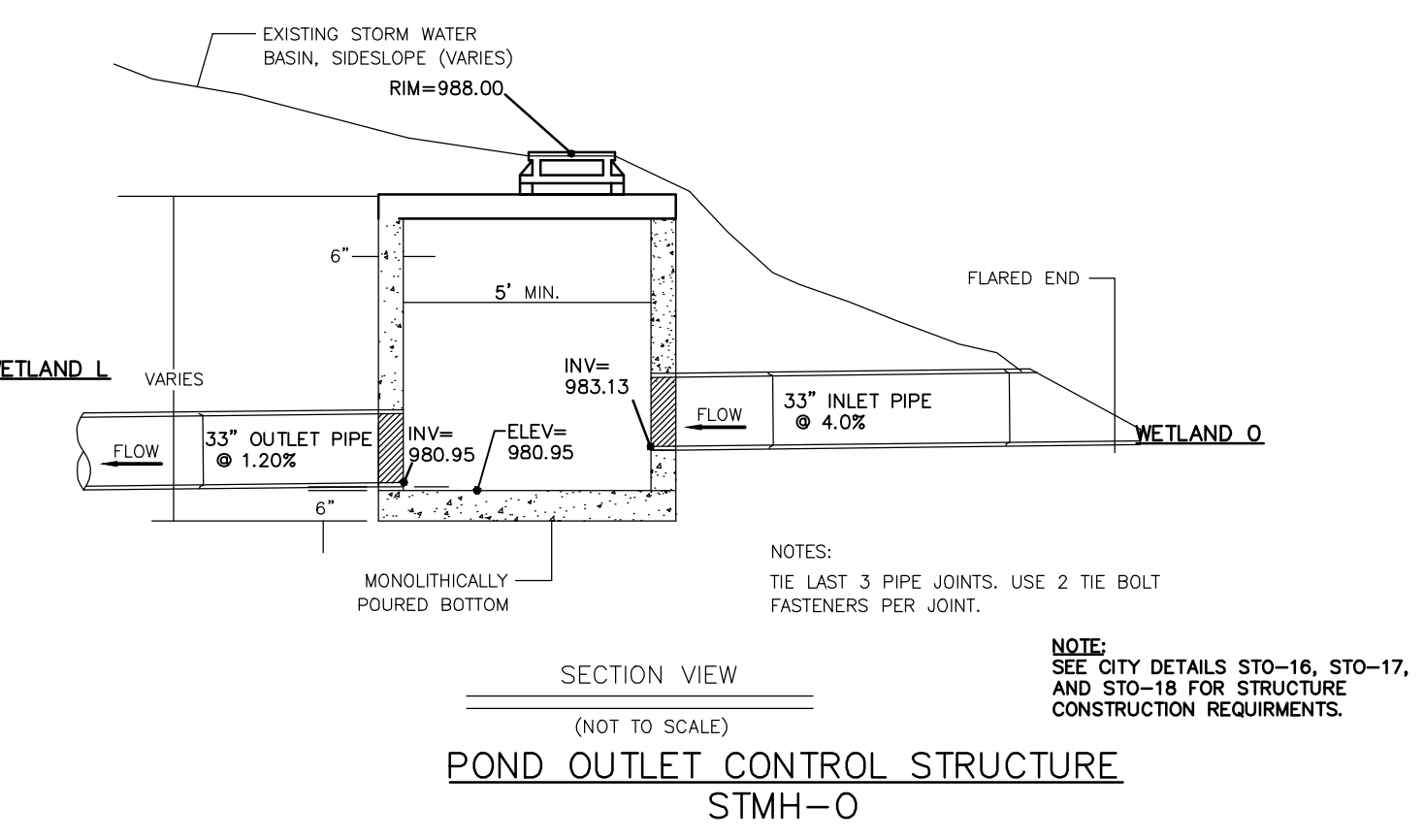
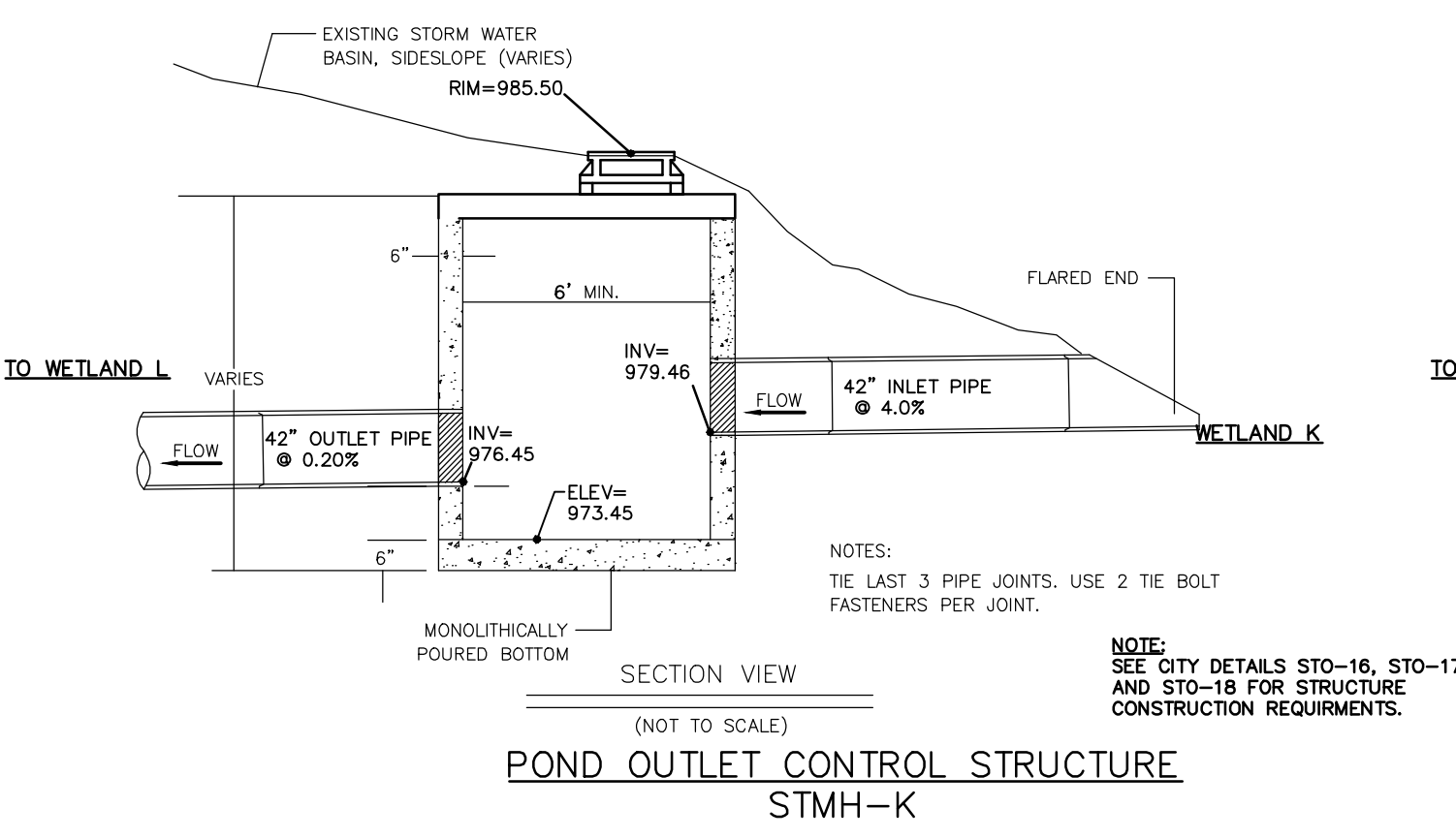
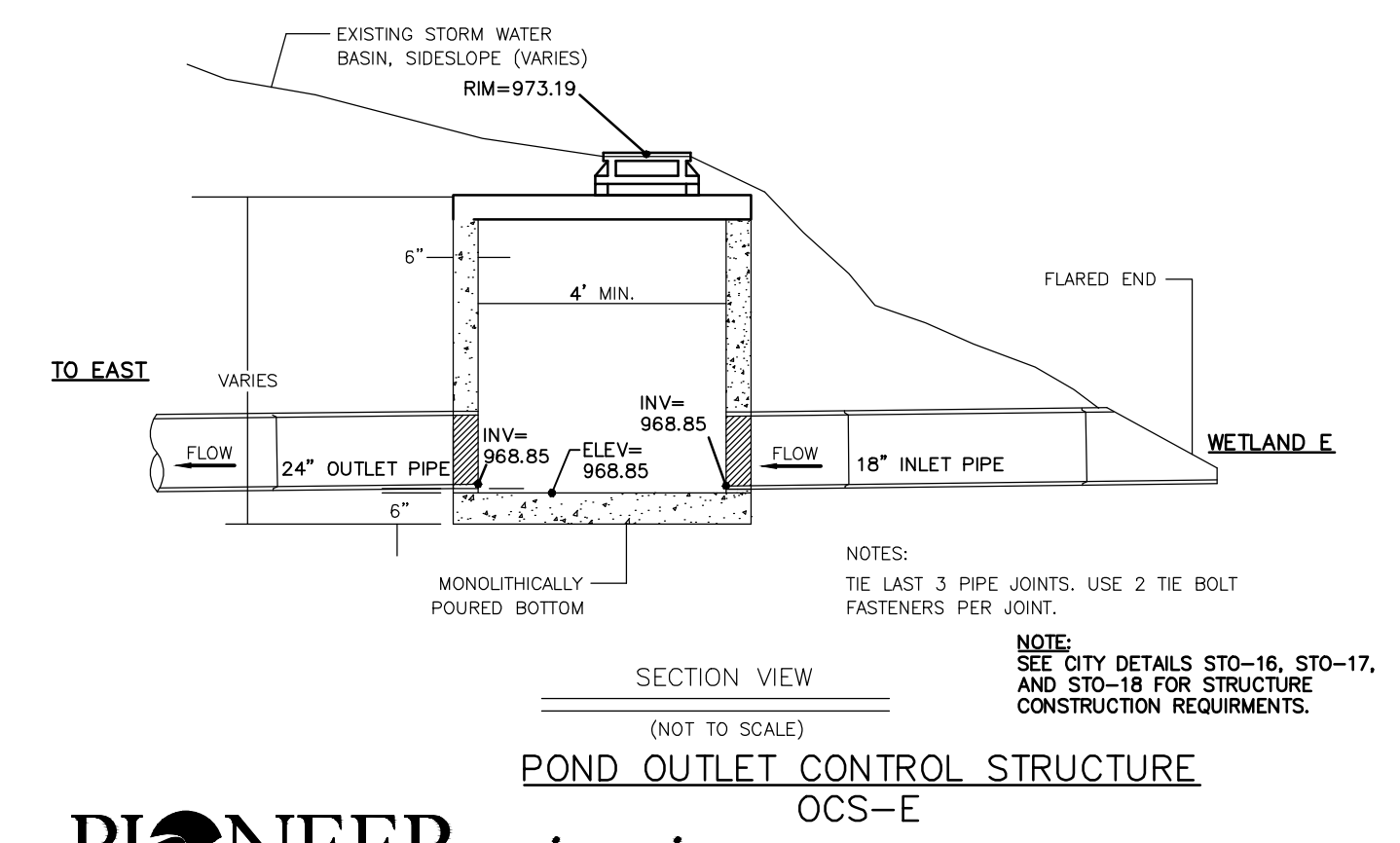
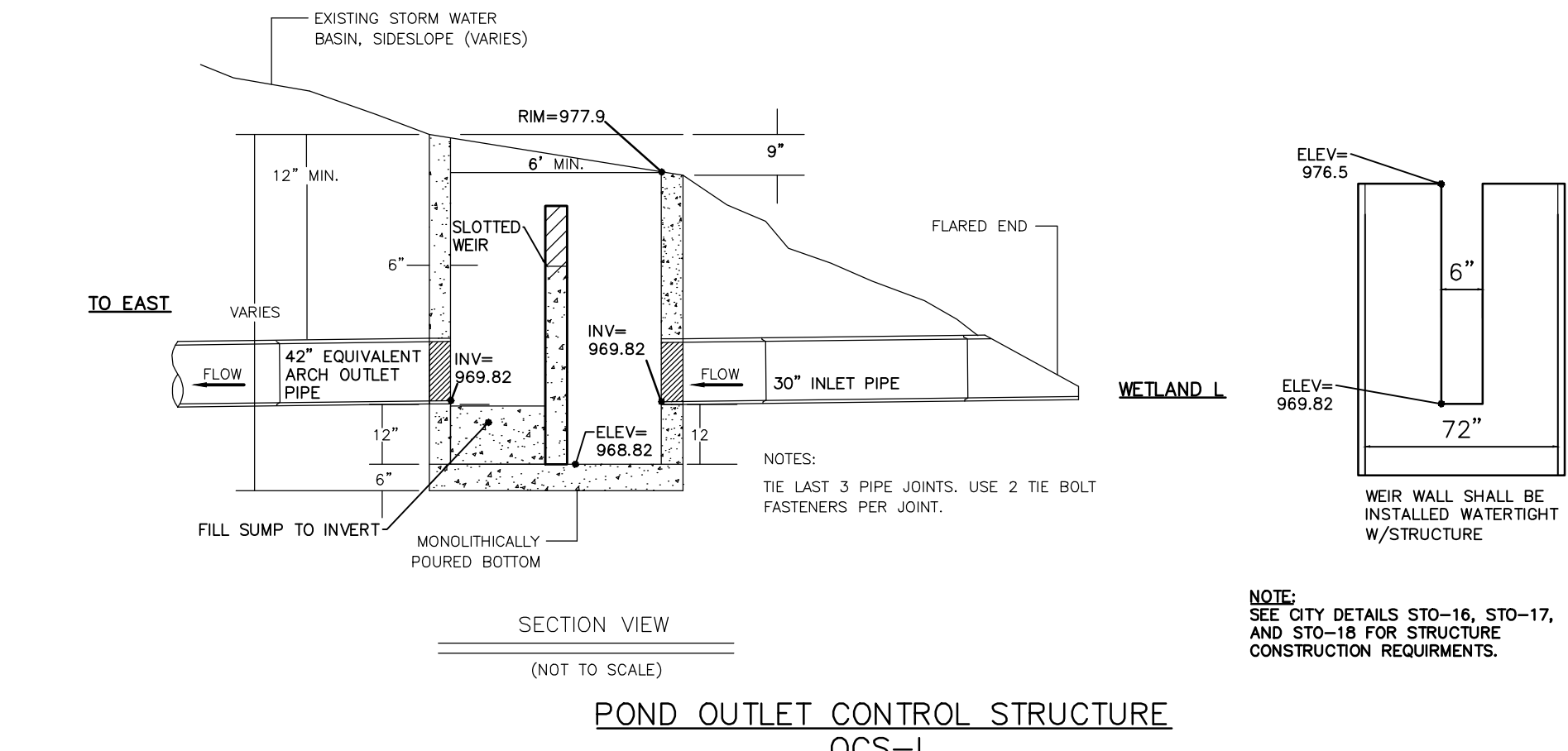
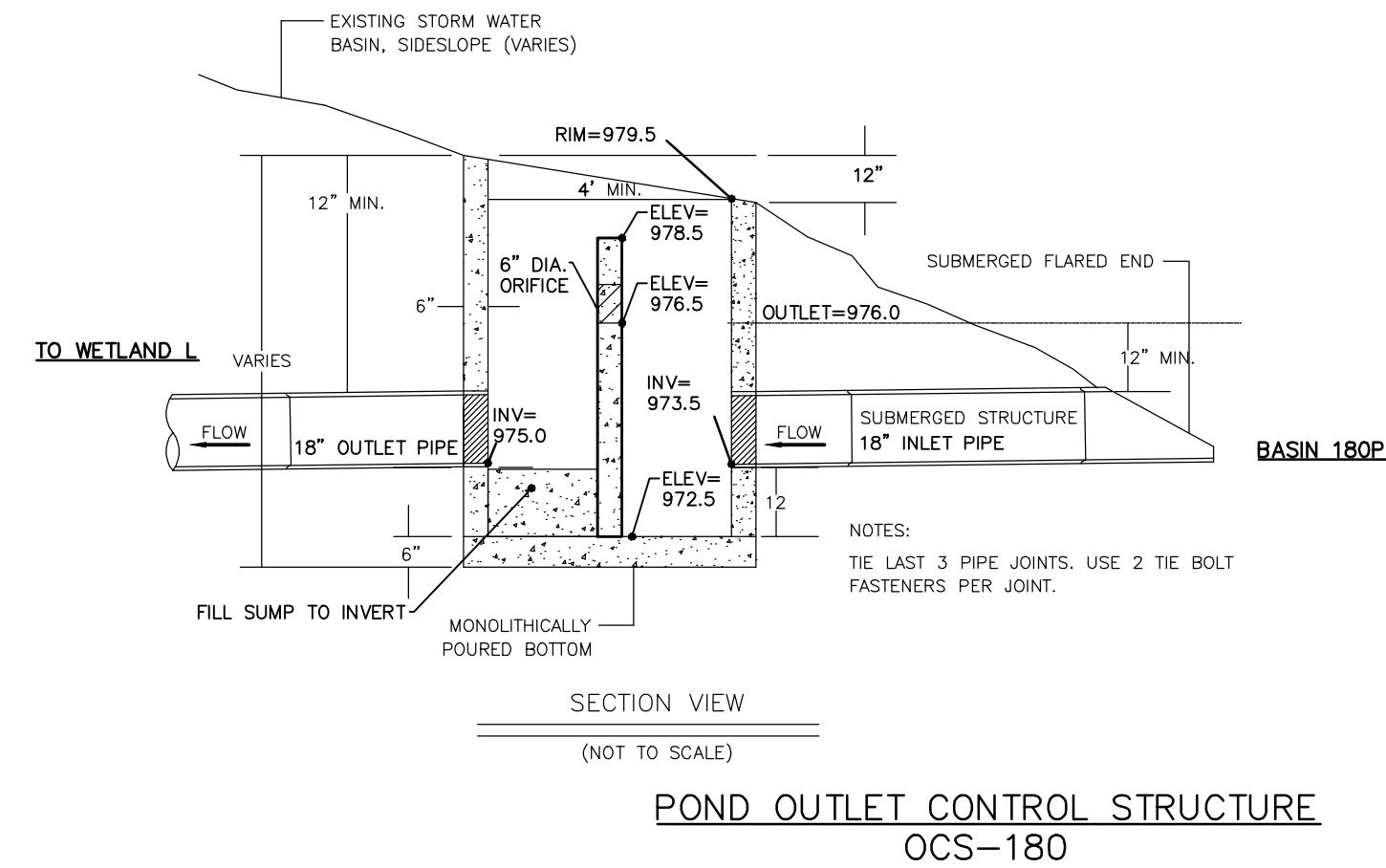
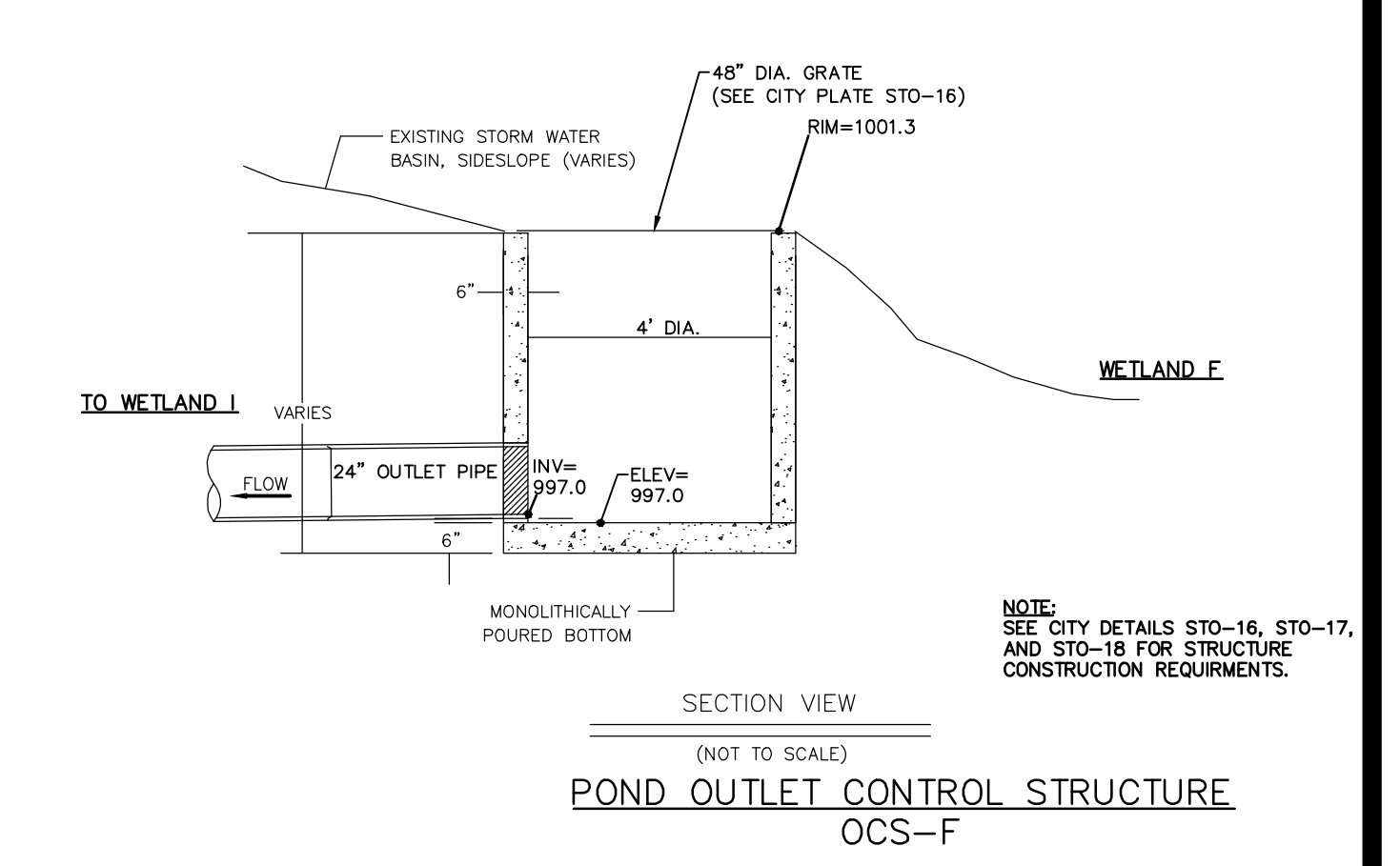
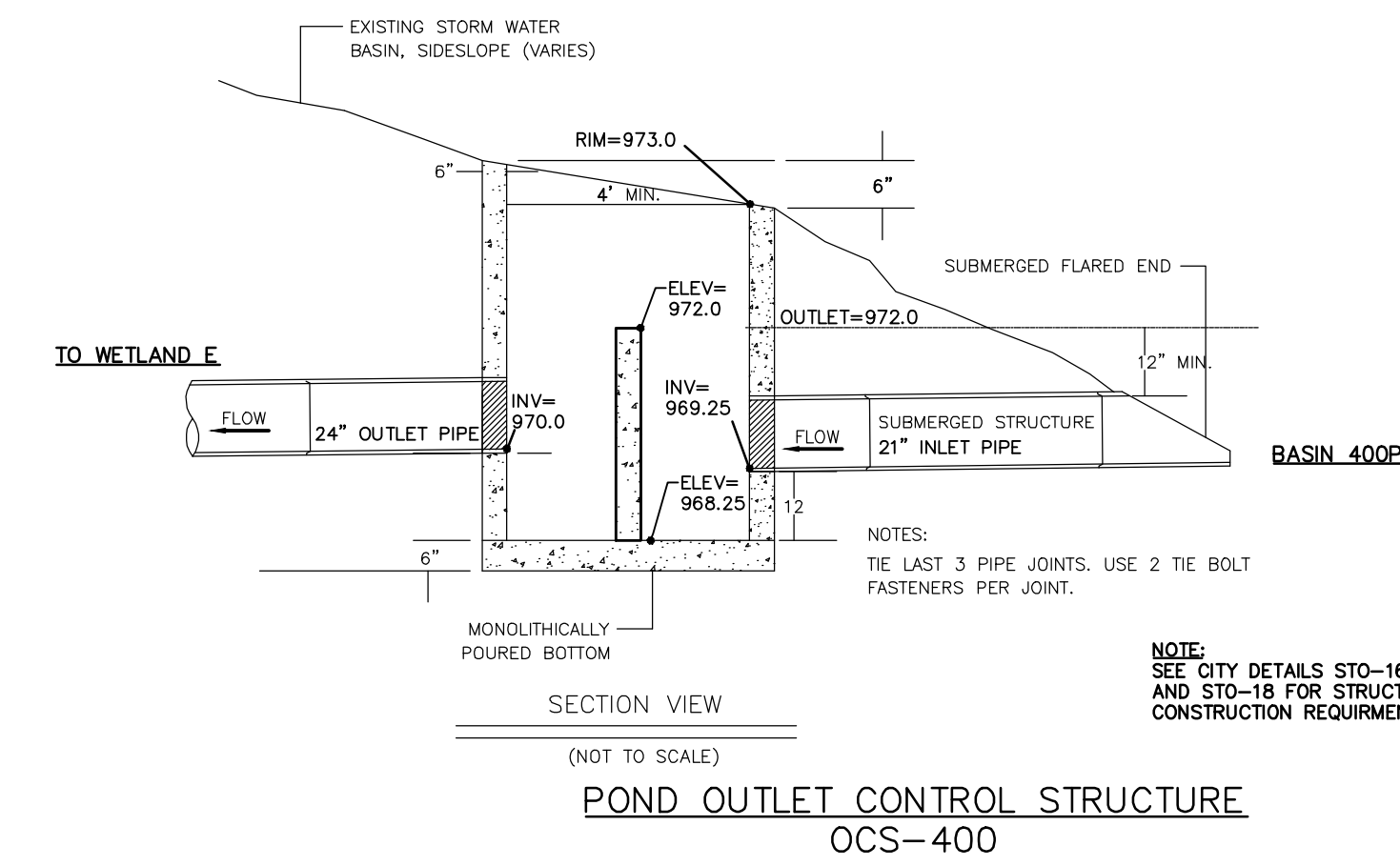
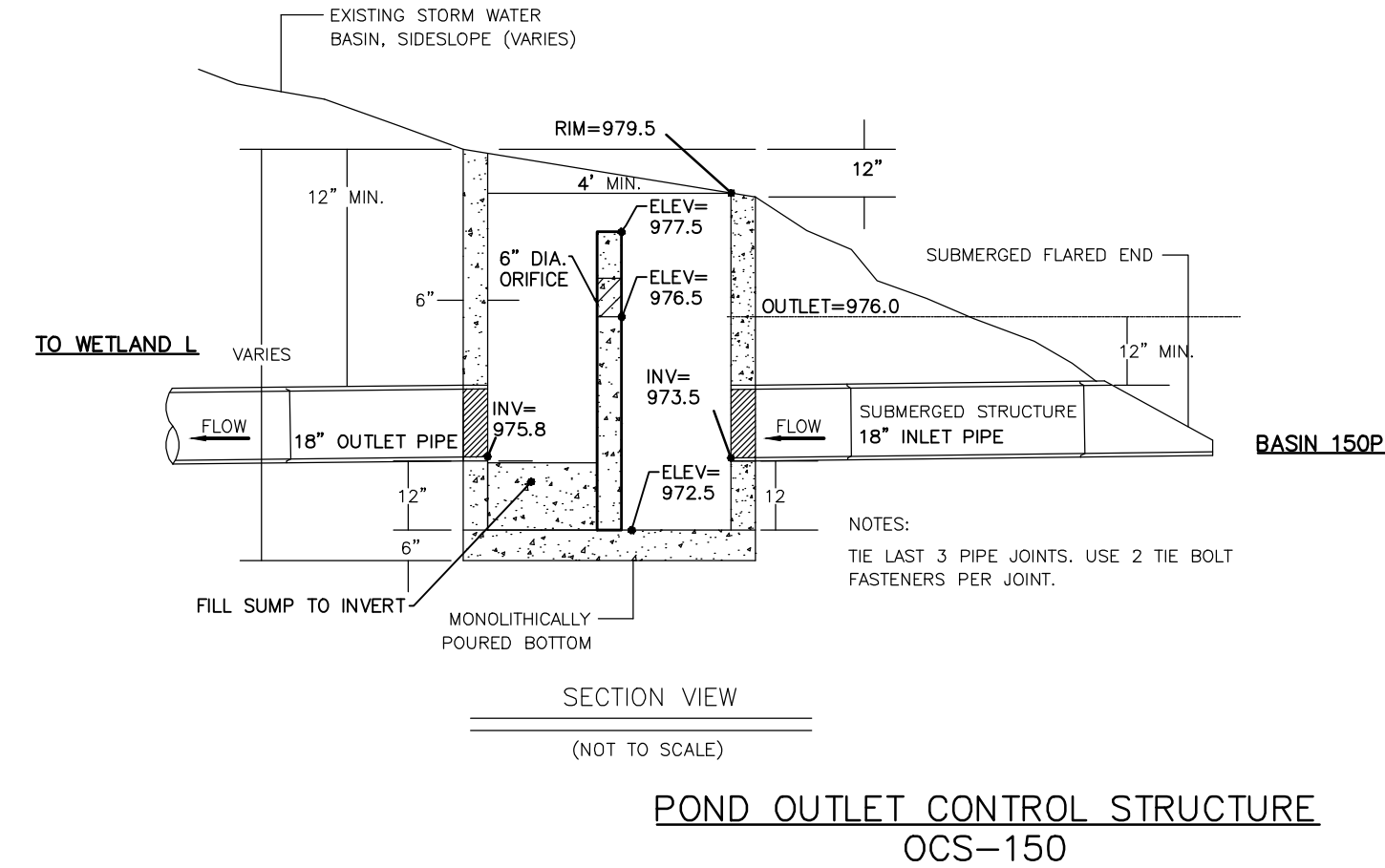
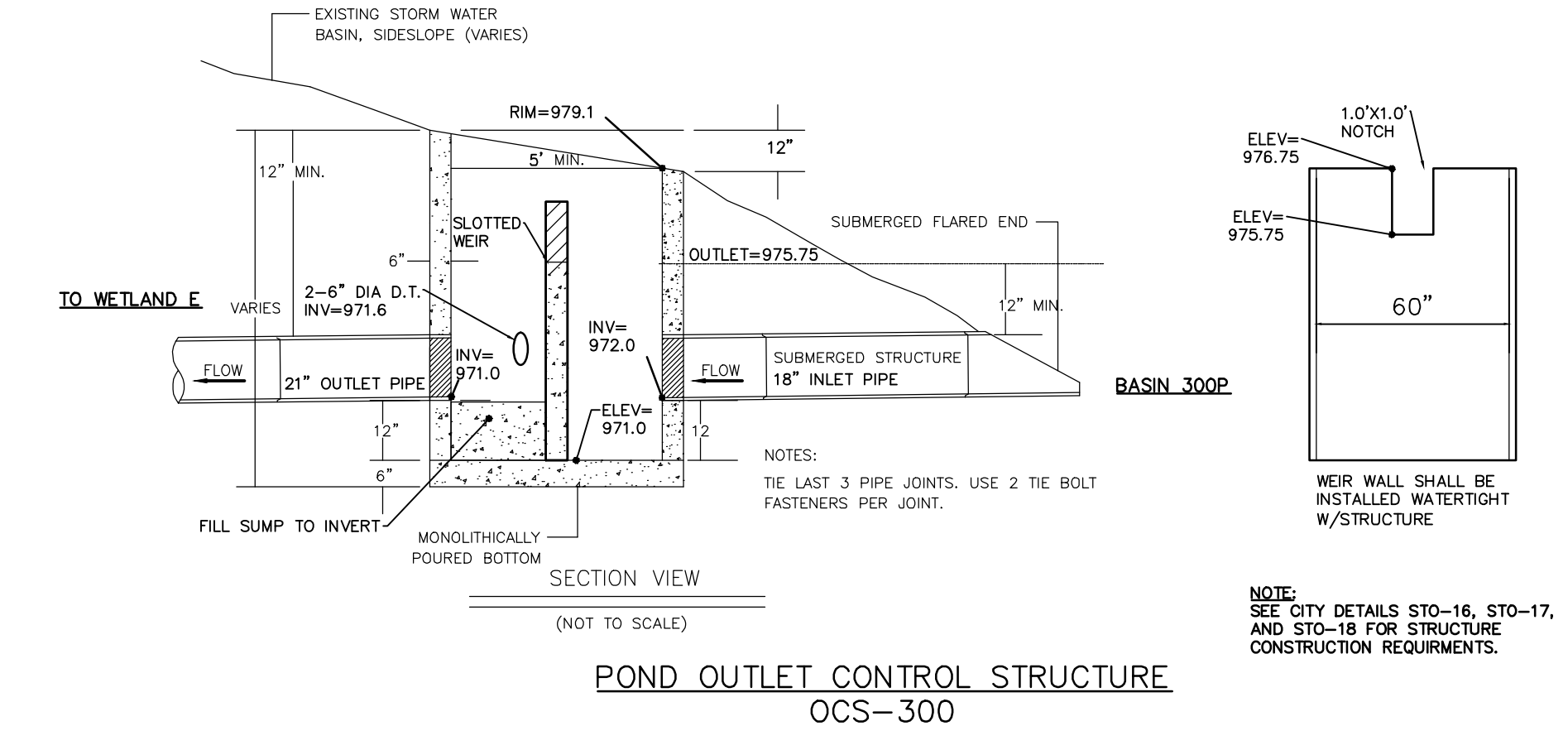
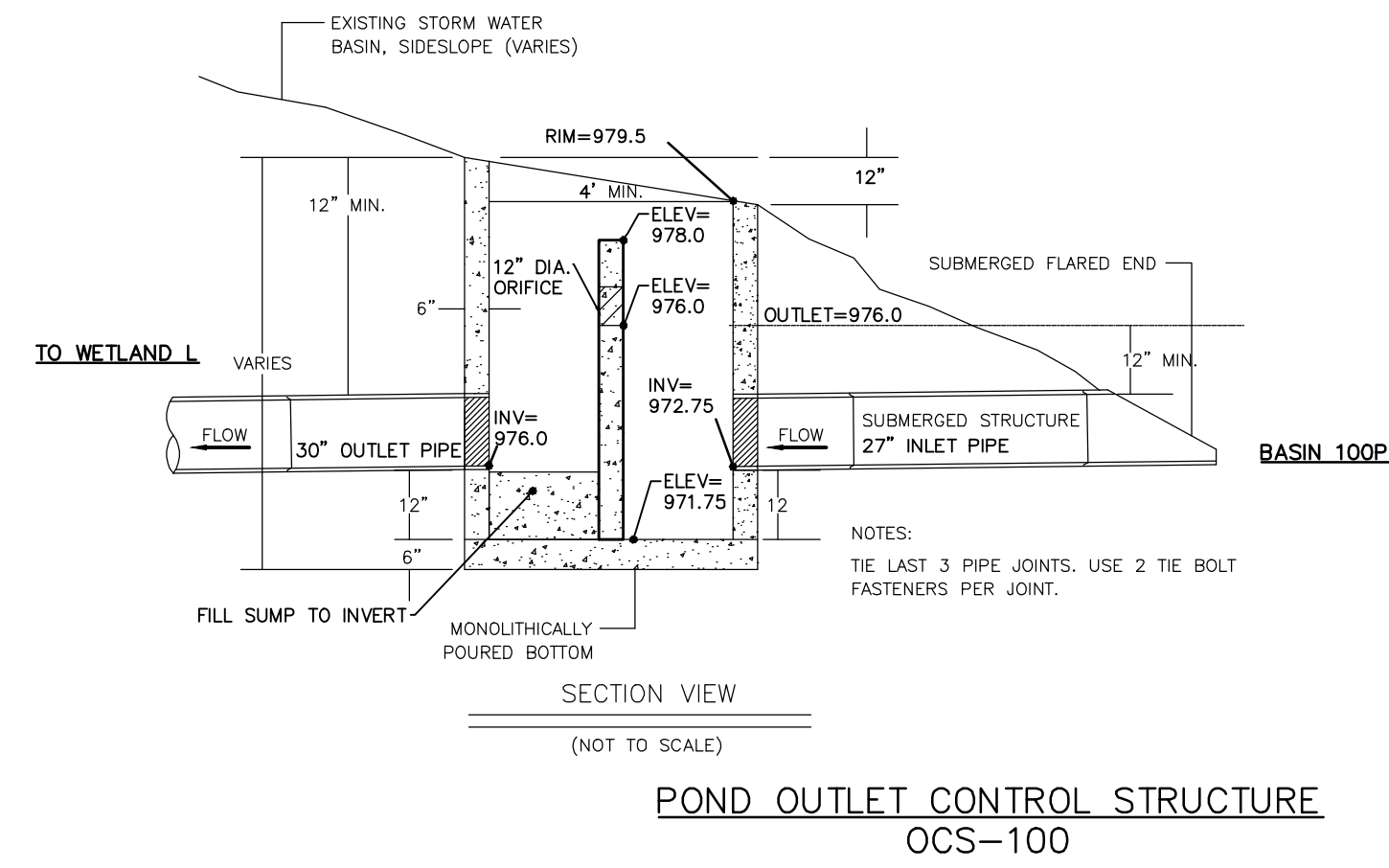
14. 06-29-2022 City Comments 16. 08-24-2022 City Comments 18. 09-29-2022 5th Addition
 15. 08-11-2022 City Comments 17. 09-01-2022 City Comments 19. 02-15-2023 City Comments

Date: 9-11-2020
 Designed: PIC/BMM
 Drawn: MPC

STORM SEWER CONSTRUCTION MASTER PLAN

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA
 7.05 OF 36



PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Paul J. Chene
 Reg. No.: 19860
 Date: 9-11-2020

Revisions:
 1. 10-8-2020 Pad Type Change 6.06-11-2021 City Comments 11.02-23-2022 City Comments
 2. 11-9-2020 Add Demo Plan 7.07-16-2021 2nd Addition 12.05-06-2022 City Comments
 3. 01-29-2021 City Comments & 08-10-2021 Trail L, 12 B, 1 2nd Add. 4.04-09-2021 City Comments 9.09-22-2021 City Comments 13.05-26-2022 City Comments

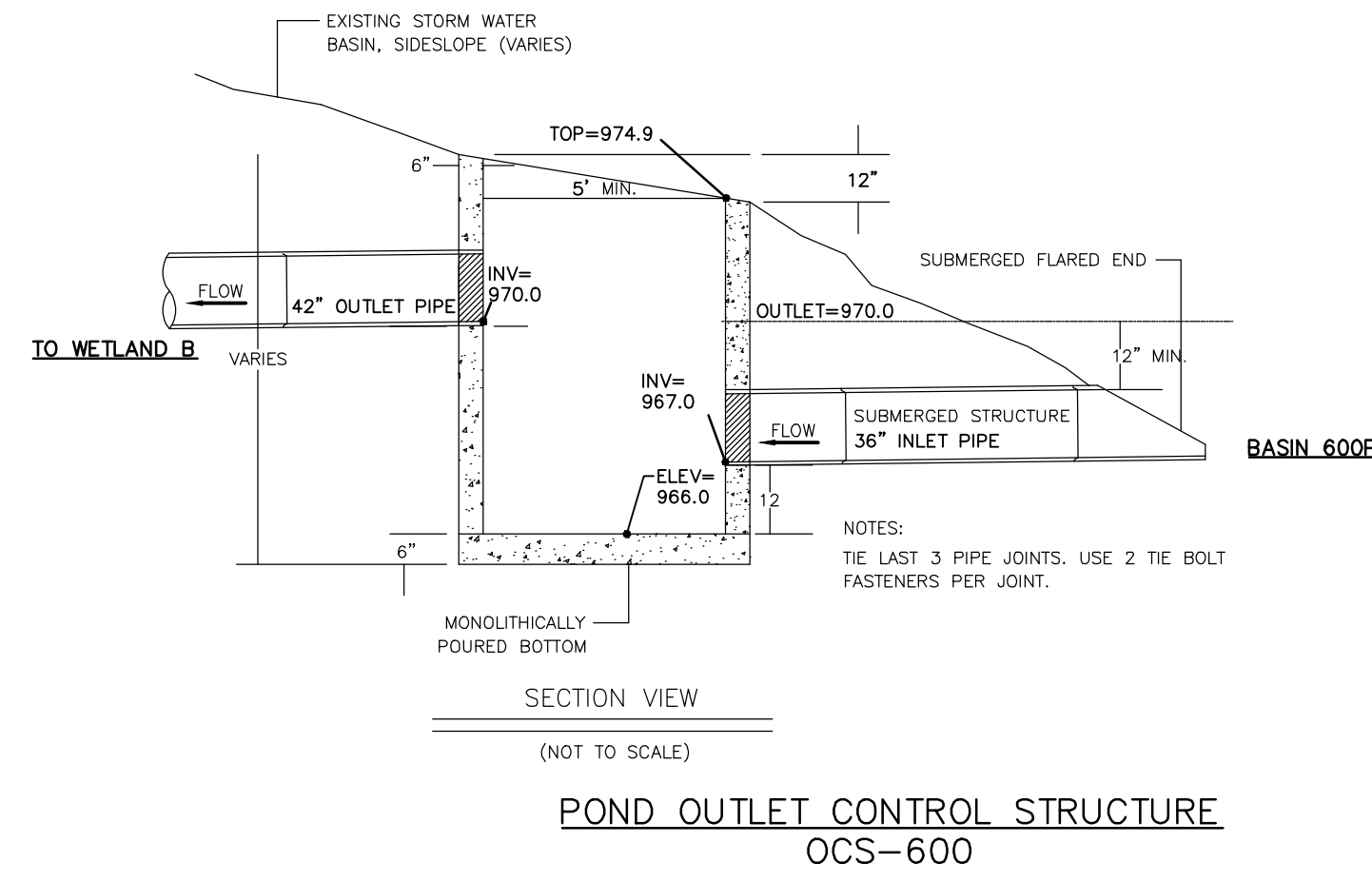
Date: 9-11-2020
 Designed: PJC/BNM
 Drawn: MPC

GRADING DETAILS

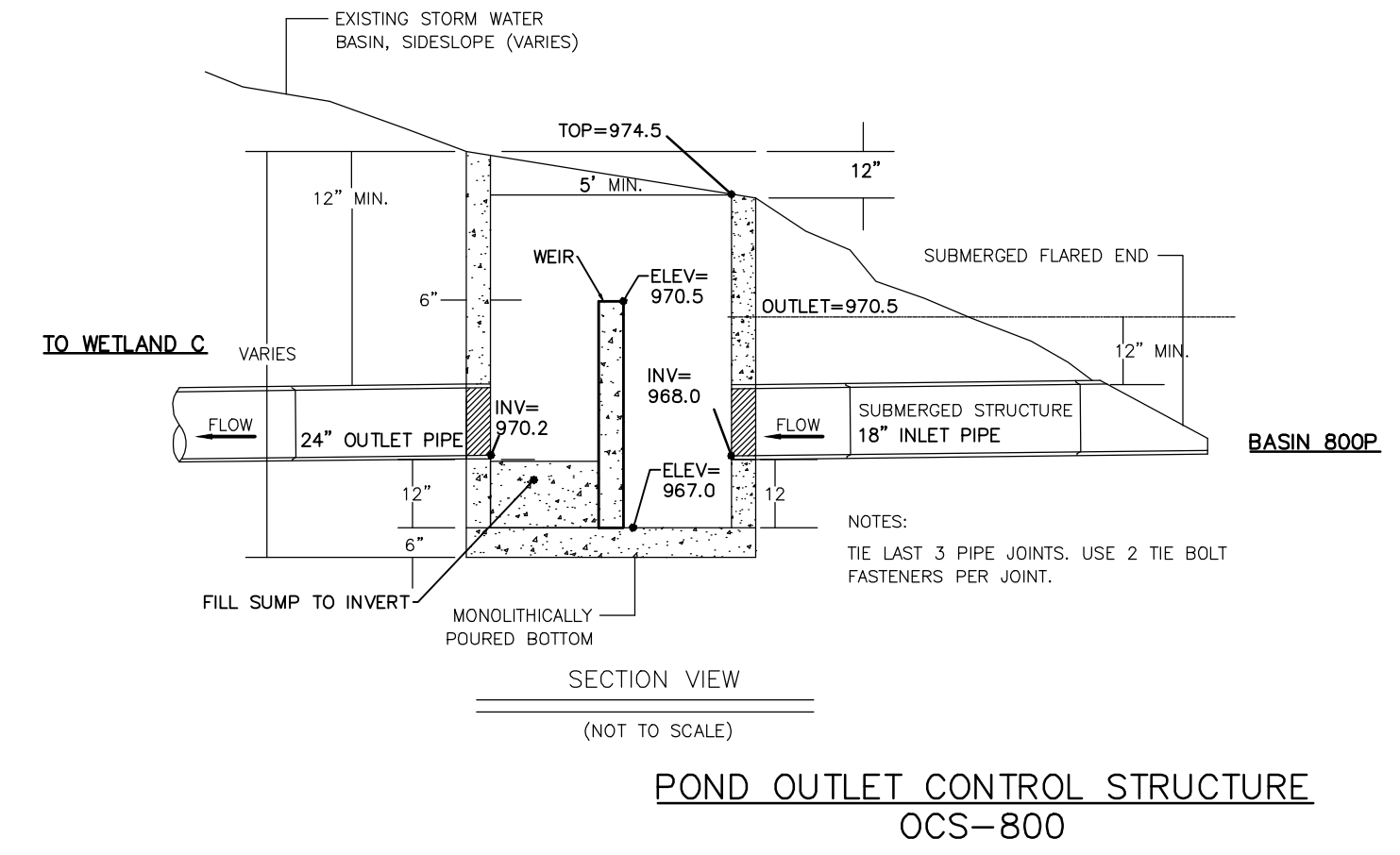
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA

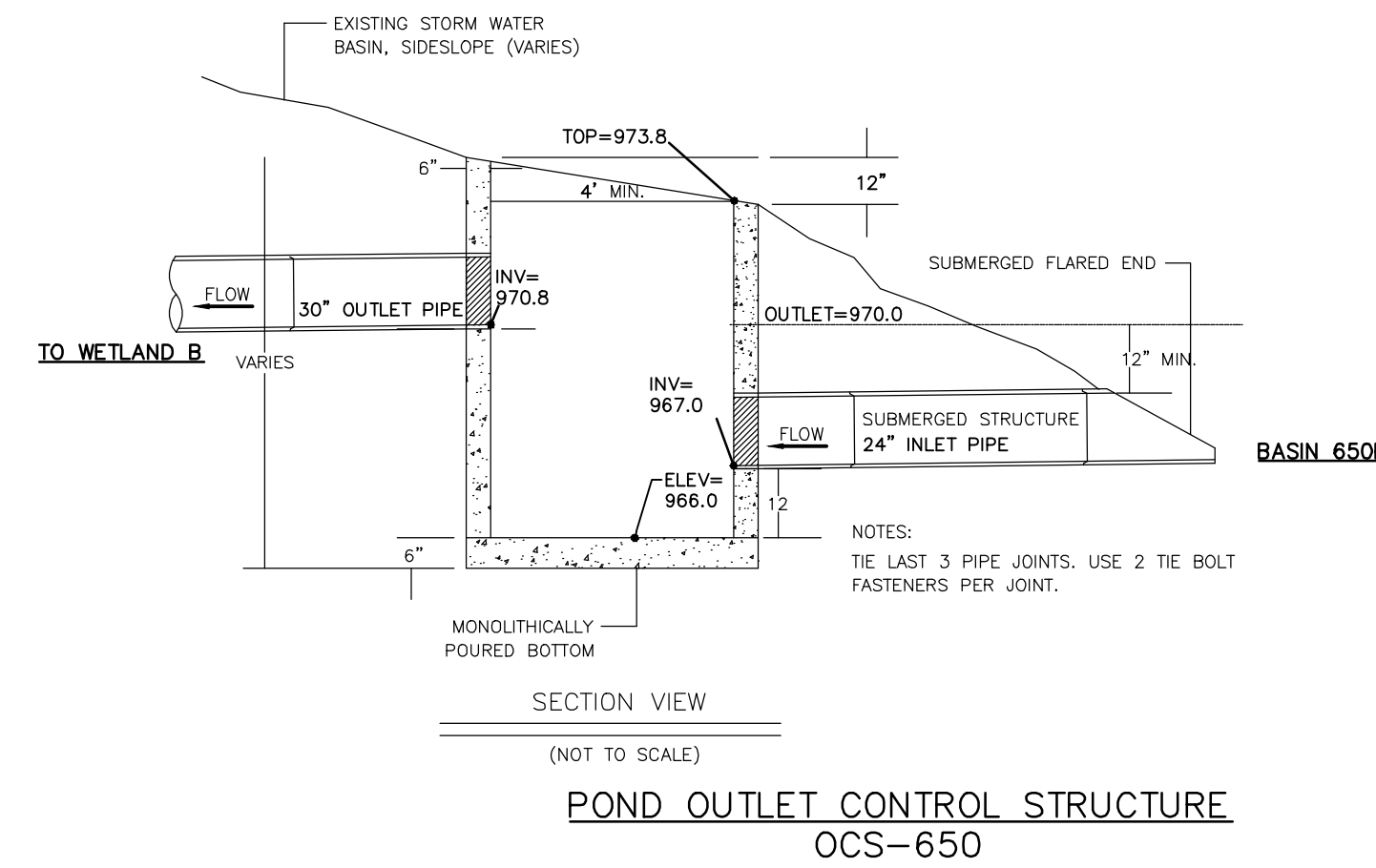
14.06-29-2022 City Comments 16.08-24-2022 City Comments 18.09-29-2022 5th Addition 20.03-07-2023 Wetland Buffer Update 22.11-17-2023 6th Addition
 15.08-11-2022 City Comments 17.09-01-2022 City Comments 19.02-15-2023 City Comments 21.03-23-2023 NW Drwy Temp. Easement 23.02-05-2024 City Comments



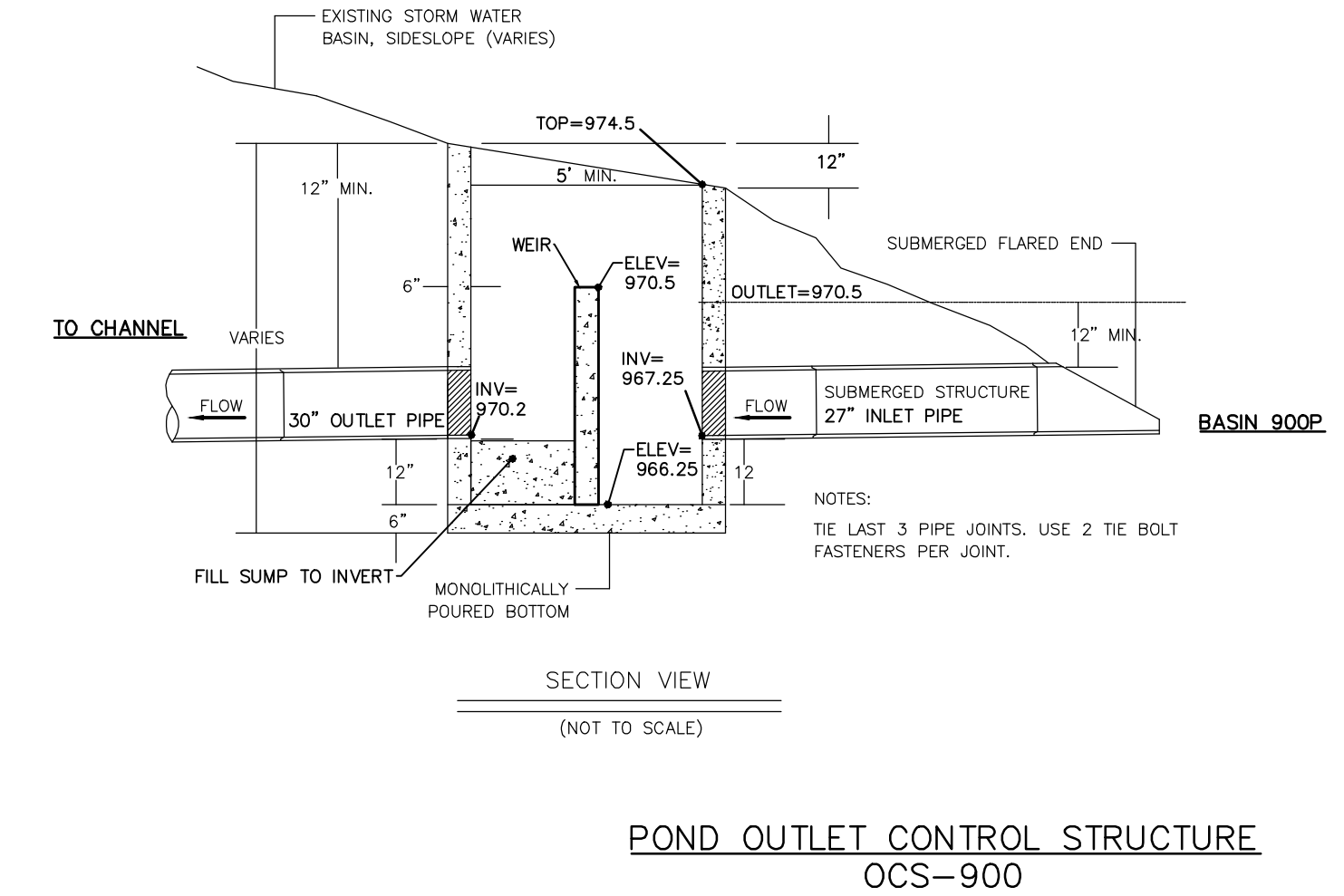
NOTE:
SEE CITY DETAILS ST0-16, ST0-17,
AND ST0-18 FOR STRUCTURE
CONSTRUCTION REQUIREMENTS.



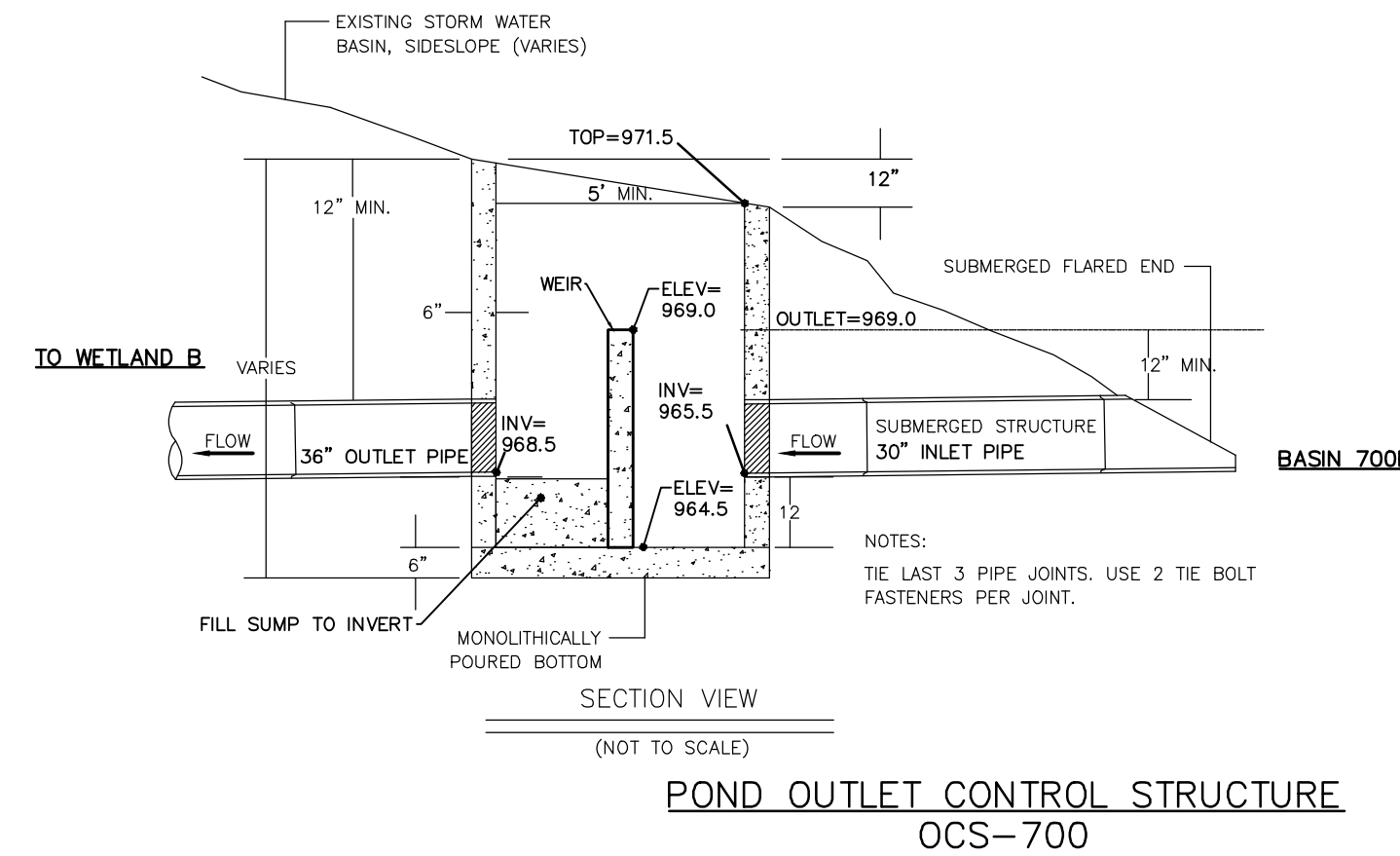
NOTE:
SEE CITY DETAILS ST0-16, ST0-17,
AND ST0-18 FOR STRUCTURE
CONSTRUCTION REQUIREMENTS.



NOTE:
SEE CITY DETAILS ST0-16, ST0-17,
AND ST0-18 FOR STRUCTURE
CONSTRUCTION REQUIREMENTS.

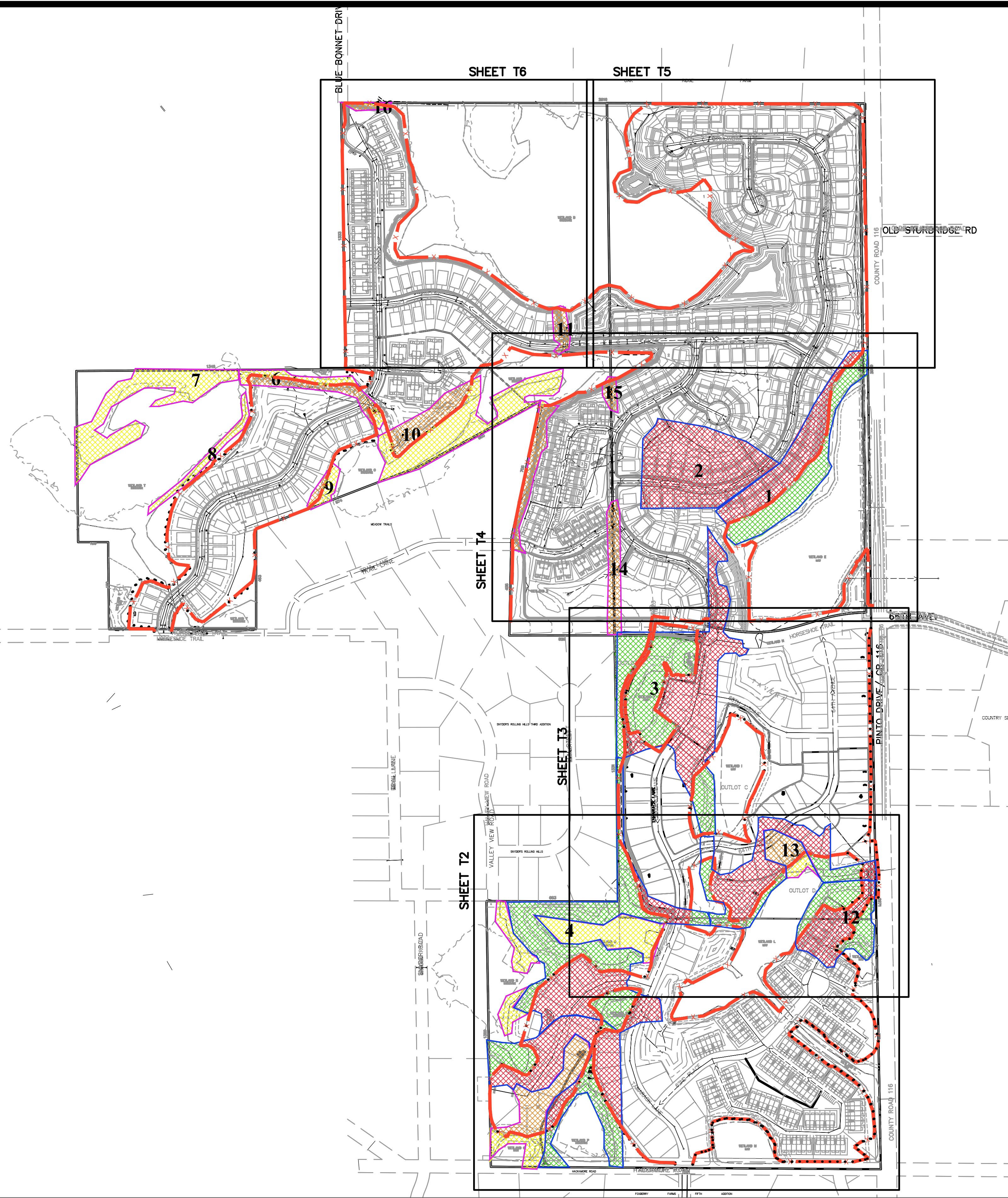


NOTE:
SEE CITY DETAILS ST0-16, ST0-17,
AND ST0-18 FOR STRUCTURE
CONSTRUCTION REQUIREMENTS.





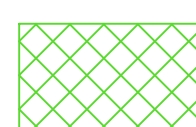




WEIR WALL SHALL BE
INSTALLED WATERTIGHT
W/STRUCTURE.

NOTE:
SEE CITY DETAILS ST0-16, ST0-17,
AND ST0-18 FOR STRUCTURE
CONSTRUCTION REQUIREMENTS.

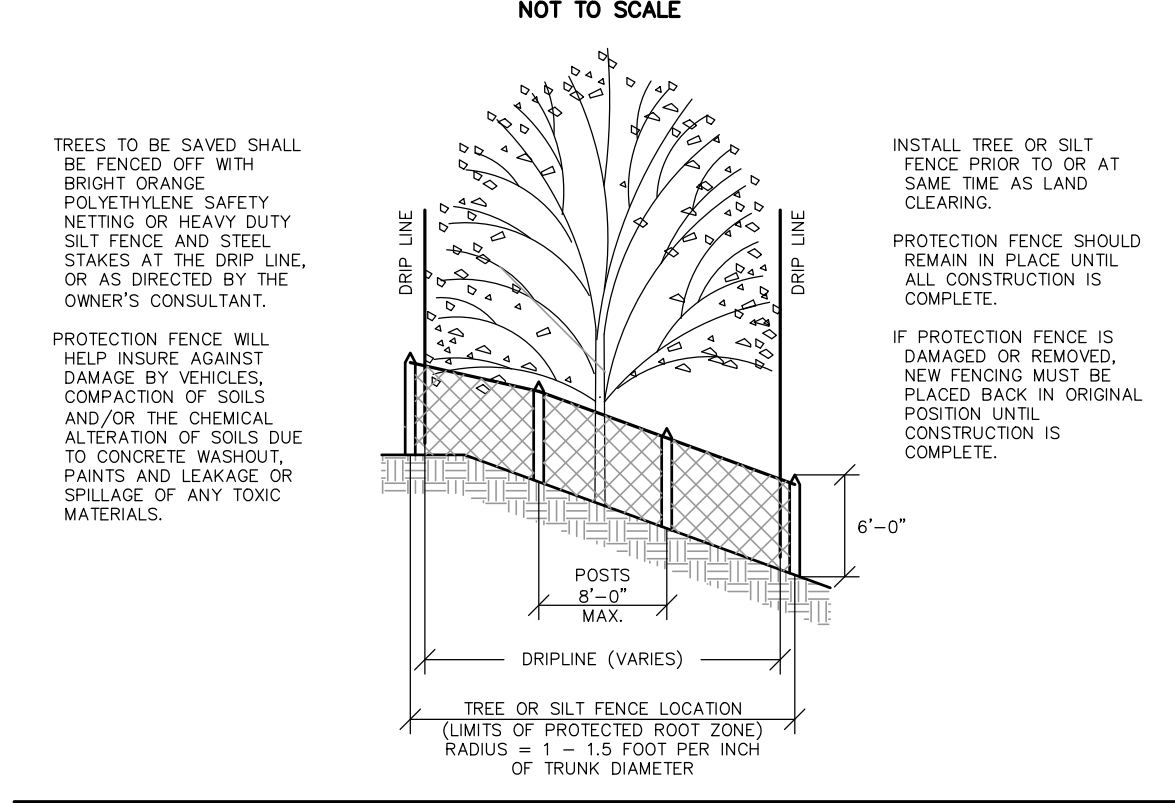


TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

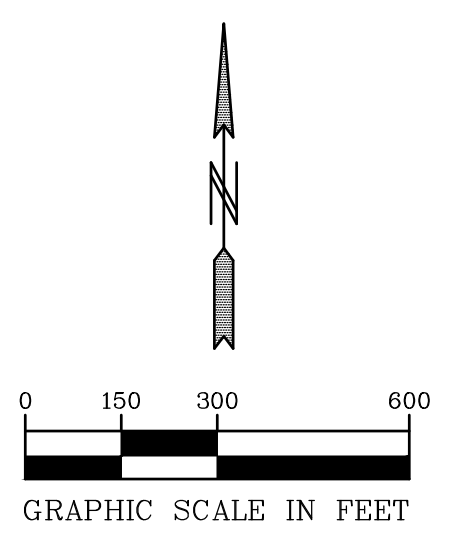
-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

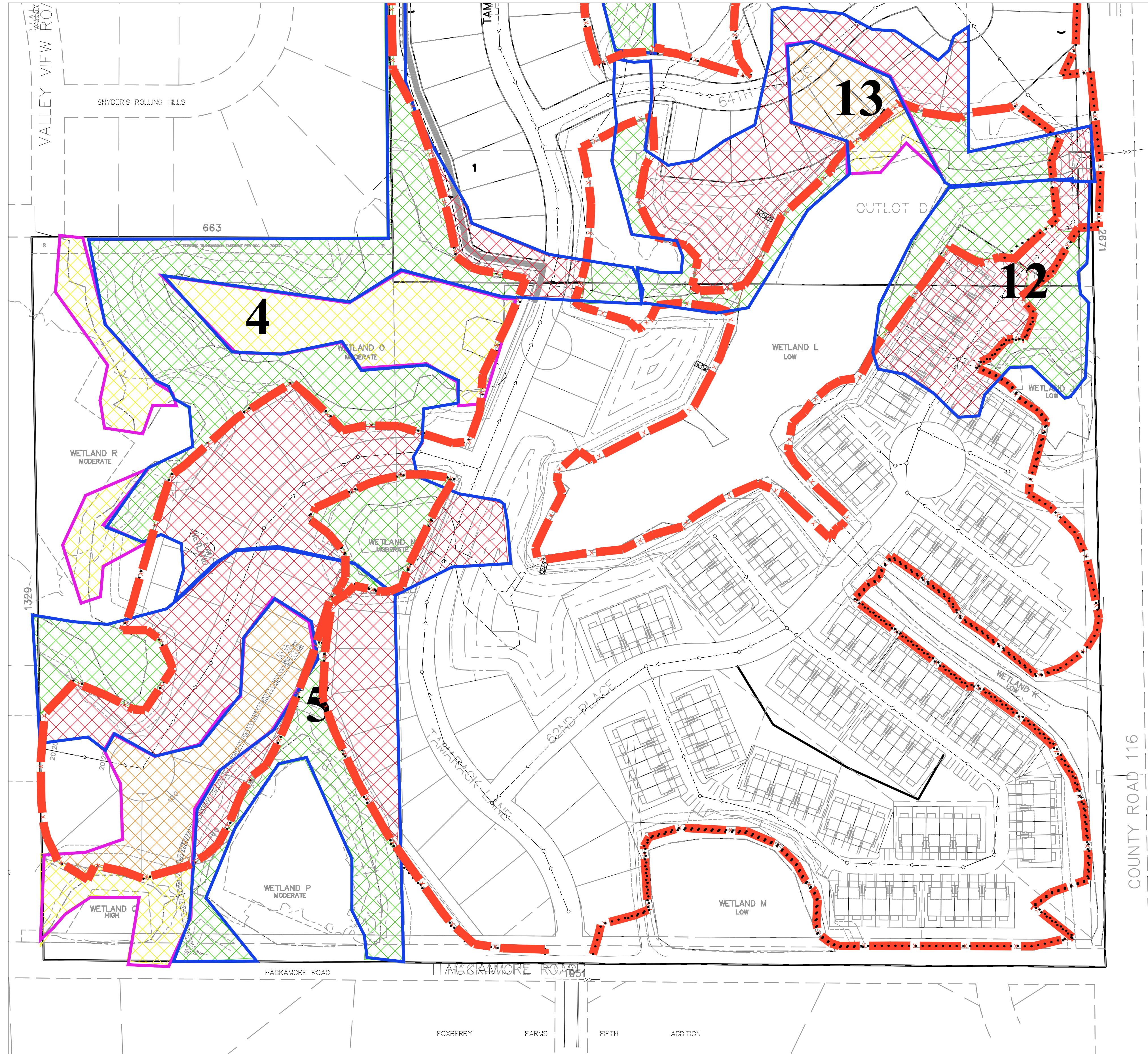
TREE PROTECTION DETAIL



TREE PRESERVATION NOTES

- BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
- NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.
- NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.
- WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.
- PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.
- IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY; (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).



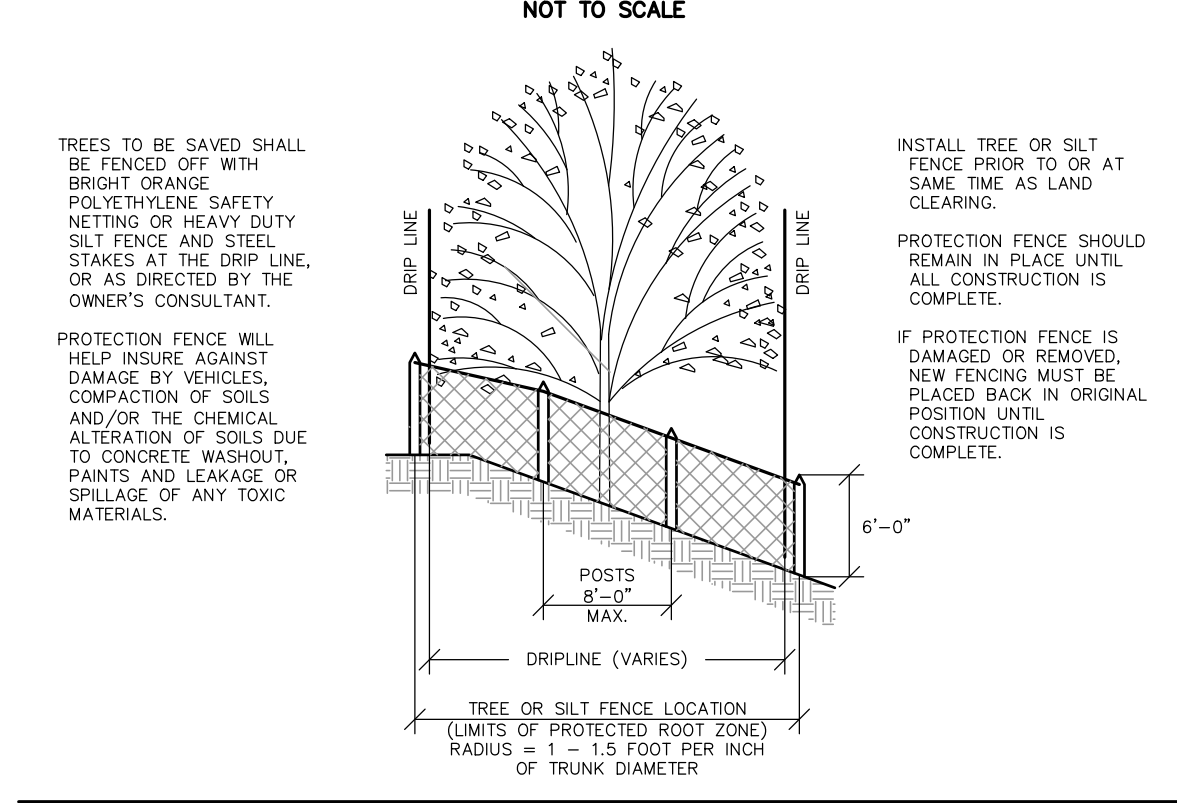


TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

- ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
 - REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
 - SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
 - ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
 - REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
 - SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
 - EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

TREE PROTECTION DETAIL



TREE PRESERVATION NOTES

BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.

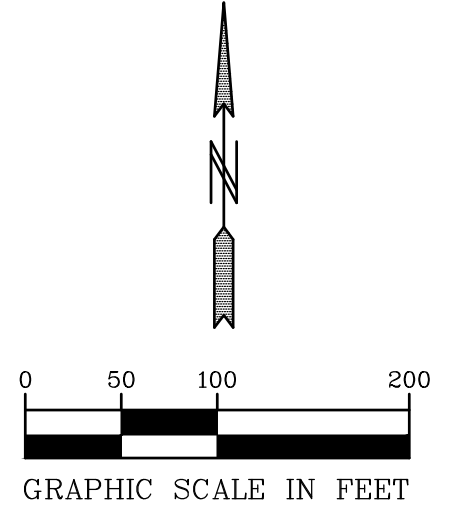
NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.

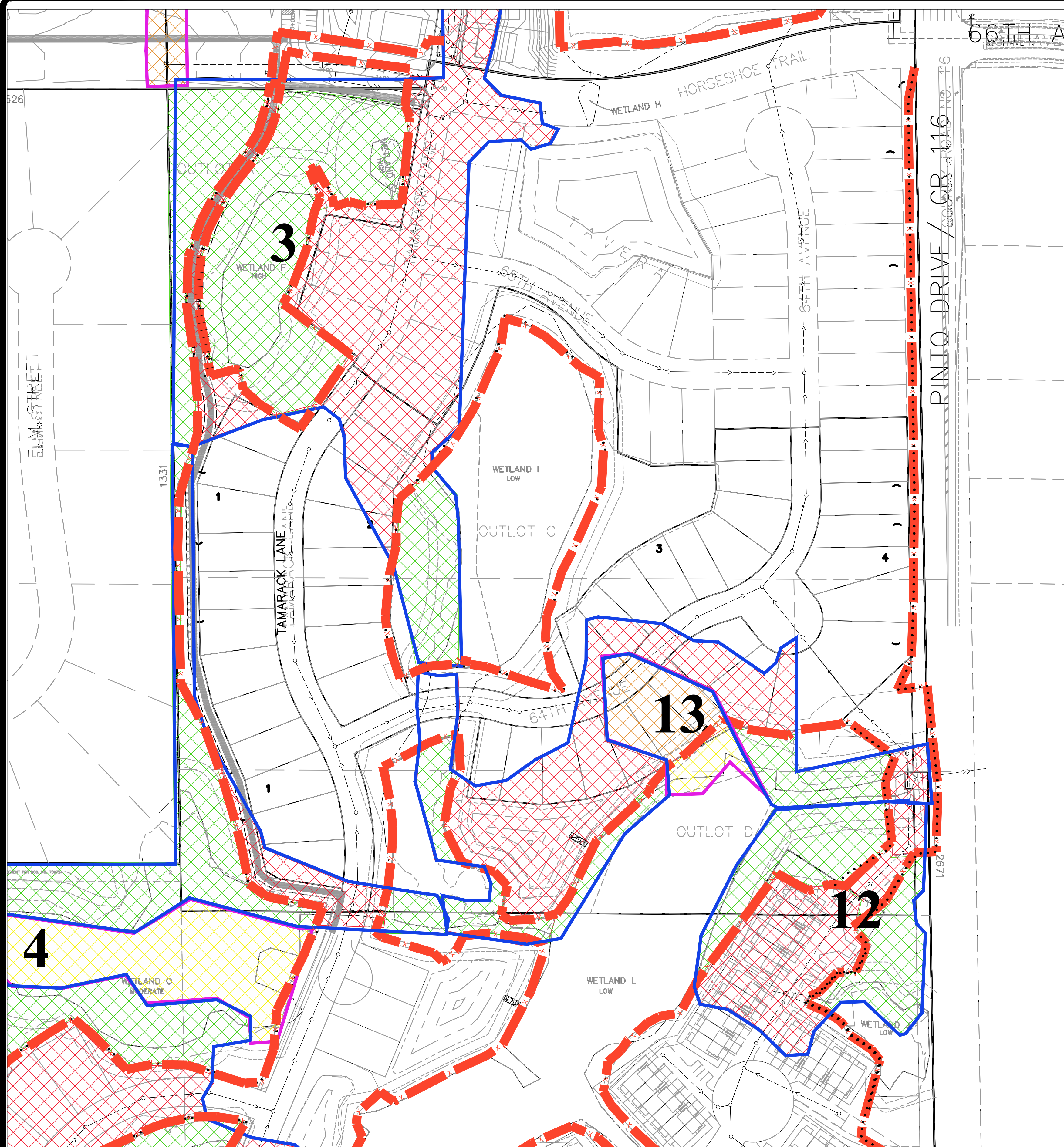
NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.

WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.


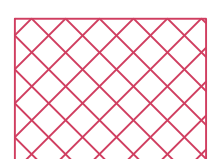
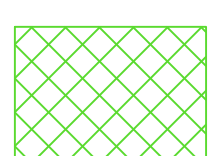

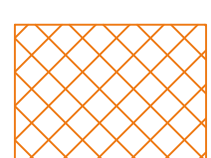

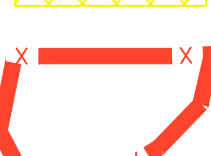

PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.

IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY, (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).

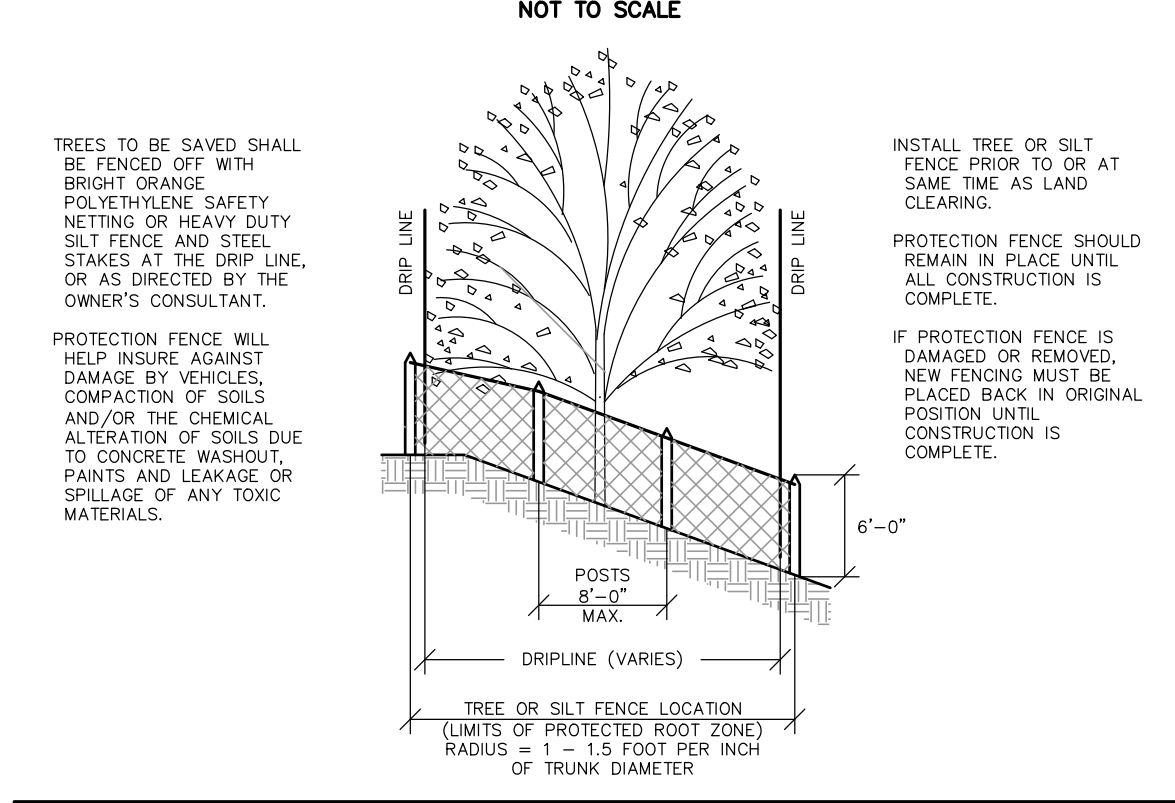




TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)
 SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

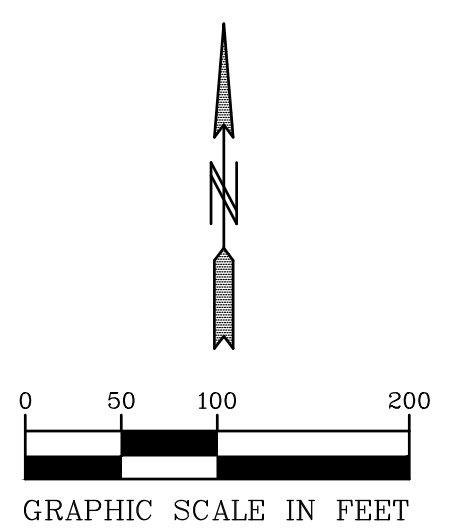
-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
-  WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

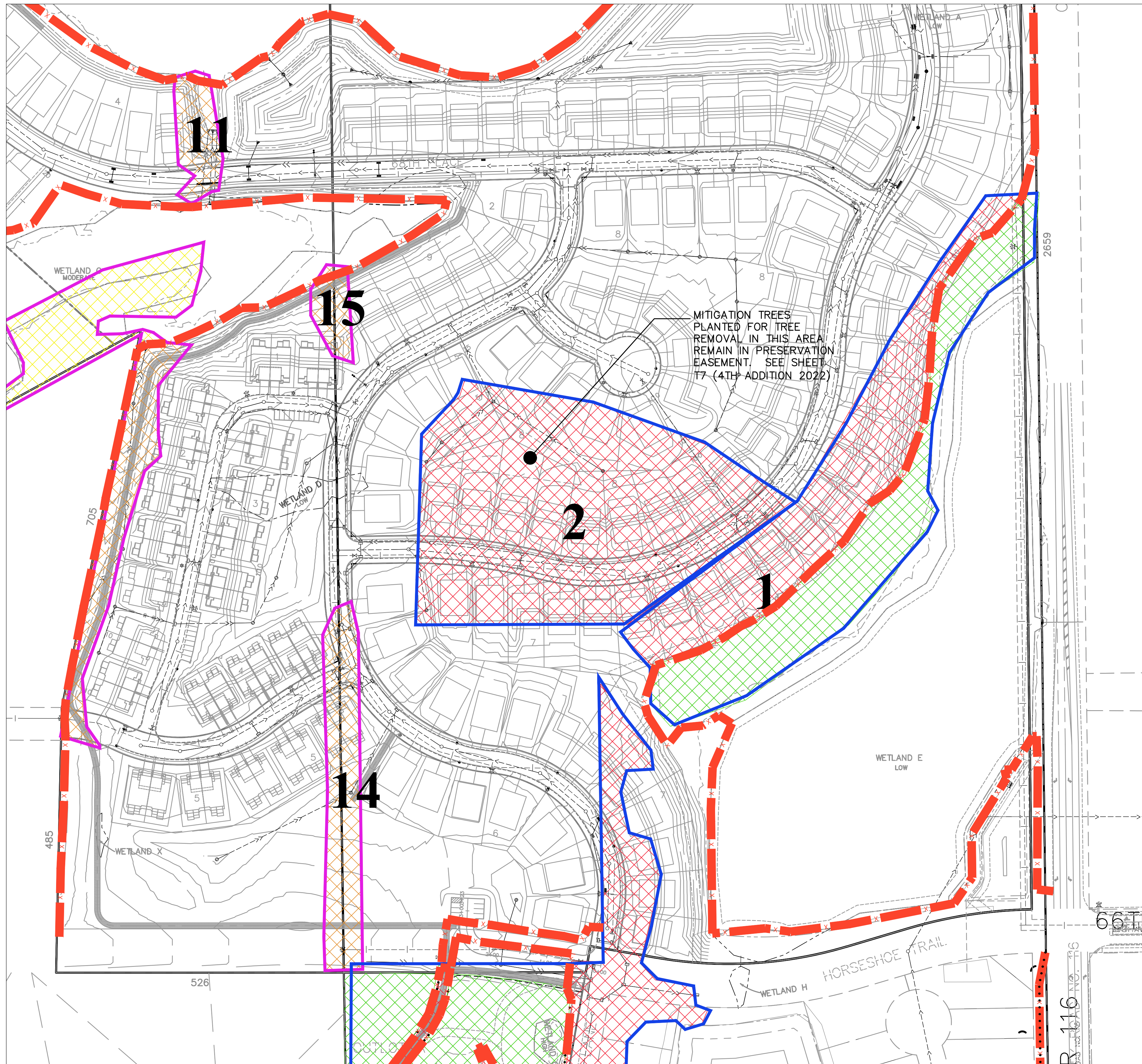
TREE PROTECTION DETAIL



TREE PRESERVATION NOTES


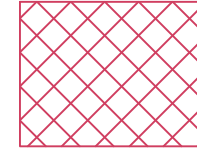
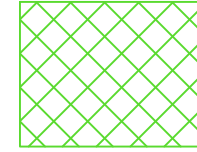


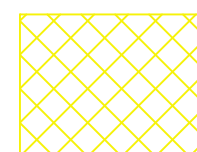
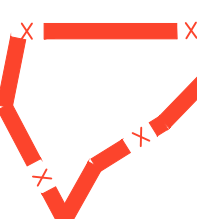
- BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
- NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.
- NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.
- WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.
- PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.
- IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY; (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).





TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

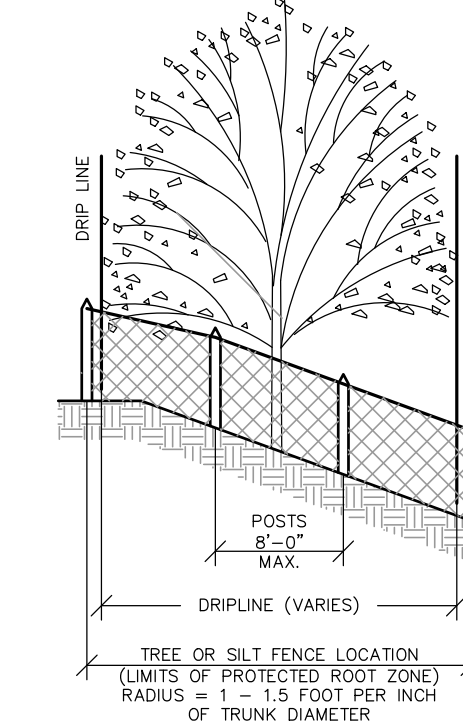
-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

TREE PROTECTION DETAIL

NOT TO SCALE

TREES TO BE SAVED SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING OR HEAVY DUTY SILT FENCE AND STEEL STAKES AT THE DRIP LINE, OR AS DIRECTED BY THE OWNER'S CONSULTANT.

PROTECTION FENCE WILL HELP INSURE AGAINST DAMAGE BY VEHICLES, COMPACTION OF SOILS AND/OR THE CHEMICAL ALTERATION OF SOILS DUE TO CONCRETE WASHOUT, PAINTS AND LEAKAGE OR SPILLAGE OF ANY TOXIC MATERIALS.



INSTALL TREE OR SILT FENCE PRIOR TO OR AT SAME TIME AS LAND CLEARING.

PROTECTION FENCE SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

IF PROTECTION FENCE IS DAMAGED OR REMOVED, NEW FENCING MUST BE PLACED BACK IN ORIGINAL POSITION UNTIL CONSTRUCTION IS COMPLETE.

TREE PRESERVATION NOTES

BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.

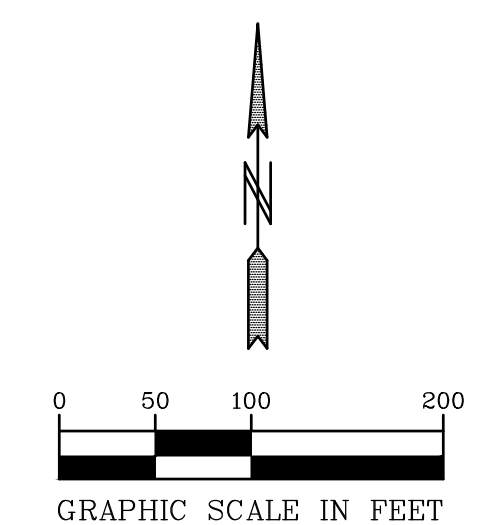
NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.

NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.

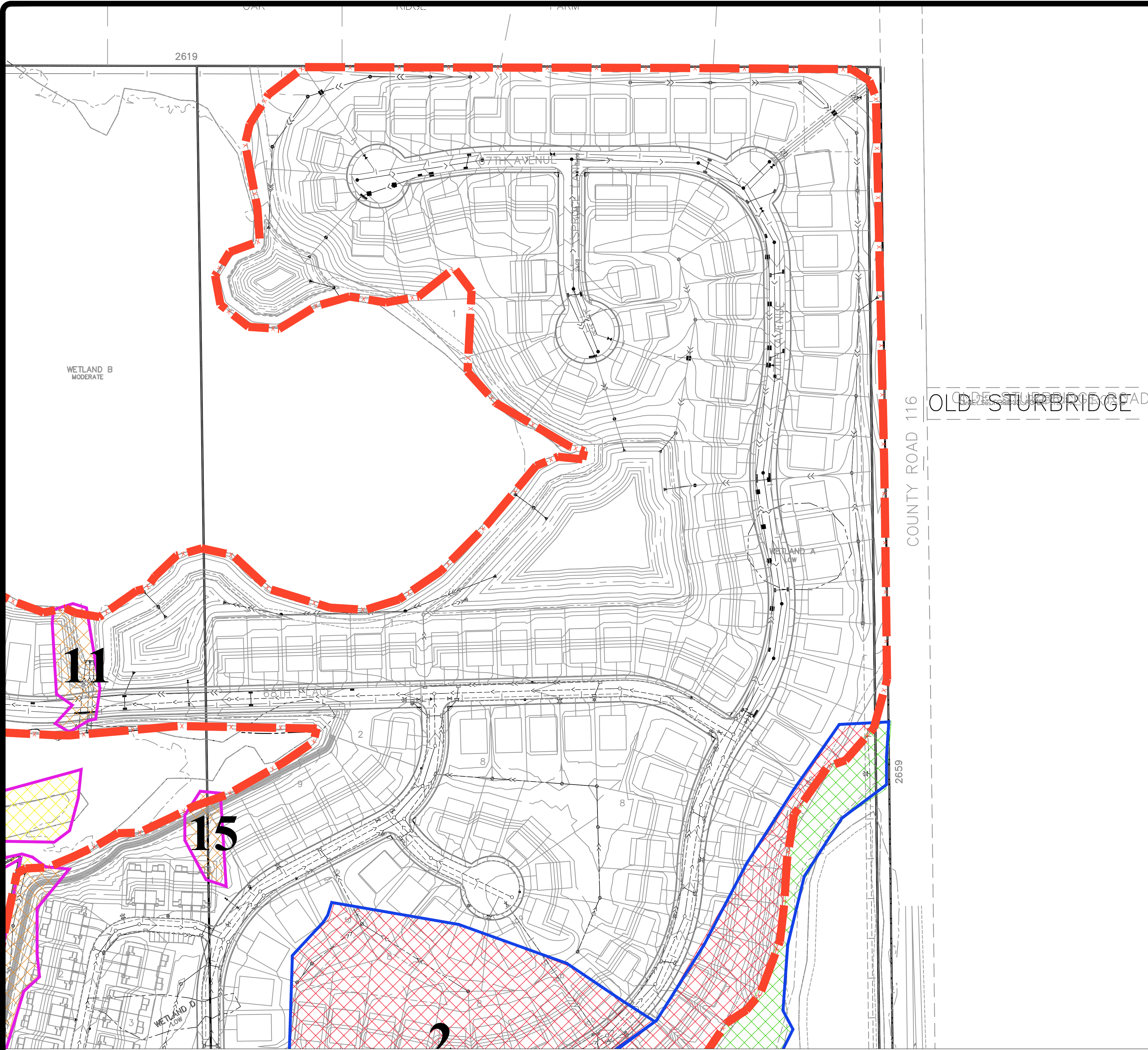
WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.

PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.

IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY, (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).


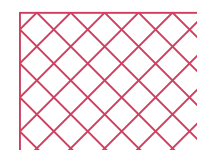
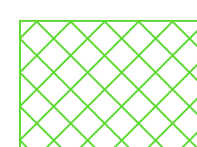


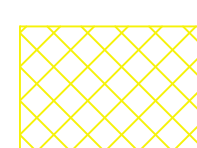



MITIGATION TREES PLANTED FOR TREE REMOVAL IN THIS AREA REMAIN IN PRESERVATION EASEMENT. SEE SHEET T7 (4TH ADDITION 2022)



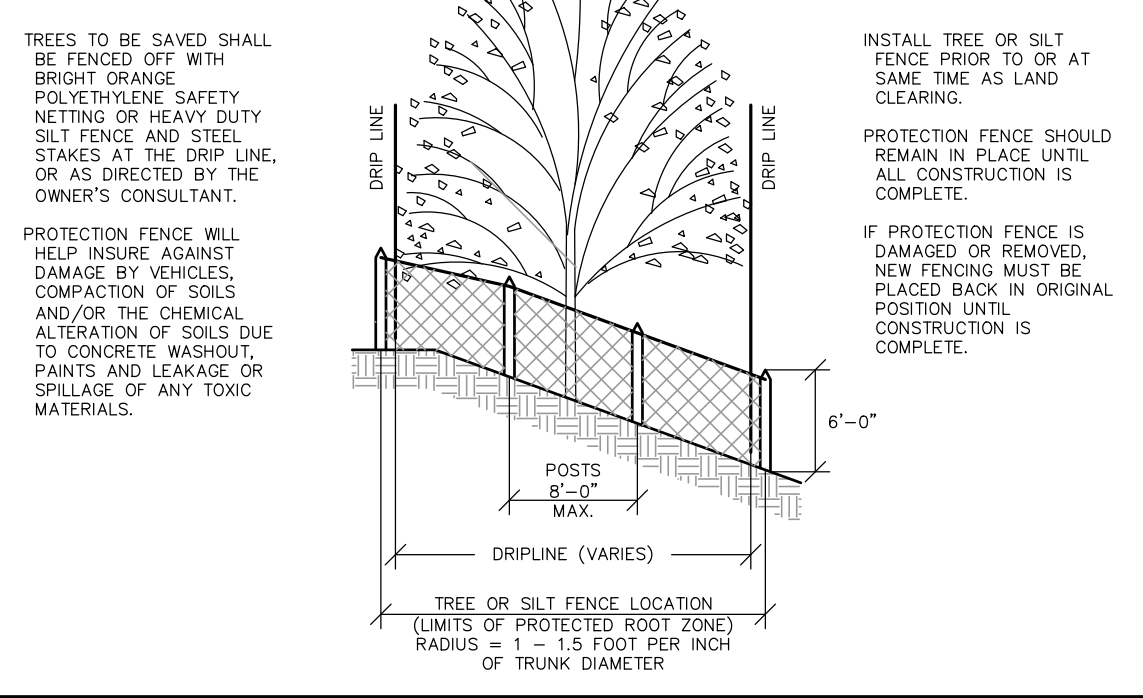
TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

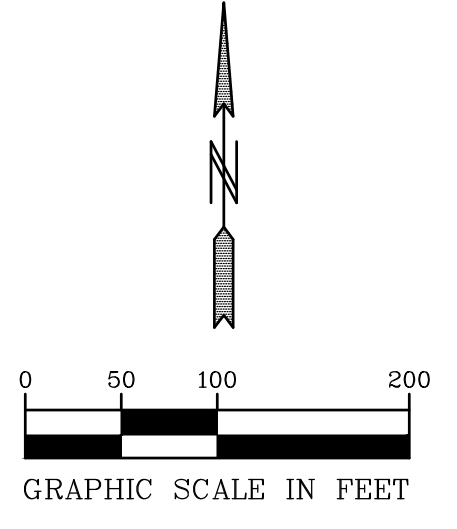
TREE PROTECTION DETAIL

NOT TO SCALE



TREE PRESERVATION NOTES

- BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
- NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.
- NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.
- WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.
- PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.
- IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY, (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).



PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

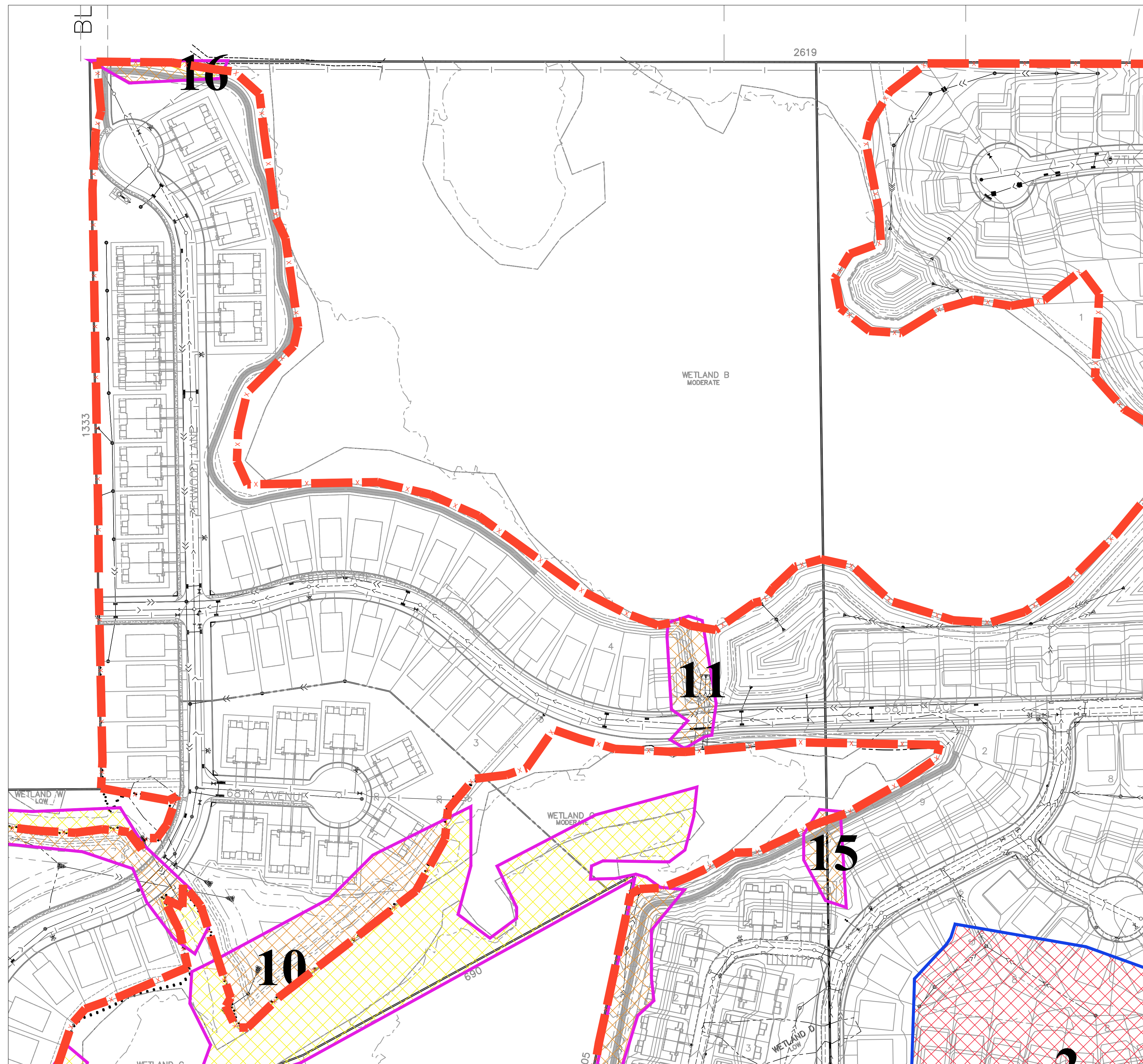
Name: *Jennifer L. Thompson*
 Jennifer L. Thompson
 Reg. No. 44765 Date 2-5-2024

2-5-2024 6TH ADDITION, UPDATED NOTE IN 4TH ADDITION AS PER CITY COMMENT	Date	12-29-2020
11-21-2023 5TH ADDITION, NO CHANGES TO TREE PRESERVATION	Designed	JLT
9-23-2023 3TH ADDITION, NO CHANGES TO TREE PRESERVATION	Drawn	JLT
6-14-2021 CITY COMMENTS		
6-14-2021 CITY COMMENTS		
6-14-2021 CITY COMMENTS		
10-8-2021 UPDATED 3RD ADDITION, NO CHANGES TO TREE PRESERVATION		
2-23-2021 UPDATED 3RD ADDITION, NO CHANGES TO TREE PRESERVATION		
4-19-2021 UPDATED 4TH ADDITION, MINIMAL CHANGES TO TREE PRESERVATION		
6-25-2022 4TH ADDITION CITY COMMENTS, NO CHANGES TO TREE PRESERVATION		

TREE PRESERVATION PLAN


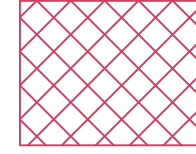
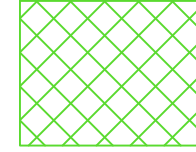

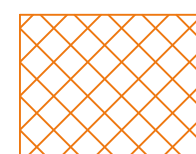
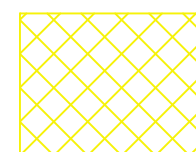
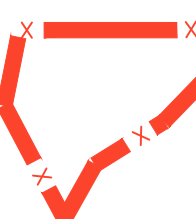
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA



TOTAL TREE AREAS OUTLINED IN BLUE AND PINK: 57.5 ACRES
 TOTAL SAVED TREES HATCHED IN YELLOW AND GREEN: 29.4 ACRES (51.0%)

SEE "WOODLAND ASSESSMENT COUNTY ROAD 116 PROPERTIES" DOCUMENT COMPLETED OCTOBER 28, 2019 FOR A FORESTER'S INVENTORY AND ANALYSIS OF EXISTING WOODLANDS ON SITE.

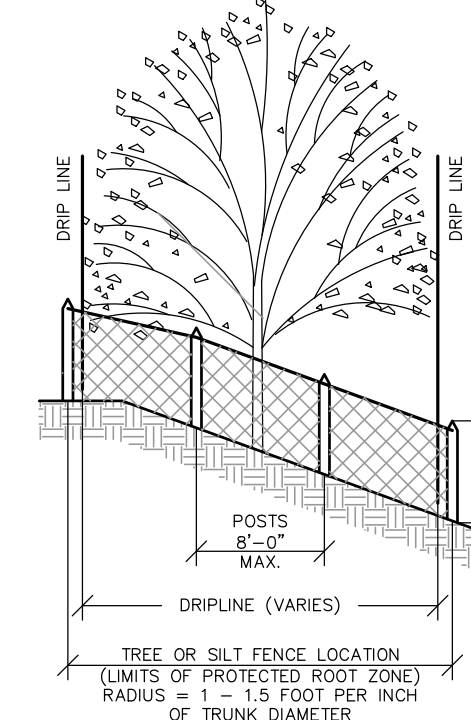
-  ECOLOGICALLY SIGNIFICANT AREAS (2040 COMPREHENSIVE PLAN)
39.5 ACRES
-  REMOVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
21.9 ACRES (55%)
-  SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)
-  ADDITIONAL WOODLAND AREAS (NOT NOTED IN COMP PLAN)
18 ACRES
-  REMOVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
6.2 ACRES (34%)
-  SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)
-  EROSION CONTROL/TREE PRESERVATION FENCING (36,902 LF)
- 2** WOODLAND AREA NUMBER AS PER WOODLAND ASSESSMENT DOCUMENT

TREE PROTECTION DETAIL

NOT TO SCALE

TREES TO BE SAVED SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING OR HEAVY DUTY SILT FENCE AND STEEL STAKES AT THE DRIP LINE, OR AS DIRECTED BY THE OWNER'S CONSULTANT.

PROTECTION FENCE WILL HELP INSURE AGAINST DAMAGE BY VEHICLES, COMPACTION OF SOILS AND/OR THE CHEMICAL ALTERATION OF SOILS DUE TO CONCRETE WASHOUT, PAINTS AND LEAKAGE OR SPILLAGE OF ANY TOXIC MATERIALS.



INSTALL TREE OR SILT FENCE PRIOR TO OR AT SAME TIME AS LAND CLEARING.

PROTECTION FENCE SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

IF PROTECTION FENCE IS DAMAGED OR REMOVED, NEW FENCING MUST BE PLACED BACK IN ORIGINAL POSITION UNTIL CONSTRUCTION IS COMPLETE.

TREE OR SILT FENCE LOCATION (LIMITS OF PROTECTED ROOT ZONE) RADIUS = 1 - 1.5 FOOT PER INCH OF TRUNK DIAMETER

TREE PRESERVATION NOTES

BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.

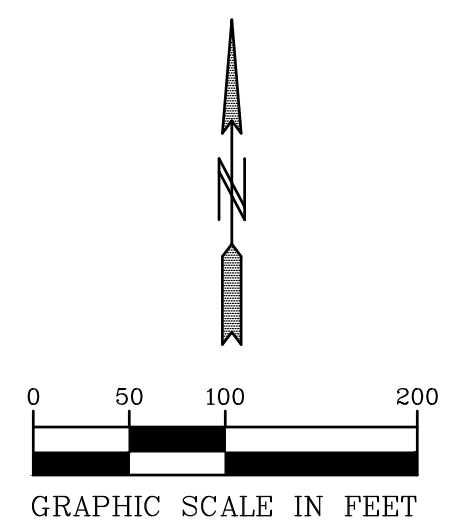
NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.

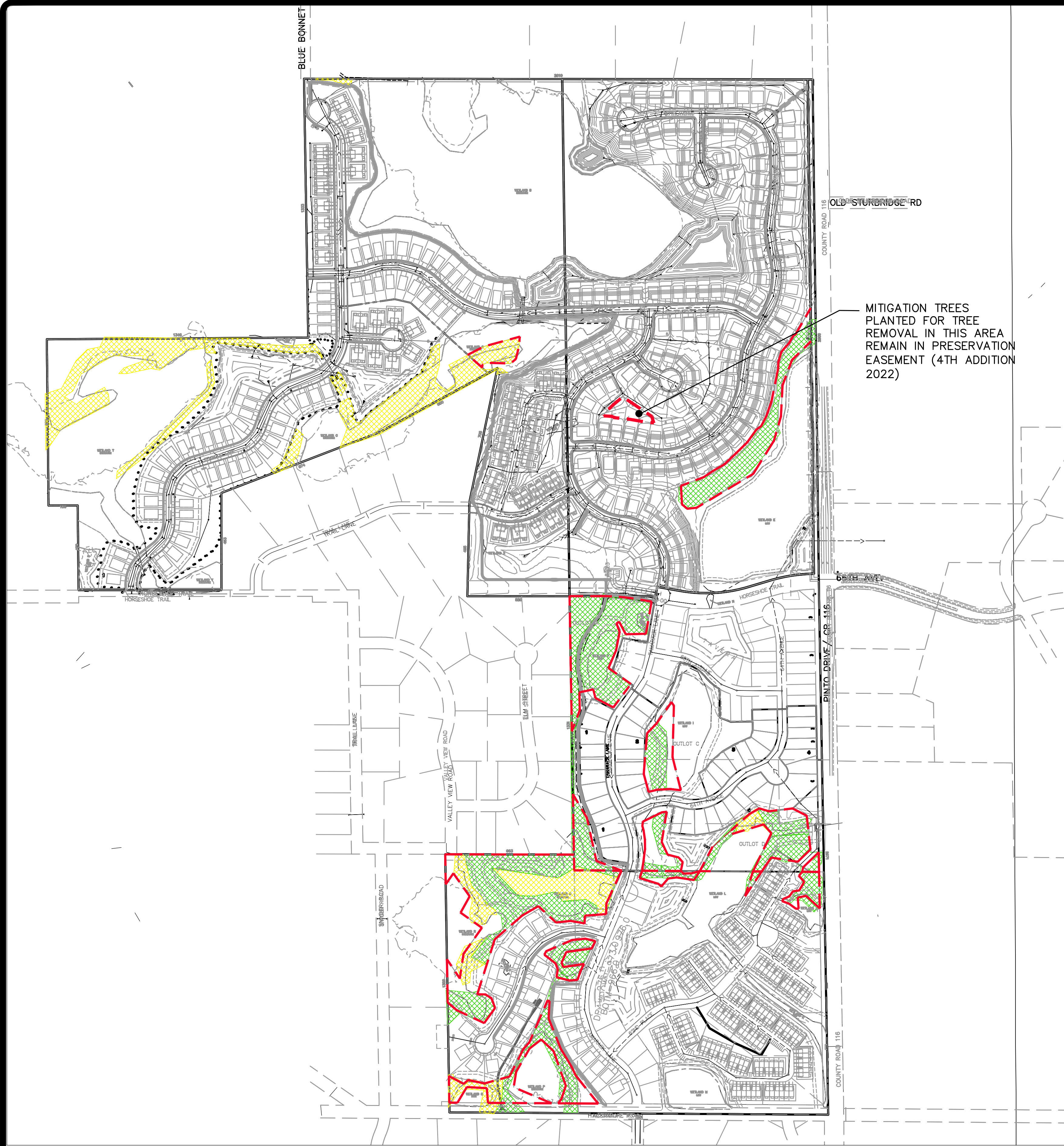
NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IS ALLOWED IN THE TREE PROTECTION AREA.

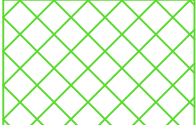
WORK PERFORMED WITHIN THE TREE PROTECTION AREA SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST.

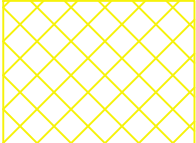
PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 15 TO PREVENT THE SPREAD OF OAK WILT DISEASE.


IF WOUNDING OF OAK TREES OCCUR ANYTIME BETWEEN APRIL TO AUGUST, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY, (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES).

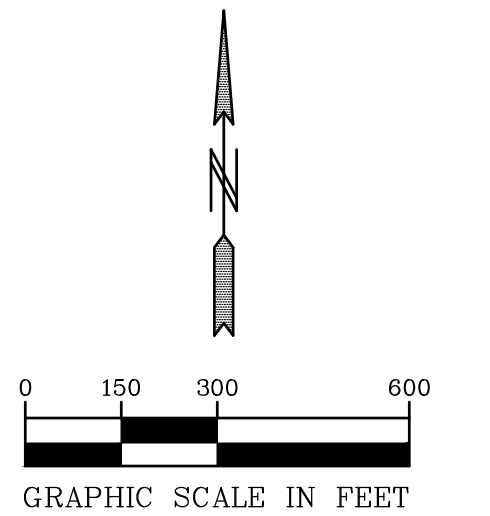


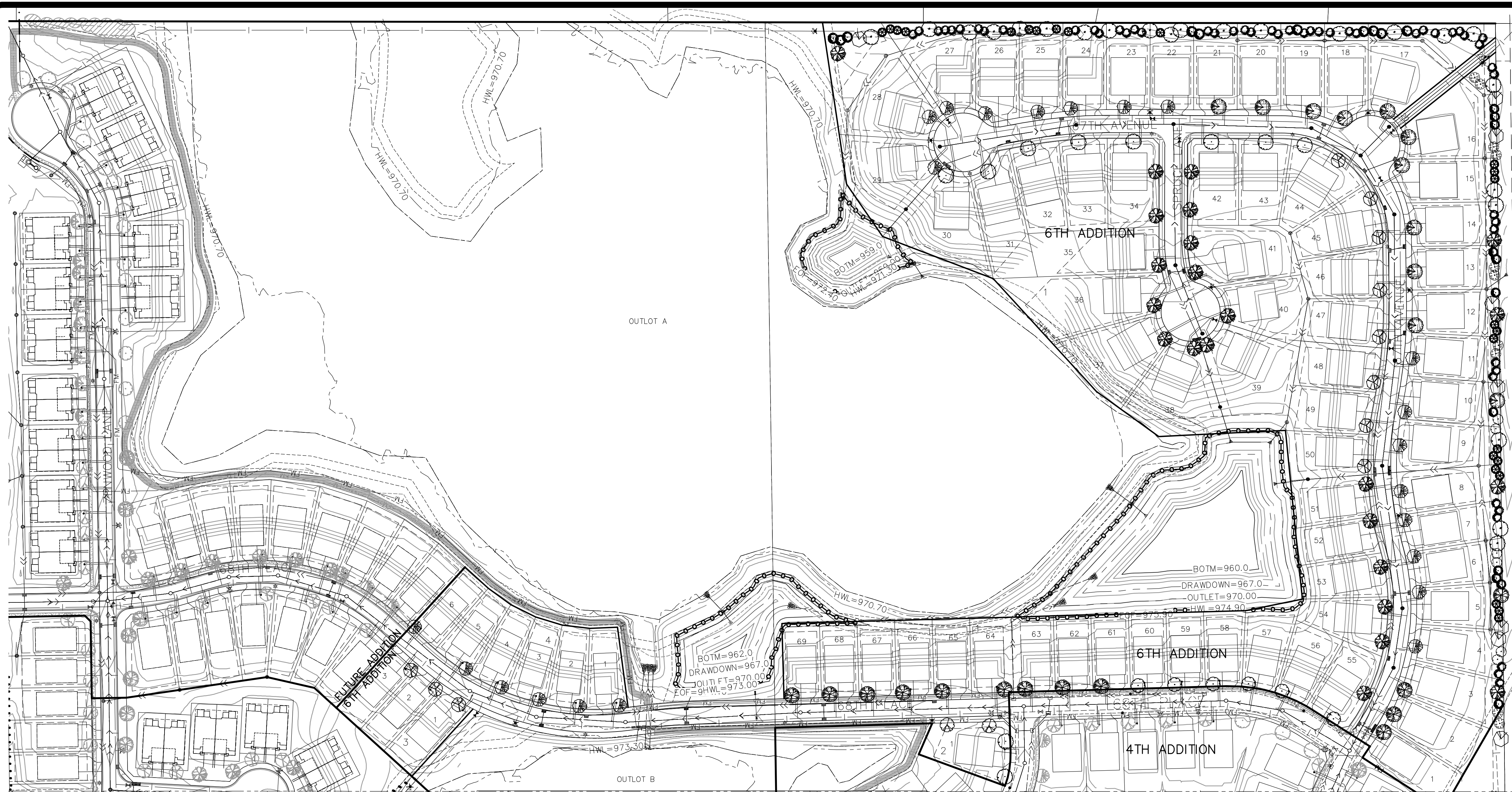


 SAVED ECOLOGICALLY SIGNIFICANT AREAS (POST DEVELOPMENT AS PROPOSED)
17.6 ACRES (45%)

 SAVED ADDITIONAL WOODLAND AREAS (POST DEVELOPMENT AS PROPOSED)
11.8 ACRES (66%)

 TREE PRESERVATION EASEMENT
TREE PRESERVATION AREAS WILL BE PROTECTED BY A PERMANENT EASEMENT. EACH PHASE WILL BE WRITTEN WITH EACH FINAL PLAT.
CONSERVATION EASEMENT AREAS WILL BE MANAGED BY THE HOA.





NOTES:

- PLANTS TO BE INSTALLED AS PER THE AMERICAN ASSOCIATION OF NURSEYMAN (AAN) STANDARD PLANTING PRACTICES.
- PROVIDE & INSTALL PLANT MATERIALS THAT ARE THE SIZE, TYPE, AND SPECIES INDICATED IN PLANS.
- BEFORE PLANTING, REMOVE DEAD OR DAMAGED BRANCHES.
- DIG HOLE 12" LARGER THAN ROOT BALL ON ALL SIDES.
- SCARIFY BOTTOM OF HOLE.
- LOOSEN BURLAP COVERING ON ROOT BALL. REMOVE TOP OF BURLAP ON BALLED & BURLAPPED MATERIALS.
- IF BARE ROOTED, SET BARE ROOT CROWN ON MOUND & SPREAD ROOTS OVER & DOWN SIDES OF MOUND.
- PLANT TREE SO TOP OF ROOT BALL IS FLUSH WITH TOP OF SOIL.
- FILL HOLE FULL OF SOIL & TAMP.
- FILL REMAINING SPACE WITH WATER AND WAIT FOR IT TO SETTLE.
- FINISH FILLING HOLE WITH SOIL AND MAKE A SOIL DIKE AROUND ROOT BALL.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO DIGGING AND PLANT INSTALLATION.

CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
DATE	JAN 2018	SHEET NO.	DECIDUOUS TREE PLANTING
REV	NO	APP	REV
2294-00	LAN-1		

NOTES:

- PLANTS TO BE INSTALLED AS PER THE AMERICAN ASSOCIATION OF NURSEYMAN (AAN) STANDARD PLANTING PRACTICES.
- PROVIDE & INSTALL PLANT MATERIALS THAT ARE THE SIZE, TYPE, AND SPECIES INDICATED IN PLANS.
- BEFORE PLANTING, REMOVE DEAD OR DAMAGED BRANCHES.
- DIG HOLE TWO TIMES ROOT BALL WIDTH AND IF DEEPER THAN BALL HEIGHT.
- SCARIFY BOTTOM OF HOLE.
- LOOSEN BURLAP COVERING ON ROOT BALL. REMOVE TOP OF BURLAP ON BALLED & BURLAPPED MATERIALS.
- IF BARE ROOTED, SET BARE ROOT CROWN ON MOUND & SPREAD ROOTS OVER & DOWN SIDES OF MOUND.
- PLANT TREE SO TOP OF ROOT BALL IS FLUSH WITH TOP OF SOIL.
- FILL HOLE FULL OF SOIL & TAMP.
- FILL REMAINING SPACE WITH WATER AND WAIT FOR IT TO SETTLE.
- FINISH FILLING HOLE WITH SOIL AND MAKE A SOIL DIKE AROUND ROOT BALL.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO DIGGING AND PLANT INSTALLATION.

CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
DATE	JAN 2018	SHEET NO.	CONIFEROUS TREE PLANTING
REV	NO	APP	REV
2294-00	LAN-2		

PLANTING SCHEDULE (6th ADDITION)

KEY	COMMON NAME / SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
	SIENNA GLEN MAPLE/ACER FREEMANII 'SIENNA GLEN'	2.5" B&B	10
	AUTUMN BLAZE MAPLE/ACER X FREEMANII	2.5" B&B	11
	HACKBERRY/CELTIS OCCIDENTALIS	2.5" B&B	6
	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	2.5" B&B	2
	RED OAK/QUERCUS RUBRA	2.5" B&B	23
	THORNLESS HONEYLOCUST/GLEDITSIA TRIACANTHOS VAR INEMIS	2.5" B&B	11
	RIVER BIRCH/BETULA NIGRA 'HERITAGE' (CLUMP)	10-12' B&B	23
	NORTHWOOD MAPLE/ACER RUBRUM 'NORTHWOOD'	2.5" B&B	13
	KENTUCKY COFFEETREE/GYMNOCALADUS DIOICUS	2.5" B&B	22
	SWAMP WHITE OAK/QUERCUS BICOLOR	2.5" B&B	8

EVERGREEN TREES

	WHITE PINE/PINUS STROBUS	6" B&B	21
	NORWAY SPRUCE/PICEA ABIES	6" B&B	24
	BLACK HILLS SPRUCE/PICEA GLUACA VAR DENSATA	6" B&B	52
ORNAMENTAL TREES			
	JAPANESE TREE LILAC/SYRINGA RETICULATA	2.5" B&B	6
	PRAIRIE FIRE CRAB/MALUS 'PRAIRIE FIRE'	2.5" B&B	--
	SERVICEBERRY/AMELANCHIER LAEVIS	2.5" B&B	10

CITY LANDSCAPE REQUIREMENTS (OVERALL SITE)
 ONE TREE/DWELLING UNIT (549 UNITS): 549 TREES

LANDSCAPE BUFFER ALONG COUNTY ROAD 116 (FOR SETBACK REDUCTION AREAS ENTIRE PROJECT):
 A MINIMUM OF 1 OVERSTORY TREE, 1 CONIFEROUS TREE, 2 ORNAMENTAL TREES, AND 10 SHRUBS PER 100'.
 2,900 LF OF BUFFER PROPOSED ALONG COUNTY ROAD 116

REQUIRED TREES:
 29 OVERSTORY TREES
 29 CONIFER TREES
 58 ORNAMENTAL TREES
 290 SHRUBS

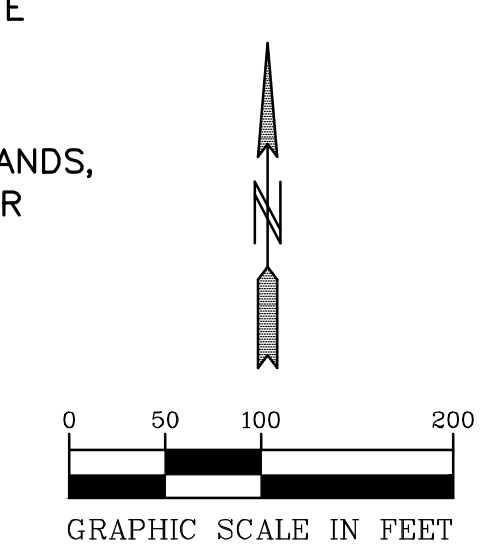
PROPOSED TREES:
 47 OVERSTORY TREES
 96 CONIFER TREES
 48 ORNAMENTAL TREES

TOTAL REQUIRED TREES: 665
 TOTAL PROPOSED TREES: 1,060
 TOTAL PROPOSED TREES FIRST ADDITION: 103
 TOTAL PROPOSED TREES SECOND ADDITION: 90
 TOTAL PROPOSED TREES THIRD ADDITION: 243
 TOTAL PROPOSED TREES FOURTH ADDITION: 166
 TOTAL PROPOSED TREES FIFTH ADDITION: 42
 TOTAL PROPOSED TREES SIXTH ADDITION: 242

TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FINAL HOME DESIGNS AND DRIVEWAY LOCATIONS.

IRRIGATION AND LANDSCAPING MAINTENANCE IS THE RESPONSIBILITY OF THE HOA INCLUDING CUL DE SAC ISLANDS, COMMON AREAS, SIDEWALKS, AND WETLAND/POND BUFFER AREAS.

IRRIGATION SYSTEM SHALL HAVE RAIN SENSORS TO LIMIT UNNECESSARY WATERING.



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH CORNER STATE ONE CALL 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSEYMAN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLAN SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

TAVERA 6TH ADDITION

R.T. DOC. NO. _____

C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home, LLC, a Delaware limited liability company, fee owner of the following described property:

OUTLOTS A, B, C, K, and J, TAVERA 4TH ADDITION, Hennepin County, Minnesota.

Has caused the same to be surveyed and platted as TAVERA 6TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said U.S. Home, LLC, a Delaware limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: U.S. Home, LLC

By: _____, its _____.

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by _____, its _____ of U.S. Home, LLC, a Delaware limited liability company, on behalf of the company.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor, Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by Peter J. Hawkinson.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL, CITY OF CORCORAN, MINNESOTA

This plat of TAVERA 6TH ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota, at a regular meeting thereof, held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

BY: _____, Mayor BY: _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this day of _____, 20____.

Daniel Rogan, County Auditor

By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this ____ day of _____, 20____.

Chris F. Mavis, County Surveyor

By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 6TH ADDITION was filed in this office this ____ day of _____, 20____, at ____ o'clock ____ .M.

Amber Bougie, Registrar of Titles

By: _____, Deputy

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 6TH ADDITION was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____ .M.

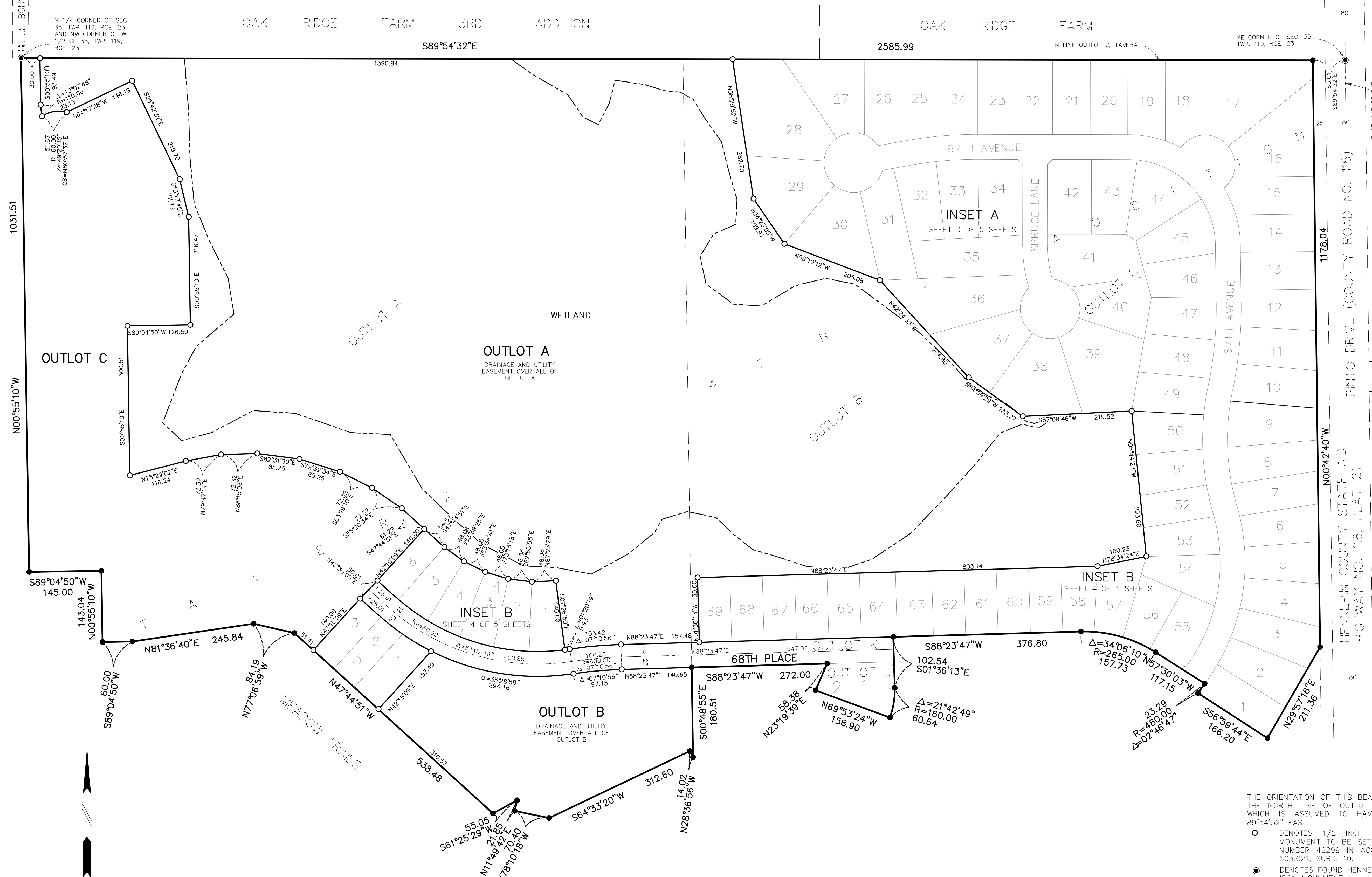
Amber Bougie, County Recorder

By: _____, Deputy

TAVERA 6TH ADDITION

R.T. DOC. NO. _____

C.R. DOC. NO. _____



N 1/4 CORNER OF SEC. 35, TWP. 119, RGE. 23 AND NW CORNER OF W 1/2 OF SEC. 35, TWP. 119, RGE. 23

NE CORNER OF SEC. 35, TWP. 119, RGE. 23

EAST LINE OF THE NE 1/4 OF SEC. 35, TWP. 119, RGE. 23

1031.51
N00°55'10"W

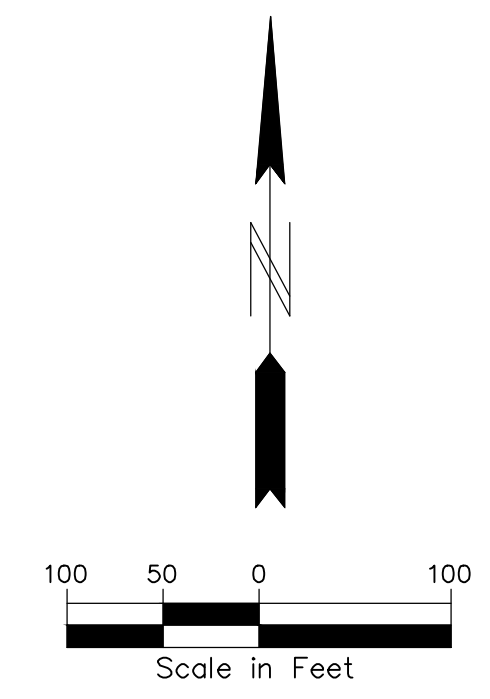
1178.04
PINTO DRIVE (COUNTY ROAD NO. 116)

N00°42'40"W
HENNEPIN COUNTY STATE AID HIGHWAY NO. 116, PLAT 21

CLIDE STURBRIDGE ROAD

S89°04'50"W
145.00

100.23
N78°34'24"E



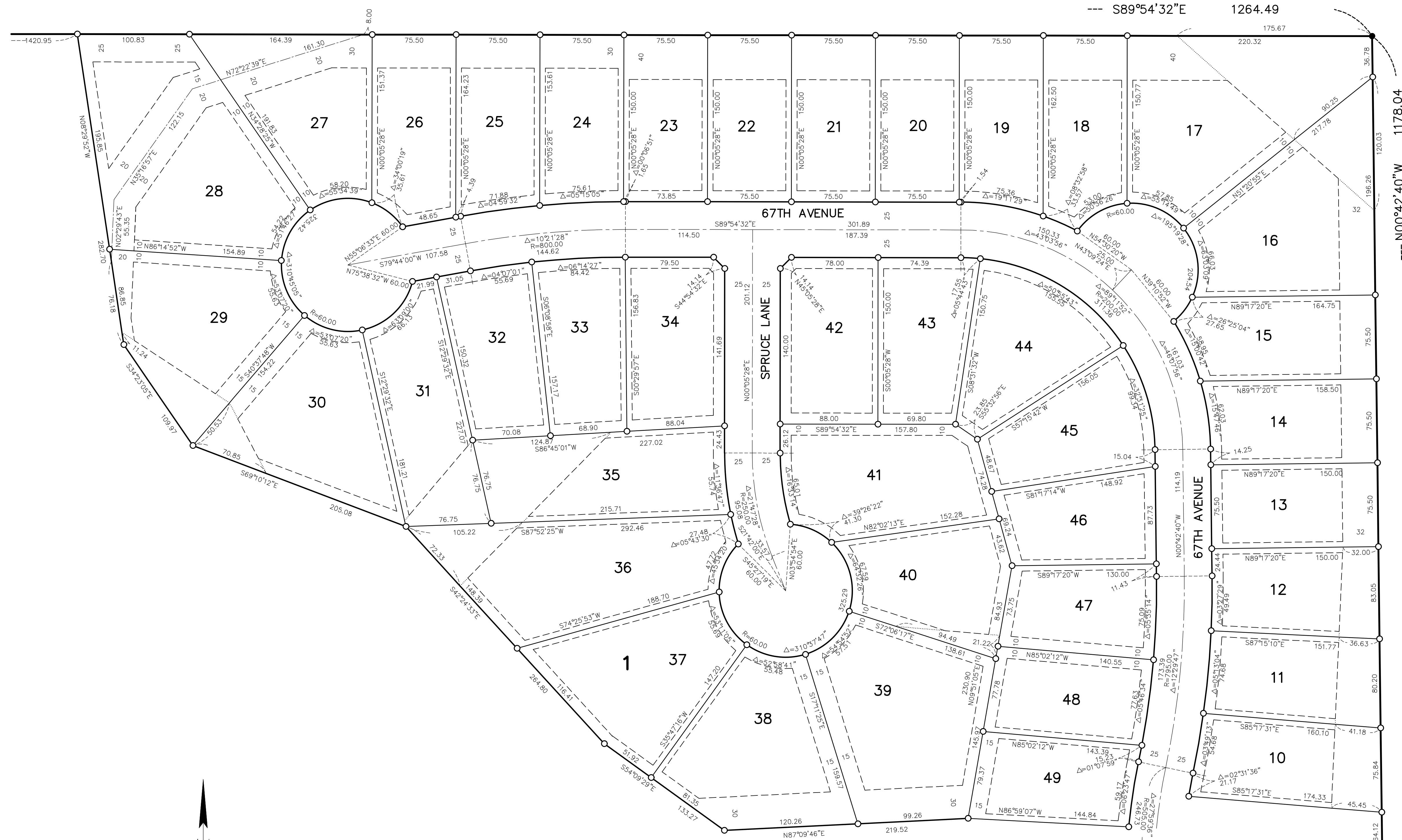
THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF OUTLOT C, TAVERA 4TH ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- DENOTES FOUND 1/2 INCH IRON PIPE MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

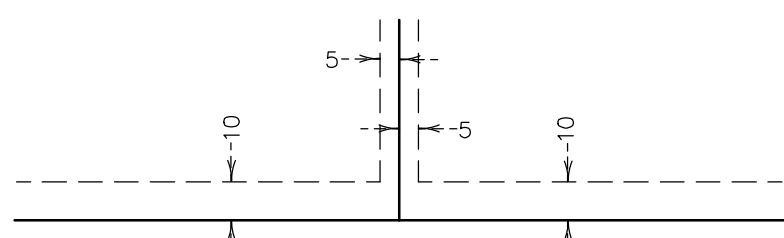
TAVERA 6TH ADDITION INSET A

R.T. DOC. NO. _____

C.R. DOC. NO. _____



DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plat.

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF OUTLOT C, TAVERA 4TH ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

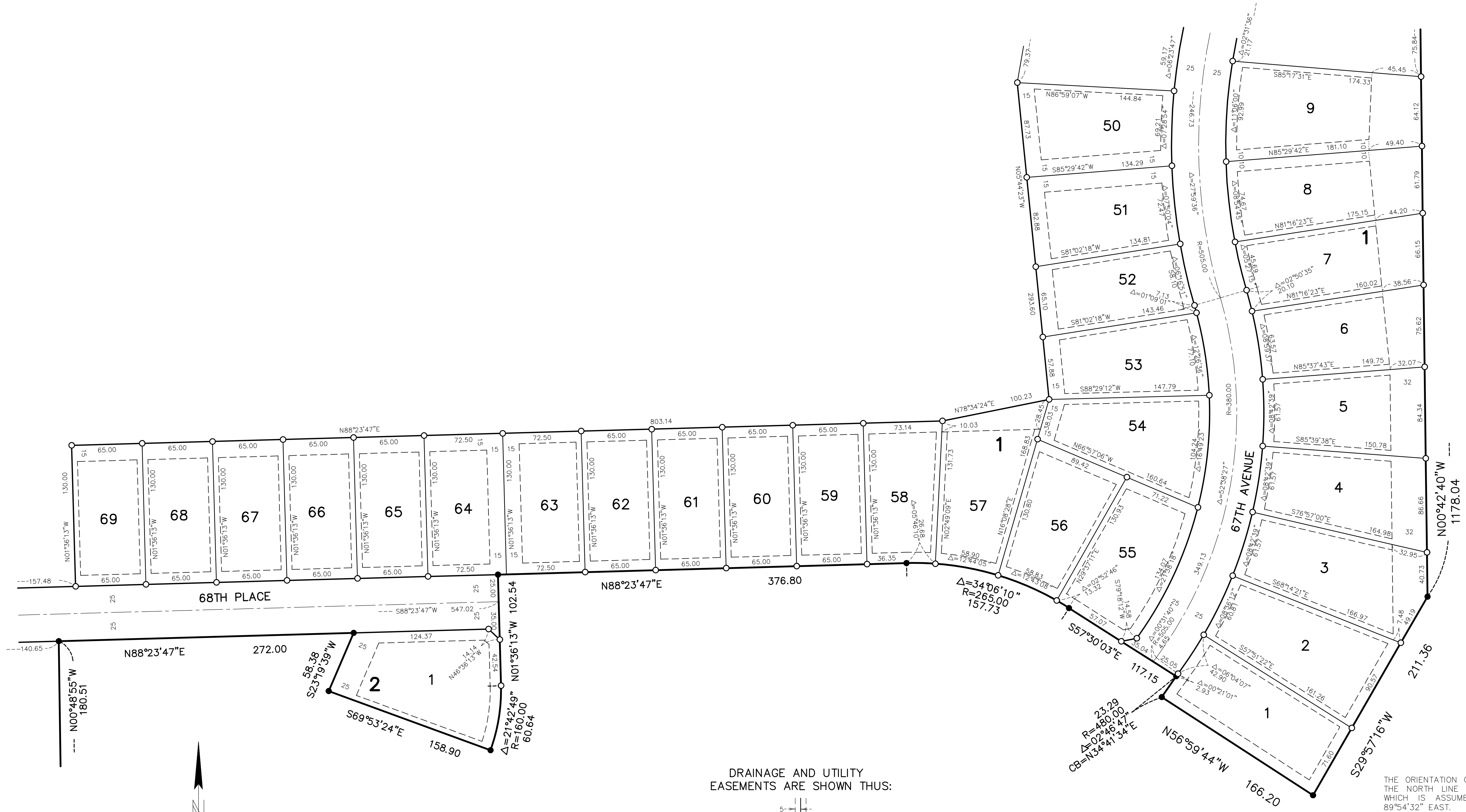
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON PIPE MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

TAVERA 6TH ADDITION

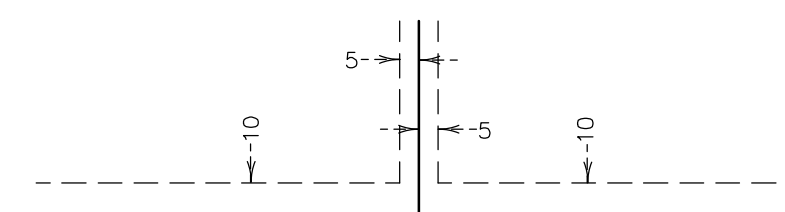
INSET B

R.T. DOC. NO. _____

C.R. DOC. NO. _____



DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plat.

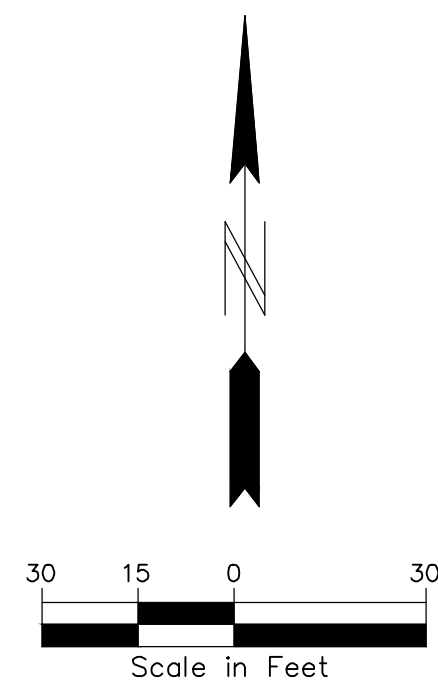
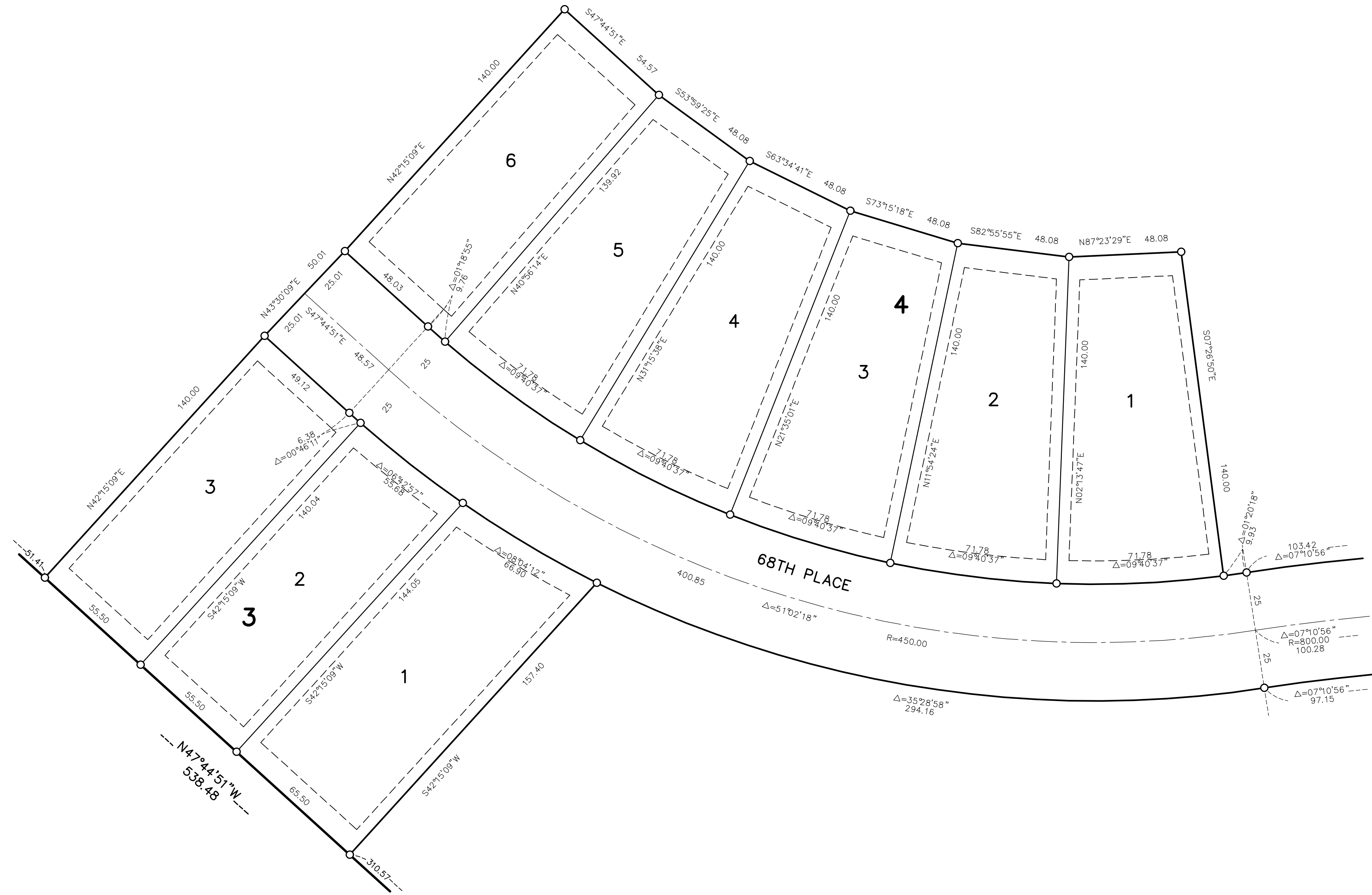
THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF OUTLOT C, TAVERA 4TH ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON PIPE MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

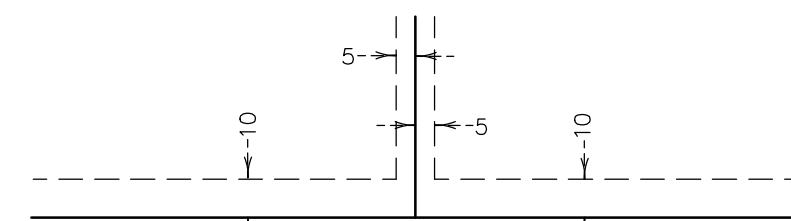
TAVERA 6TH ADDITION INSET A

R.T. DOC. NO. _____

C.R. DOC. NO. _____



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



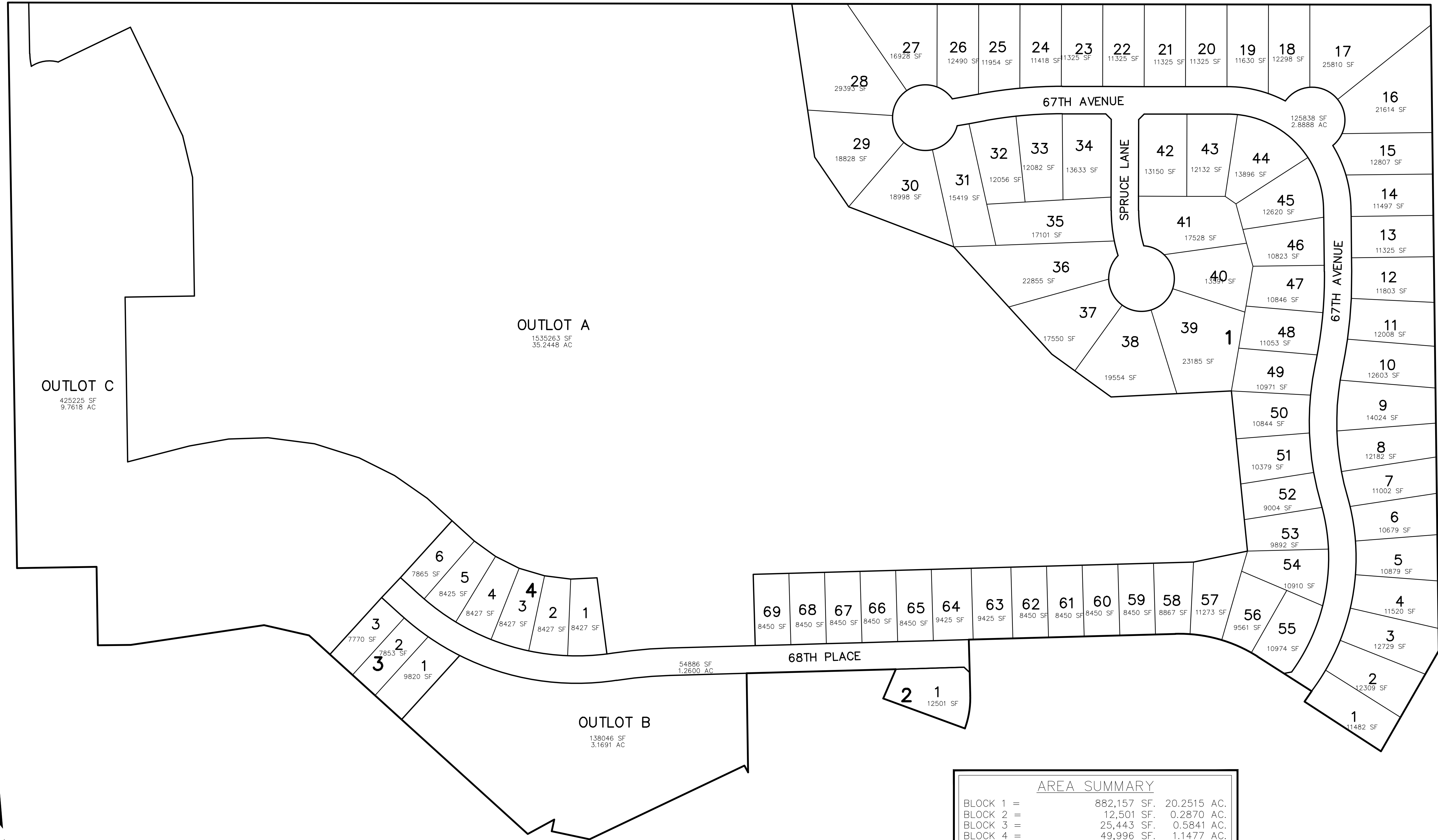
Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plot.

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF OUTLOT C, TAVERA 4TH ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

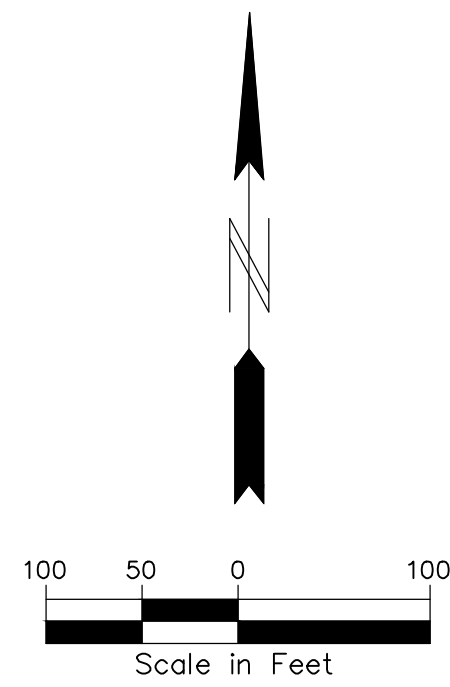
○ DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.

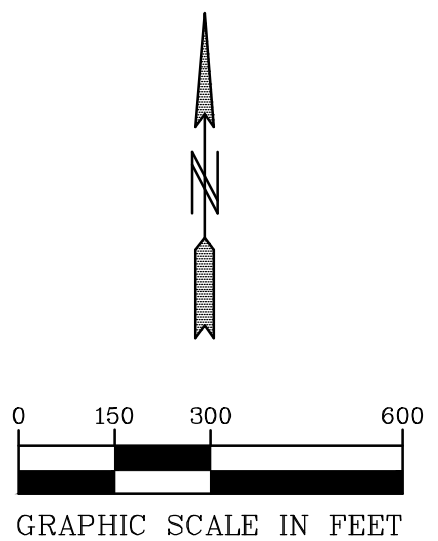
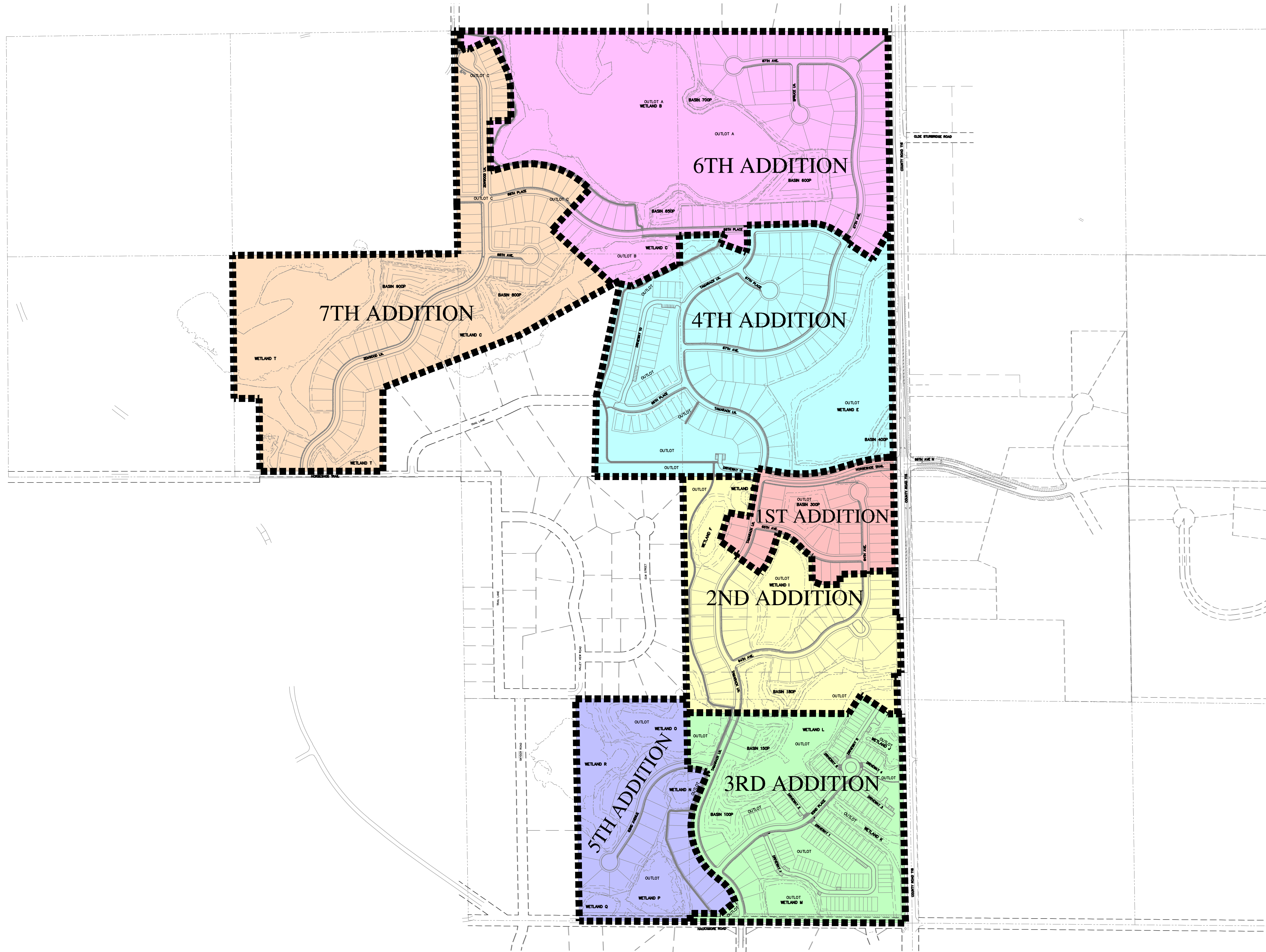
TAVERA 6TH ADDITION

AREA SKETCH



AREA SUMMARY		
BLOCK 1 =	882,157 SF.	20.2515 AC.
BLOCK 2 =	12,501 SF.	0.2870 AC.
BLOCK 3 =	25,443 SF.	0.5841 AC.
BLOCK 4 =	49,996 SF.	1.1477 AC.
TOTAL LOT AREA =	970,097 SF.	22.2703 AC.
TOTAL OUTLOT AREA =	2,098,534 SF.	48.1757 AC.
TOTAL R/W AREA =	180,725 SF.	4.1489 AC.
TOTAL AREA =	3,249,356 SF.	74.5949 AC.





PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Paul J. Cherm
 Title: Paul J. Cherm
 Reg. No.: 19860 Date: 02-05-2024

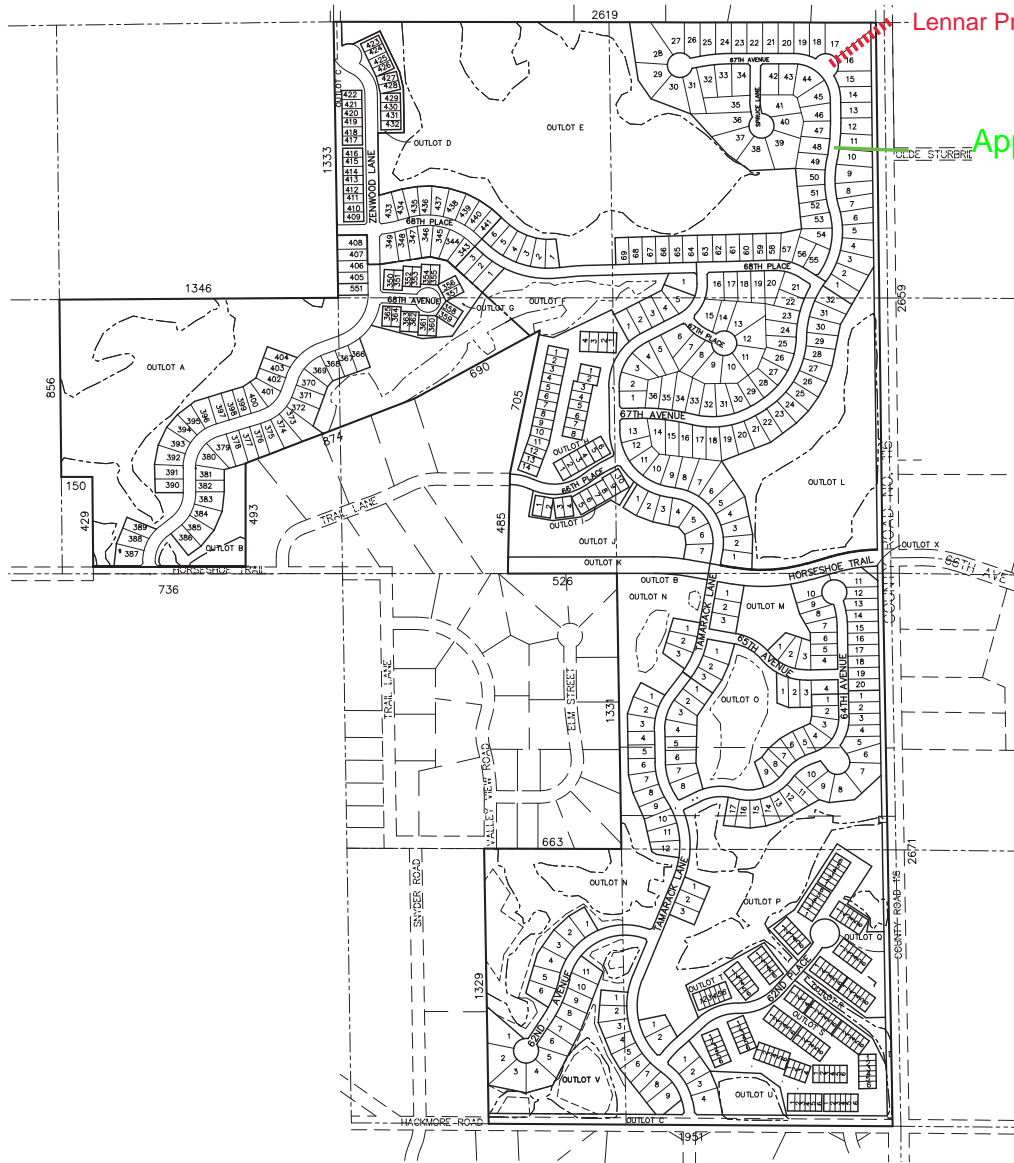
Revisions

Date: 02-05-24
 Designed: PJC/BNM
 Drawn: MBG

PHASING PLAN

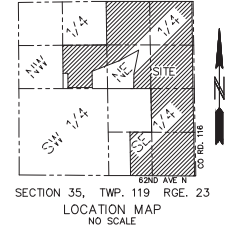
LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

TAVERA
 CORCORAN, MINNESOTA



Lennar Proposed Location

Approved Location



PROPOSED LEGAL FOR PRELIMINARY PLAT PURPOSES ONLY:
 East 1/2 of the Southeast Quarter of the Southeast Quarter, Section 35, Township 119, Range 23, Hennepin County, Minnesota.
 Together with:
 Lot 10, Block 1, Meadow Trails, Hennepin County, Minnesota.
 Together with:
 The East 1/2 of the Northeast Quarter except that part which lies East of a line parallel with and distant 40 feet West of the East line, Section 35, Township 119, Range 23, Hennepin County, Minnesota.
 Together with:
 The East 1/2 of the Southeast 1/4 of Section 35, Township 119, Range 23, Hennepin County, Minnesota.
 EXCEPT: The East Sixteen (16) rods of the North Twenty (20) rods of the South Twenty-nine and eight tenths (29.8) rods of the Northeast Quarter (NE 1/4) of the Southeast Quarter (SE 1/4) of Section Thirty-five (35), Township One Hundred Nineteen (119), Range Twenty-three (23).
 AND FURTHER EXCEPT:
 All that part of the following described tract:
 Southeast 1/4 of the Southeast 1/4 and the South 9 8/10 rods of Northeast 1/4 of Southeast 1/4 also that part of North 20 rods of South 29 8/10 rods of the Northeast 1/4 of Southeast 1/4 lying West of East 16 rods thereof and that part of the Northeast 1/4 of Southeast 1/4 of South 29 8/10 rods thereof, all lying in Section 35, Township 119 North, Range 23 West, except roads, which lies East of a line parallel with and distant 40 feet West of the East line of said section.
 Together with:
 The East 16 Rods of North 20 Rods of South 29.8 Rods of Northeast 1/4 of Southeast 1/4, Section 35, Township 119 North, Range 23 West, except that part which lies East of a line parallel with and distant 40 feet West of the East line of said section, Hennepin County, Minnesota.

TOTAL GROSS AREA	273.57 ACRES
TOTAL LOT AREA	96.31 ACRES
NUMBER OF LOTS	549
NUMBER OF OUTLOTS	24
TOTAL OUTLOT AREA	145.91 ACRES
TOTAL RIGHT OF WAY AREA	31.35 ACRES
TOWNHOME BASELOT AREA	15.86 ACRES
TOWNHOME BASELOT AREA	15.90 ACRES
TOWNHOME SF PER UNIT (134 LOTS)	5,153 SF
TOWNHOME SF PER UNIT (80 LOTS)	8,657 SF
GROSS DENSITY	2.01 LOTS/ACRE
NET DENSITY (EXCLUDES WETLANDS AND COUNTY ROW)	2.67 LOTS/ACRE

PIONEERengineering
 CIVIL ENGINEERS LANDSCAPERS LAND DEVELOPERS LICENSED SURVEYORS
 (651) 681-1914
 2122 Enterprise Drive
 Mendota Heights, MN 55120
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.
 Name: Peter J. Hankinson
 Reg. No.: 45229
 Date: 12/11/2021

Revisions:
 1. 11-16-2021 Preliminary Plat Type Change 8. 09-11-2021 City Comments 11. 09-23-2021 City Comments
 2. 11-16-2021 Add Sewer Plan 7. 07-16-2021 2nd Addition 12. 05-06-2022 City Comments
 3. 08-29-2021 City Comments 8. 08-19-2021 Final 11. 07-14-2021
 4. 04-06-2021 City Comments 9. 02-25-2021 City Comments 13. 05-28-2022 City Comments

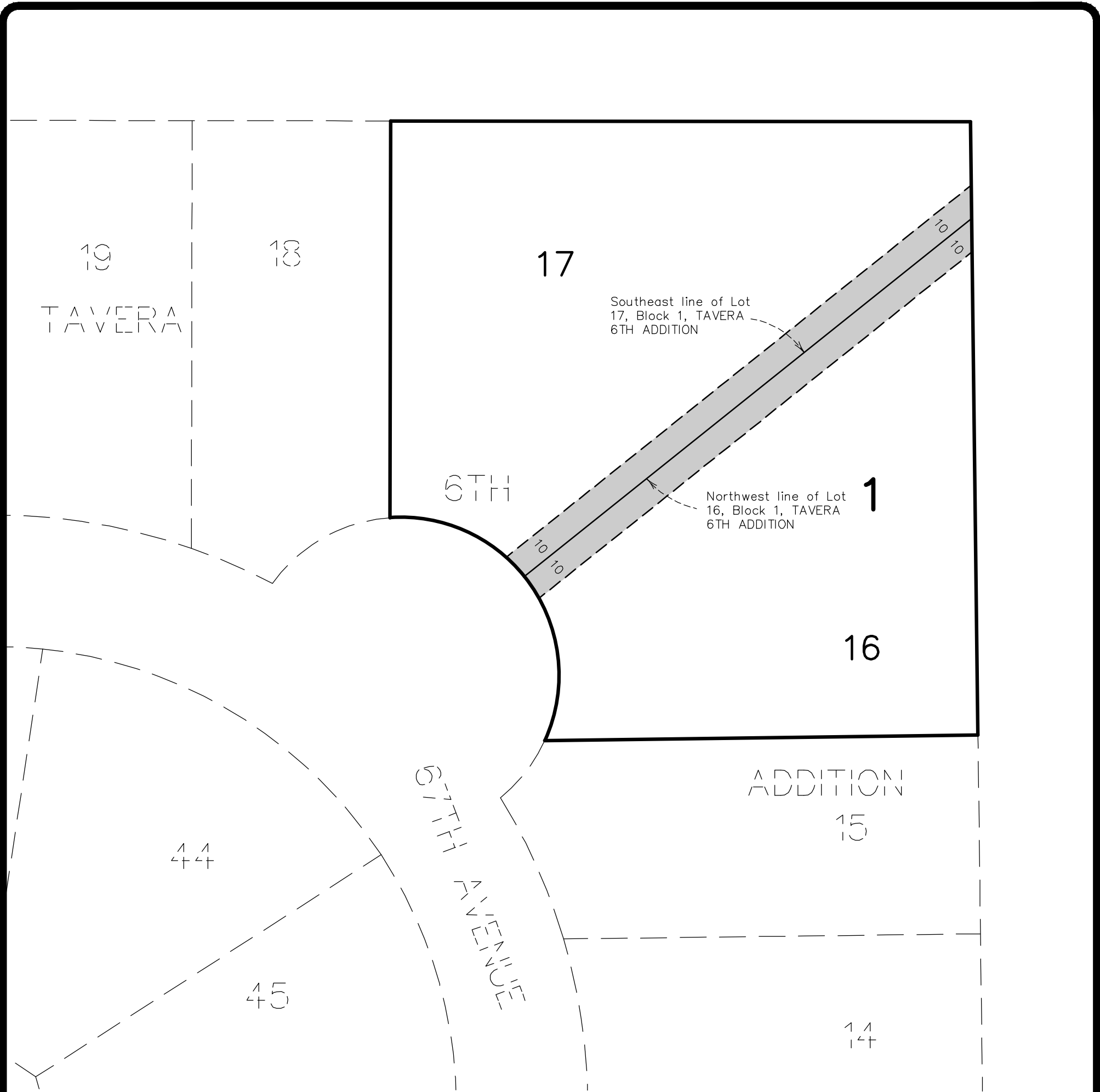
Date: 9-1-2021
 Designed: PIC/BNM
 Drawn: MPC


PRELIMINARY PLAT

LENNAR
 16305 36TH AVENUE NORTH
 PLYMOUTH, MINNESOTA 55446

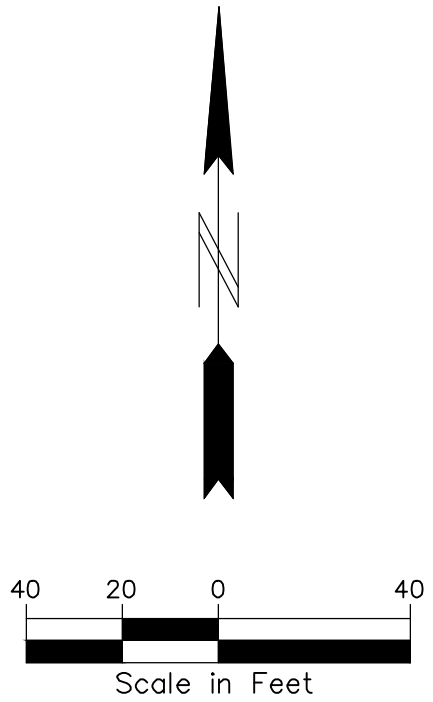
TAVERA
 CORCORAN, MINNESOTA

2.01 OF 36



 Denotes proposed trail easement

PROPOSED TRAIL EASEMENT DESCRIPTION:
 The northwest 10.00 feet of Lot 16, Block 1, TAVERA 6TH ADDITION according to the recorded plat thereof, Hennepin County, Minnesota.
 Together with:
 The southeast 10.00 feet of Lot 17, Block 1, TAVERA 6TH ADDITION according to the recorded plat thereof, Hennepin County, Minnesota.



* This sketch does not purport to show the existence or nonexistence of any encroachments from or onto the hereon described land, easements of record or unrecorded easements which affect said land or any improvements to said land.

Sheet 1 of 1	<p>PIONEER <i>engineering</i></p> <p>CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS</p> <p>2422 Enterprise Drive Mendota Heights, MN 55120</p> <p>(651) 681-1914 Fax: 681-9488 www.pioneereng.com</p>	<p>Cad File: 119128- Trail Easement.dwg Date: 2-5-23 Folder #: 8888 Drawn by: KSO</p>	<p>Description Sketch for: LENNAR CORPORATION</p>
-----------------	---	--	---



-  Villa Lots
-  55' Lots
-  65' Lots
-  75' Lots
-  Multi-Family
-  Twin Homes



TAVERA
Corcoran, Minnesota

LENNAR[®]

RESOLUTION NO. 2024-23

Motion By:
Seconded By:

A RESOLUTION HONORING CLYDE BECHTOLD UPON HIS RETIREMENT

WHEREAS, Clyde Bechtold will retire from the Public Works Department, effective March 22, 2024, from the City of Corcoran, Minnesota, after serving as a Heavy Equipment Operator for 33 years; and

WHEREAS, Clyde Bechtold began his career in the Public Works Department in the City of Corcoran on March 1, 1991. On his first day of employment, Clyde was initiated into snowplowing with the infamous 1991 Halloween Blizzard.

WHEREAS, during his years of faithful and dedicated service to the City of Corcoran, Clyde Bechtold has been a committed public servant having conducted himself in a highly professional manner, contributing to the betterment of the Public Works Department and the community as a whole; and selflessly arriving as needed to ensure safe roads during snow and storm emergencies; and working on special road projects; .

WHEREAS, Clyde Bechtold expanded his experience, and obtained his water license, along with many other Public Works achievements and duties during his 33 years of employment.

NOW, THEREFORE BE IT RESOLVED, that the Corcoran City Council hereby commends and thanks Clyde Bechtold for his many years of dedicated Public Works services, especially for his positive contributions to the Corcoran Public Works Department and he is wished a healthy and enjoyable retirement.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March, 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

From: [Jill Olson](#)
To: [Michelle Friedrich](#)
Subject: Khacholing Center
Date: Sunday, March 24, 2024 5:02:23 PM

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Topic:
CHOL- IUP
PID 06-119-23-13-0002
City file no. 23-029

Corcoran Mayor and Council,

We, Jillette A Olson and Cory L Hersom oppose the issuance of an IUP for a CHOL to teach meditation and Buddhism classes out of the home at 23360 Oakdale Drive.

Our property directly borders the applicants property.

The applicants own and homestead multiple properties each.
The applicants do not, have not resided at 23360 Oakdale Drive. This property has not been used as a home by either applicant for the duration of ownership.

Any center offering classes and multiple large events will significantly impact the liability and responsibility of neighboring residents. This also allows for potential neighboring property devaluation.

Classes and events as large as 49 people is a health and safety risk.

General neighborhood disturbance would be obvious to neighboring homes during times of high volume parking and events. As presented in July of 2023 their large event was noisy, unsightly and the odor was dominant.

An additional parking area would be an unpleasant appearance and add additional noise. Safety and neighborhood comfort will be at risk.

Creating a twenty car parking lot requiring wetland delineation for a potentially temporary use permit is irresponsible environmentally.

I have large concerns that future CHOL rules and regulations will be followed. This after city code enforcement was alerted and enforced in October 2023, again in March 2024.

We do not support the passing of this interim use permit for conditional home occupational license.

Finally, we do not think input from a Brooklyn Park resident is viable.

Jillette A Olson
Cory L Hersom
10646 Maple Lane East
Corcoran, Mn 55374

March 20, 2024

Mayor Thomas McKee
8200 County Rd. 116
Corcoran, MN 55340

Councilor Jonathan Bottema
8200 County Rd. 116
Corcoran, MN 55340

Councilor Jeremy Nichols
8200 County Rd. 116
Corcoran, MN 55340

Councilor Alan Schultz
8200 County Rd. 116
Corcoran, MN 55340

Councilor Dean Vehrenkamp
8200 County Rd. 116
Corcoran, MN 55340

RE: Resolution for Khacholing Center

Dear Mr. Mayor and Council:

This letter is prepared and submitted by citizens of Corcoran that reside near the single family home at 23360 Oakdale Drive that is the subject of an application for an Interim Use Permit (IUP) for a Conditional Home Occupation License (CHOL) for the Khacholing Center. The signatories to this letter oppose the Resolution granting the IUP for the following reasons:

- I. The type of use sought by the Applicants is not consistent with the City Code;
- II. The Applicants have not met the requirements of the Resolution;
- III. The use sought by the Applicants will have a negative impact on neighboring properties.

BACKGROUND

The property at 23360 Oakdale Drive is located on approximately three acres of land. The home was last sold in July 2023. As of today, Hennepin County identifies Nga Thi Ngoc Nguyen and Lobsang Yeshi as the owners of the property. See Exhibit 1. Ms. Nguyen and Mr. Yeshi are identified as the Applicants of the IUP.

Shortly after the property was acquired by Mr. Yeshi and Ms. Nguyen, local residents noticed a significant increase in traffic and parking at the home, as well as a Google pin identifying this property as the Khacholing Center. There was also an increase in people coming and going from the home. It became apparent the activity was more than what would normally be expected at a single family home. A Corcoran resident contacted city staff on September 10, 2023 and the property owners were advised to terminate business activities and make an application with the city.

On its website, Khacholing Center advertises 23360 Oakdale Drive as its primary address. See Exhibit 2. Khacholing Center is a Nonprofit Corporation organized under Minnesota Statutes Chapter 317A, with a business office address in Richfield, Minnesota. See Exhibit 3.

Khacholing Center maintains a board of directors consisting of eight individuals located in Minnesota, Texas and New York. See Exhibit 4. Applicant Lobsang Yeshi is listed as a board member, however Applicant Nga Thi Ngoc Nguyen is not identified on the Khacholing website.

I. THE PROPOSED USE OF THE PROPERTY IS NOT CONSISTENT WITH THE CITY CODE

The City Code provides protections for home owners when an individual, or in this case an organization, wishes to conduct business or organizational activities in a residential home.

1030.100 - HOME OCCUPATIONS

Subd. 1. Purpose. The purpose of this Ordinance is to maintain the character and integrity of residential areas (emphasis added) and to provide a means through the establishment of specific standards and procedures by which home occupations can be conducted in residential neighborhoods without jeopardizing the health, safety and general welfare of the surrounding neighborhood. In addition, this Ordinance is intended to provide a mechanism enabling the distinction between permitted home occupations and special or customarily “more sensitive” home occupations, so that appropriate, permitted home occupations may be allowed outright or through an administrative process rather than a legislative hearing process.

The Code clearly states the purpose of maintaining the character and integrity of residential areas. The IUP/CHOL request before you seeks to turn a single family home, in a residential neighborhood, into a place of worship for an organization. The City Code also seeks to maintain the residential use of single family homes in residential neighborhoods.

1030.100, Subd. 4(C). Any Home Occupation shall be clearly incidental and secondary to the residential use of the premises, shall not change the residential character thereof, and shall result in no incompatibility or disturbance to the surrounding residential uses.

A. The Applicants Did Not Purchase the Home for Residential Use

Khacholing Center maintains an active YouTube channel. On July 5, 2023, two days after the purchase of the home at 23360 Oakdale Drive, Khacholing Center posted a video announcing, “New Venue for Khacholing Center.” A hyperlink to the video is embedded here:

<https://www.youtube.com/watch?v=0zGEpxu9igE>

The narrator, Applicant Lobsang Yeshi, states, “so this property was recently offered to me by a very kind benefactor who wishes to remain anonymous. So this benefactor is a very sincere and diligent student who expressed to me her long held wish to provide a place for me to give teachings and carry out Dharma activities that will reach more people and thereby benefit more people.” The narrator goes on to speak about the benefactor stating, “She helps monasteries, temples, (unintelligible) in several places.” Next, the narrator speaks to the reason the property at 23360 Oakdale Drive was purchased; “Since Khacholing does not have its own premises; so upon having a discussion with the board members of Khacholing, I decided to use this place to

host Khacholing's classes and activities and therefore all the Dharma activities of Khacholing will be moving to this place."

Mr. Yeshi submitted an application to the City on or about October 8, 2023. See Exhibit 5. At the bottom of page 3, Mr. Yeshi writes; "The weekly classes are open to the public, anyone can attend or invite others. No registration is required..." In the middle of page 3 Mr. Yeshi also identifies that the property will be able to accommodate parking for 25 cars.

The application identifying an "open to the public" policy demonstrates the true intent of Khacholing Center to operate as a place of worship with similar use to those of churches in Corcoran that are open to the public. The desire to have parking for 25 cars is also outside standard residential use.

B. The Applicants Do Not Reside at the Home Located at 23360 Oakdale Drive

The City Code states a home occupation shall be clearly incidental and secondary to the residential use of the home.

At the March 12, 2024 meeting of the Corcoran Planning Commission, Applicant Lobsang Yeshi admitted that he lives at a home in Maple Grove. The Maple Grove address is listed on his application. He did not disclose the location of Applicant Nga Nguyen. A property search using Hennepin County's website reveals Mr. Yeshi is the owner of a townhome located at 8924 Olive Lane North in Maple Grove. See Exhibit 6. This property was deeded to Mr. Yeshi by Applicant Nga Thi Ngoc Nguyen on December 16, 2022 according to the deed obtained from Hennepin County. See Exhibit 7.

An examination of the deed shows it was signed by Nga Thi Ngoc Nguyen (the co-Applicant) in Texas. Ms. Nguyen lists an address at 2704 White Falls Dr., Pearland, Texas. Pearland is located in Brazoria County, Texas. A search conducted through the Brazoria County Tax Office lists the owner of the single family home at 2704 White Falls Dr. as Nga N. Nguyen. See Exhibits 8 and 9. The Texas property is identified as homesteaded, indicating this is Ms. Nguyen's primary residence.¹

The fact that neither Applicant resides at the home is important when applying the City Code. The home occupation must be clearly incidental and secondary to the residential use. Here there is no residential use. The property was purchased to conduct Khacholing Center's organizational activities and not to be used as a home. The intended use sought through the IUP is consistent with a commercial property or place of worship.

C. The Applicants Have Changed the Residential Character of the Home

The Code states the home occupation shall not change the residential character of the home. The current use of the home as a place of worship has changed the residential character. In addition, the construction work done to the home has changed the residential character. On

¹ Mr. Yeshi's home in Maple Grove is identified as homesteaded. The property at 23360 Oakdale Drive is identified as homesteaded for 2024 and non-homestead for 2025. See Exhibits 10 and 11.

December 1, 2023, Mr. Yeshi applied for and was granted a building permit to expand the existing recreation room into the attached garage. See Exhibit 12. As part of this project, a wall was removed to create a 25 foot by 45 foot room. The garage door was disabled and a wall was installed in front of the opening that was the garage door. The City Code also forbids internal alterations or construction features not customarily found in dwellings.

1030.100, Subd. 4 (D) No Home Occupation shall require internal or external alterations or involve construction features not customarily found in dwellings except where required to comply with local and State fire and police recommendations.

This remodeling project demonstrates Khacholing Center's desire to create an additional room of significant size to facilitate large groups of people. This is not the type of construction done to a typical single family home. The fact the Khacholing Center replaced an attached garage with a meditation room in a cold weather climate demonstrates the intent to turn the home into a place of worship and not preserved as a residential home.

D. The Khacholing Center Employs at Least One Individual

The first line of Page 2 of the Resolution states the operation has no employees. This is false. Several signatories to this letter have met a gentleman at the property who identifies himself as Anthony. Anthony explains that he is the "caretaker" of the Khacholing Center and he is seen frequently.

1030.100, Subd. 8(C). No home occupations that come into existence after May 24, 2001 shall be permitted to have on-site employees or employees on-site for the purpose of staging work to be performed off-site.

Khacholing Center has at least one on-site employee after telling city staff they do not have on-site employees. At the Planning Commission meeting of March 12, Mr. Yeshi stated to the Commission that he is the only employee of Khacholing Center.

II THE APPLICANTS HAVE ALREADY FAILED TO MEET THE REQUIREMENTS OF THE PROPOSED RESOLUTION

The Resolution before the Council places obligations and restrictions upon the Applicants and Khacholing Center. On page 1, number 4, of the Resolution is written:

4. The Interim Use Permit for the Conditional Home Occupation License is issued to Lobsang Yang (sic) and Nga Thi Ngoc Nguyen, for the operation of "Khacholing Center." This permit is non-transferable. The Permit shall terminate upon any one of the following:

- a. If the applicant ceases operations.
- b. If property ownership changes.
- c. If neither individual to whom the license has been issued ceases to live at the subject premises.

Condition 4(a) is problematic due to the corporate nature of Khacholing Center. Because Khacholing Center is a corporation with a board of directors, any decision to cease operations (or any other decisions involving the organization) is not one made by the Applicants. In fact the wording of Item 4 is misleading as it states; *The Interim Use Permit for the Conditional Home Occupation License is issued to Lobsang Yeshe and Nga Thi Ngoc Nguyen, for the operation of "Khacholing Center."* The reality is the Applicants are allowing a corporation to operate in a single family home that the Applicants own and do not occupy.

Condition 4(c) requires the Applicants to live at the premises. As addressed earlier, the Applicants do not reside at the home. The Resolution should not be approved simply based on the fact the Applicants do not reside at the home where the home occupation is to occur.

III THE PROPOSED USE NEGATIVELY IMPACTS NEIGHBORING PROPERTIES

Allowing a corporation to operate a place of worship out of a single family home has already negatively impacted neighboring properties and will continue to do so in the future. The first immediate concern is traffic.

There is precedent for the amount of traffic the City finds acceptable entering and exiting the property. The prior property owner, Michelle Borowicz, sought a CHOL to operate a dog grooming business. On November 8, 2022, the City of Corcoran sent a letter to Ms. Borowicz informing her of approval for the CHOL. See Exhibit 13. In this letter, the City advises Ms. Borowicz she is limited to five customers per day (10 vehicle trips).

The proposed Resolution allows for 25 people to attend Sunday services, up to 49 people to attend larger gatherings five times per year and unlimited visitors for one-on-one study. The recommendations from the City Planner are a significant departure from what was previously allowable for the prior owner of the home. The Staff Report for this project also shows the intent of Khacholing Center to one day increase parking.

A second concern is the human traffic on the property. The proposed use will result in a steady flow of customers/members of Khacholing Center. The frequency of outdoor gatherings with tents and portable toilets is not consistent with the neighborhood or residential use in general.

Third, there is concern with the land and water in the immediate area of 23360 Oakdale Drive and Khacholing's use impacting soil and water. Several properties on Maple Lane and Maple Lane East experience issues with water intrusion and water movement on their properties. The potential of increased parking and the use of fill in a wetland area will disturb the natural flow of water on several properties. There is also a concern regarding the overuse of the septic system at 23360 Oakdale Drive. Khacholing Center has already held large gatherings of people that has relied on a residential septic system. See Exhibit 14. This significant use can have an impact on groundwater throughout the area.

CONCLUSION

The issue is very simple. Khacholing Center members purchased the Oakdale property with the intent to use a single family home as a permanent center/place of worship for their weekly meditation sessions, counseling, and events. On Facebook, The Khacholing Center has 3,800 followers; once their place of worship is established, what more will they ask for?

The neighbors that place their names at the bottom of this letter choose to live in rural Corcoran in this quiet residential area of single family homes and small farms. We wish to keep the rural residential nature and integrity of our neighborhood.

Very truly yours,

Michael and Kari Horton
10512 Maple Lane
Corcoran, MN 55374

Brian Fieber
10630 Maple Lane E.
Corcoran, MN 55374

Lance and Molly Knorr
10500 Maple Lane
Corcoran, MN 55374

Larry and Connie LaBelle
10634 Maple Lane E.
Corcoran, MN 55374

Arnold and Ellen Bethke
10638 Maple Lane E.
Corcoran, MN 55374

Justin and Hillary Ray
10642 Maple Lane E.
Corcoran, MN 55374

Jillette Olson & Cory Hersom
10646 Maple Lane E.
Corcoran, MN 55374

Mark and Eunice Djerf
10647 Maple Lane E.
Corcoran, MN 55374

Joel Sandstrom
10643 Maple Lane E.
Corcoran, MN 55374

John and Paula Ray
10639 Maple Lane E.
Corcoran, MN 55374

Paul and Jillian Deglmann
10635 Maple Lane E.
Corcoran, MN 55374

Eric and Catherine Lindvall
10517 Maple Lane
Corcoran, MN 55374

Myron and Patricia Bergslien
10627 Maple Lane E.
Corcoran, MN 55374

Kurt and Kathy Rhode
10503 Maple Lane
Corcoran, MN 55374

John and Jody Holand
10420 Co. Rd. 19
Corcoran, MN 55375

Laura & Joseph Zelenak
10210 Heather Lane
Corcoran, MN 55374

Michael Beinert
23160 Meadowview Dr.
Corcoran, MN 55374

Greg Malik and Fay Watson
23165 Meadowview Dr.
Corcoran, MN 55374

Michael and Patti Jo McClellen
23190 Meadowview Dr.
Corcoran, MN 55374

Roger & Linda Hersom
23250 Oakdale Drive
Corcoran, MN 55374

Dean Schulte & Pam Krona
10613 Maple Lane
Corcoran, MN 55374

David Jones
10631 Maple Lane E.
Corcoran, MN 55374

Hennepin County Treasurer

A600 Government Center
 Minneapolis MN 55487-0060

- [Related pages](#)
- [E-check information](#)
- [Payment options info](#)
- [Property info search](#)

Property tax information

This database is updated daily (Monday - Friday) at approximately 9:15 p.m. (CST)

Property ID number: 06-119-23-13-0002 HOMESTEAD
Property address: 23360 OAKDALE DR
Owner name: N T N NGUYEN & L YESHI
Taxpayer name and address: NGATHI NGOC NGUYEN
 LOBSANG YESHI
 23360 OAKDALE DR

	Tax	Penalty	Totals
1st half tax (due 05/15/2024)	\$2,759.49		
2nd half tax (due 10/15/2024)	\$2,759.49		
Penalty through month end		\$0.00	
Total payable	\$5,518.98	\$0.00	\$5,518.98
Net paid - year to date	\$2,759.49	\$0.00	\$2,759.49
Total Due	\$2,759.49	\$0.00	\$2,759.49

Property ID number: 06-119-23-13-0002
1st half tax due through 05/15/2024 \$0.00
2nd half tax due through 10/15/2024 \$2,759.49

Note: If you are using this page in lieu of Hennepin County payment stub to remit payment; after printing the page, please check the box in front of the payment

Total due - 2024 tax \$2,759.49



Address search results

Parcel Data for Taxes Payable 2024

- [Current year taxes due](#)
- [Information for Prior Years](#)
- [2024 state copy \(used when filing 2023 M-1PR state refund\)](#)
- [View map of property](#)
- [Recent recording history](#)
- [Current year values](#)
- [Printer-friendly](#)

This database is updated daily (Monday - Friday) at approximately 9:15 p.m. (CST)

Property ID number: **06-119-23-13-0002**
Address: 23360 OAKDALE DR
Municipality: CORCORAN
School district: 877
Watershed: 2
Sewer district: 1974
Owner name: N T N NGUYEN & L YESHI
Taxpayer name and address: NGA THI NGOC NGUYEN
LOBSANG YESHI
23360 OAKDALE DR
ROGERS MN 55374

[Close all](#)

[Sales information](#)

Property tax information
taxinfo@hennepin.us
Phone: 612-348-3011
A-600 Government Center
300 South 6th Street
Minneapolis, MN 55487
M-F, 8 a.m. to 4:30 p.m.
[Map](#)

Useful links
[Change taxpayer information](#)
[Homestead information](#)
[Pay property taxes](#)

CONTACT US

Minnesota:
 Email: khacholingcenterman@gmail.com

Khacholing Center, Corcoran Minnesota:
 23360 Oakdale Dr., Rogers, MN 55374

Minnesota Business Office:
 7209 12th Ave S, Richfield, MN 55423-0387

New York Office:
 38-05 65 St #2H
 Woodside, NY 11377-2828
 Phone: 718-779-4870 Email: ichhodak@yahoo.com

Drupa Rinpoche is available for consultation and counseling on Mondays – Saturdays. To arrange a time to speak with him, please feel free to contact him at: lobyeshi1007@gmail.com



mbisportal.sos.state.mn.us

untitled folder > Anchovy Brea...lchen Year' Requeim for L...ts - WSJ.com d News v Apple v

SEARCH

Minnesota Secretary of State Steve Simon

Business & Liens

Business Filings Online

UCC / Tax Liens Online

CNS Liens Online

Online Subscriptions

UCC, CNS & Tax Liens Help

UCC, Tax & CNS Forms & Fees

Start a Business

Business Help

Business Forms & Fees

Sign In

Create an Account

Spanish Hmoob Soomaali Tiếng Việt Русский 中文

Business Filing Details

Business Record Details

Print

Order Certificate

File Amendment / Renewal

Order Copies

Back to Search Results

Minnesota Business Name

KHACHOLING CENTER - LAND OF THE DAKINIS

Business Type
Nonprofit Corporation (Domestic)

File Number
1Q-626

Filing Date
11/24/1997

Renewal Due Date
12/31/2024

Registered Agent(s)
Dechen Wangmo

MN Statute
317A

Home Jurisdiction
Minnesota

Status
Active / In Good Standing

Registered Office Address
7209 12th Ave S
Richfield, MN 55423
USA

President
Ken Tobacmen
7209 12th Ave S
Richfield, MN 55423
USA

Filing History **Renewal History**

Select the item(s) you would like to order: Order Selected Copies

Filing Date	Filing	Effective Date
11/24/1997	Original Filing - Nonprofit Corporation (Domestic)	
11/24/1997	Nonprofit Corporation (Domestic) Business Name (Business Name: Khacholing Nunery and Retreat Center)	
04/17/2002	Involuntary Dissolution - Nonprofit Corporation (Domestic)	

www.sos.state.mn.us/business-liens/ucc-tax-cns-forms-fees/ in a new tab



BOARD OF DIRECTORS

Gankar Tulku Rinpoche *Spiritual Director*
Minneapolis, MN

Lobsang Yeshi (Drupa Rinpoche) *Board President and Associate Spiritual Director*
Minneapolis, MN

Anthony Schultz *Board Vice President*
Minneapolis, MN

Dechen Wangmo *Secretary/Treasurer*
Minneapolis, MN

Tenzing Chhodak *Director*
New York Center, New York, New York

Geche Yeshi Choedup *Spiritual Advisor*
Dallas, TX

Chuck Nuckles *Board Member*
Minneapolis, MN

Ken Tobacman *Board Member*
Minneapolis, MN

Advisors

Roger Jackson, Carlton College

Ken Tobacman
Minneapolis, MN

Khacholing Center

HOME

DRUPA RINPOCHE'S POSTS

DHARMA PROGRAMS

རྗེ་བློ་གྲོགས།

TEACHERS PAST & PRESENT

PAST

TEACHINGS AND EVENTS

ABOUT KHACHOLING

HOW YOU CAN HELP

SEARCH KHACHOLING SITE



Fees Paid: \$

Escrow Paid: \$

Dev. Sign Paid: \$

Project: #

CITY OF CORCORAN LAND USE APPLICATION FORM

Development/Project Name Conditional Use Permit (CUP)

Type of Application

- | | |
|--|--|
| <input type="checkbox"/> Administrative Permit | <input type="checkbox"/> Vacation (Street/Easements) |
| <input type="checkbox"/> Agricultural Preserve | <input type="checkbox"/> Development Right Appeal |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Comprehensive Plan Amendment |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Zoning/Subdivision Map/Ordinance |
| <input type="checkbox"/> Topography/Wetland Exemption | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Environmental Review | <input checked="" type="checkbox"/> Conditional Use Permit (CUP) |
| <input type="checkbox"/> Electronic Filing Waiver | <input type="checkbox"/> Interim Use Permit (IUP) |
| <input type="checkbox"/> Lot Line Adjustment/Consolidation | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> PUD Sketch Plan |
| <input type="checkbox"/> Sketch Plat/Plan Review (Reg./OS&P) | <input type="checkbox"/> PUD Preliminary Plan |
| <input type="checkbox"/> Preliminary/Plat - Base (Reg./OS&P) | <input type="checkbox"/> PUD Final Plan |
| <input type="checkbox"/> Final Plat (Reg./OS&P) | <input type="checkbox"/> PUD Amendment |

Property Information

Address 23360 Oakdale Drive, Corcoran MN 55374 PID Number 06 -119-23- 13_0002

Legal Description (attach if necessary)

Applicant Information

Applicants Name: Lobsang Yeshi & Nga Thi Ngoc Nguyen

Address: 8924 Olive Ln N, Maple Grove MN 55311
Street City State Zip

Phone (W) _____ Phone (H) 832-997-2055 Fax _____

Print or Type Name: Lobsang Yeshi & Nga Nguyen Email Address lobsyeshi007@gmail.com

Signature: (1) [Signature] (2) [Signature] Date 8th Oct 2023

Contact Person Name (If other than applicant) _____

Phone: _____ Address: _____

Owner Information

Name: Lobsang Yeshi & Nga Thi Ngoc Nguyen

Address: 8924 Olive Ln N, Maple Grove MN 55311
Street City State Zip

Phone (W) _____ Phone (H) 832-997-2055 Fax _____

Print or Type Name: Lobsang Yeshi Email Address lobsyeshi007@gmail.com

Signature: _____ Date 8th Oct 2023



Agreement to Pay Costs of Processing Application

The City of Corcoran requires all applicants and/or the owner(s) of the property to reimburse the City for any and all costs incurred by the City to review and act upon applications so that these costs are not absorbed by the tax payers.

The application fee includes administrative costs which are necessary to process the application, including but not limited to the preparation of the legal notice, publication of legal notice, postage, coordination and copying of agenda material, and other items relative to the specific application.

The escrow fee will include all charges for staff time by the Planning Consultant, City Engineer, City Attorney and / or Other Consultant as needed to process the application

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account you will be notified in the manner that you have identified below that additional monies are required in order to continue your application process. All work on the application shall cease until the escrow account is replenished with the amount estimated by staff to complete the work. If you choose to terminate the application (notice must be in writing) you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. If payment is not received within seven (7) days as required by this agreement, the City will suspend the application review process and may deny the application for failure to comply with the requirements for processing the application. **Payment for all costs will be required whether the application is granted or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse the City for costs.

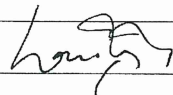
Property owners: I/we understand and acknowledge that if the aforementioned costs are not paid in a timely manner, the City may approve a special assessment for which the I/we, as the property owner(s), specifically agree to be assessed 100 percent per annum, and I/we waive any and all appeals under Minnesota Statutes § 429.061.

I wish to be notified of additional costs in the following manner: E-mail Fax USP – Certified Mail

Print or Type Name of Property Owner(s) and any other Party Responsible for Payment:

Lobsang Yeshi

Signature of Responsible Party



Date 8th Oct 2023

Please attach a brief description of your project/reason for your request.

Background of the applicant:

I Lobsang Yeshi (Drupa Rinpoche is my monastic name) am the Buddhist Chaplain of Khacholing Center Minnesota. Khacholing Center was established over 25 years ago in 1997 and is registered as a non-profit organization in the state of Minnesota. Its activities include classes on Buddhism and meditation and are all free of charge. As the Center's chaplain, I also offer advice and support to persons and families who seek spiritual support and bereavement care. The Center has in the past held its activities in various places and was in need of a more stable place to carry out its activities. I am the co-owner of the property 23360 Oakdale Drive, Corcoran, MN 55374 with Madam Nga Thi Ngoc Nguyen who is a friend and benefactor of Khacholing Center and we agreed to permit the Center to carry out its activities there.

(a) Nature of request: Conditional Use Permit to use a meeting space in an existing building for meditation classes and Buddhist studies.

(b) Impact on adjoining properties and mitigating measures: I anticipate no impact on adjoining properties because:

- (i) The meeting space is within the existing house that is located far from the neighbours;
- (ii) the plan for car parking space (about 25 cars) can be easily accommodated within the 3-acre area of the property.

(c) Buildings to be constructed or utilized: No additional buildings are planned for. The space to be utilized is within the existing house.

(d) Intended use of buildings and property: To conduct meditation classes and Buddhism classes.

(e) Hours and days of operation: Classes are on Sundays from 10am -12noon. Visits are generally by appointment on Wed – Sat from 2pm to 6pm.

(f) Number of employees: As chaplain and resident teacher, I am the sole employee of Khacholing Center. Board members and others who assist are volunteers.

(g) Size of operation, including no: of animals: Sunday classes average 10-15 persons. There are no animals kept on the property.

(h) Impact on traffic: We expect no impact, as Sunday attendance is generally 10 to 15 People, some of whom arrive together in one car. For occasional larger events, we expect that families and people car-pooling will result in 25 vehicles or fewer.

(i) Impact on septic system: No impact as the average number of persons using the premises on Sundays is around 10 persons. Larger gatherings will be infrequent (perhaps two times per year), and will not be of extended duration.

(j) Potential environmental impact: None as activities are within the existing house. Except for the provision of additional parking to accommodate visitors, no changes to the property are planned.

(k) Proposed measures to provide buffering from proposed use to adjacent properties: None required because activities are within the building on the 3-acre property. Activities will not create audio or other disturbances.

(l) Future expansion plans: There are none planned as the current building is sufficient for the activities.

(m) Nature of other uses in the neighbourhood: From what we can see from the property, neighbouring land uses are mainly farmland (horse farm and crop farm).

Additional Information Requested for:

1. How do you characterize Khacholing Center?

Khacholing Center is a center for meditation and Buddhist studies. We conduct classes on a weekly basis and classes begin and end with short prayers. Our practices are in the tradition of the Gelugpa lineage of Tibetan Buddhism, which is the tradition of His Holiness the Dalai Lama. The Gelugpa tradition dates to the 14th century, and the practices and teachings trace to the teachings of Shakyamuni Buddha, who lived and taught in India in the 6th century BCE.

2. The weekly classes are open to the public, anyone can attend or invite others. No registration is required, and classes are free of charge on a no-obligation basis.

3. The average number of persons attending classes are between 10-15 persons. The present meeting space can accommodate 30-40 people.

4. Larger gatherings are infrequent. We anticipate that from time to time, we will have week-end meditation retreats where the number of attendees could be 40-50 persons. Advance registration might be required for these events.

Background of the applicant:

I Lobsang Yeshi (Drupa Rinpoche is my monastic name) am the Buddhist Chaplain of Khacholing Center Minnesota. Khacholing Center was established over 25 years ago in 1997 and is registered as a non-profit organization in the state of Minnesota. Its activities include classes on Buddhism and meditation and are all free of charge. As the Center's chaplain, I also offer advice and support to persons and families who seek spiritual support and bereavement care. The Center has in the past held its activities in various places and was in need of a more stable place to carry out its activities. I am the co-owner of the property 23360 Oakdale Drive, Corcoran, MN 55374 with Madam Nga Ngoc Nguyen who is a friend and benefactor of Khacholing Center and we agreed to permit the Center to carry out its activities there.

- (a) **Nature of request:** Conditional Use Permit to use a meeting space in an existing building for meditation classes and Buddhist studies.
- (b) **Impact on adjoining properties and mitigating measures:** I anticipate no impact on adjoining properties because:
 - (i) The meeting space is within the existing house that is located far from the neighbours;
 - (ii) the plan for car parking space (about 25 cars) can be easily accommodated within the 3-acre area of the property.
- (c) **Buildings to be constructed or utilized:** No additional buildings are planned for. The space to be utilized is within the existing house.
- (d) **Intended use of buildings and property:** To conduct meditation classes and Buddhism classes.
- (e) **Hours and days of operation:** Classes are on Sundays from 10am - 12noon. Visits are generally by appointment on Wed – Sat from 2pm to 6pm.
- (f) **Number of employees:** As chaplain and resident teacher, I am the sole employee of Khacholing Center. Board members and others who assist are volunteers.
- (g) **Size of operation, including no: of animals:** Sunday classes average 10-15 persons. There are no animals kept on the property.

- (h) **Impact on traffic:** We expect no impact, as Sunday attendance is generally 10 to 15 People, some of whom arrive together in one car. For occasional larger events, we expect that families and people car-pooling will result in 25 vehicles or fewer.
- (i) **Impact on septic system:** No impact as the average number of persons using the premises on Sundays is around 10 persons. Larger gatherings will be infrequent (perhaps two times per year), and will not be of extended duration.
- (j) **Potential environmental impact:** None as activities are within the existing house. Except for the provision of additional parking to accommodate visitors, no changes to the property are planned.
- (k) **Proposed measures to provide buffering from proposed use to adjacent properties:** None required because activities are within the building on the 3-acre property. Activities will not create audio or other disturbances.
- (l) **Future expansion plans:** There are none planned as the current building is sufficient for the activities.
- (m) **Nature of other uses in the neighbourhood:** From what we can see from the property, neighbouring land uses are mainly farmland (horse farm and crop farm).

Additional Information Requested for:

1. **How do you characterize Khacholing Center?**
Khacholing Center is a center for meditation and Buddhist studies. We conduct classes on a weekly basis and classes begin and end with short prayers. Our practices are in the tradition of the Gelugpa lineage of Tibetan Buddhism, which is the tradition of His Holiness the Dalai Lama. The Gelugpa tradition dates to the 14th century, and the practices and teachings trace to the teachings of Shakyamuni Buddha, who lived and taught in India in the 6th century BCE.
2. **The weekly classes** are open to the public, anyone can attend or invite others. No registration is required, and classes are free of charge on a no-obligation basis.
3. **The average number of persons attending classes** are between 10-15 persons. The present meeting space can accommodate 30-40 people.

4. **Larger gatherings** are infrequent. We anticipate that from time to time, we will have week-end meditation retreats where the number of attendees could be 40-50 persons. Advance registration might be required for these events.

Address search results

Parcel Data for Taxes Payable 2024

- Current year taxes due
- Information for Prior Years
- 2024 state copy (used when filing 2023 M-1PR state refund)
- View map of property
- Recent recording history
- Current year values
- Printer-friendly

Property tax information
 taxinfo@hennepin.us
 Phone: 612-348-3011
 A-600 Government Center
 300 South 6th Street
 Minneapolis, MN 55487
 M-F, 8 a.m. to 4:30 p.m.
[Map](#)

- Useful links
- Change taxpayer information
- Homestead information
- Pay property taxes

This database is updated daily (Monday - Friday) at approximately 9:15 p.m. (CST)

Property ID number:	18-119-22-14-0128
Address:	8924 OLIVE LAN
Municipality:	MAPLE GROVE
School district:	279
Watershed:	2
Sewer district:	1998
Construction year:	LOBSANG YESHI
Owner name:	LOBSANG YESHI
Taxpayer name and address:	8924 OLIVE LAN MAPLE GROVE MN 55311

Search



C.V. filed _____ C.V. not req. X _____

No delinquent taxes

Transfer Entered

Jan 6, 2023 1:48 PM

Hennepin County, Minnesota
Daniel Rogan
County Auditor and Treasurer



LAND TYPE Torrens (T)

DOC NUM 5994015

Certified, filed and/or recorded on
Jan 6, 2023 1:48 PM

Office of the Registrar of Titles
Hennepin County, Minnesota
Amber Bougie, Registrar of Titles
Daniel Rogan, County Auditor and Treasurer

Deputy 138

Pkg ID 2528346E

Conservation Fee \$5.00

Document Recording Fee \$46.00

Environmental Response Fund (SDT .0001) \$0.05

State Deed Tax (.0033 rate) \$1.65

Document Total \$52.70

PID(s)

18-119-22-14-0128

Existing Certs

1522832

New Certs

1555813

This cover sheet is now a permanent part of the recorded document.



QUIT CLAIM DEED
Individual(s) to Individual(s)

Minnesota Uniform Conveyancing Blanks
Form 10.3.1 (2016)

eCRV number: _____

DEED TAX DUE: \$ 1.70

DATE: 12/16/2022
(month/day/year)

FOR VALUABLE CONSIDERATION, Nga Thi Ngoc Nguyen, a single person
(insert name and marital status of each Grantor)

("Grantor").

hereby conveys and quitclaims to Lobsang Yeshi
(insert name of each Grantee) ("Grantee"), as

(Check only one box.) tenants in common, (If more than one Grantee is named above and either no box is checked or both boxes are checked, this conveyance is made to the named Grantees as tenants in common.)
 joint tenants,

real property in Hennepin County, Minnesota, legally described as follows:
Unit No. 1305, CIC No. 843, Copper Marsh Coach Homes, a condominium located in the County of Hennepin, Minnesota.

** The total consideration of this transfer is \$3,000 or less**

Check here if all or part of the described real property is Registered (Torrens)

together with all hereditaments and appurtenances belonging thereto.

Check applicable box:

- The Seller certifies that the Seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: _____)
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

[Signature]

 (signature) Nga Thi Ngoc Nguyen

 (signature)

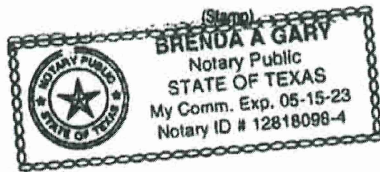
 (signature)

 (signature)

State of TX, County of BRAZORIA

This instrument was acknowledged before me on 12/16/2022 by _____
(month/day/year)

Nga Thi Ngoc Nguyen, a single person.
(insert name and marital status of each Grantor)



[Signature]

 (signature of notarial officer)

Title (and Rank): FCM

My commission expires: 05/15/2023
(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

Nga Thi Ngoc Nguyen
2704 White Falls Dr.
Pearland, TX 77584

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(insert legal name and residential or business address of Grantee)

Lob Sang Yeschi
8924 Olive Lane North
Maple Grove, mn 55311



KRISTIN R. BULANEK
 Brazoria County Tax Assesor-Collector
 111 E. Locust
 Angleton, TX 77515
 (979) 864-1320

2023 & Prior Tax Statement

Property Account Number:
75023922021

Statement Date: 03/14/2024
Owner: NGUYEN NGA N
Mailing Address: 2704 WHITE FALLS DR
 PEARLAND TX 77584-5588

Property Location: 0002704 WHITE FALLS DR
Acres: 0.1735
Legal Description: SHADOW CREEK RANCH SF-39B (PEARLAND)
 BLOCK 2
Appraisal Dist. Num: LOT 21
 562781

Exemptions: CAP ADJUSTMENT, GENERAL HOMESTEAD, OPTIONAL HOMESTEAD, OVER 65

LAND MARKET	IMPR MARKET	APPRAISED	LESS CAPPED	ASSESED	HOMESITE	AG MARKET	NON-QUALIFYING
72,570	383,111	455,681	82,396	373,285	455,681	0	455,681
Taxing Entities		Exemption Amount	Taxable Value	Tax Rate Per \$100	Base Tax		
BRAZORIA COUNTY		257,053	198,628	0.270664	0.00		
SPEC. ROAD & BRIDGE		257,053	198,628	0.043284	0.00		
ALVIN ISD		202,396	253,285	1.192300	0.00		
ALVIN COMM COLLEGE		157,396	298,285	0.151264	0.00		
BRAZORIA DRAINAGE 4		232,053	223,628	0.114786	0.00		
CITY OF PEARLAND		131,728	323,953	0.655400	0.00		
TOTAL BASE TAX					0.00		
Total Amount Due					0.00		

*ADDITIONAL COUNTY SALES TAX REDUCED YOUR COUNTY AD VALOREM TAX BY \$156.53.

↓ Detach ↓
 Return With Payment



Visit our website for online credit card or echeck payments.
<https://tax.brazoriacountytx.gov>
 -OR- Dial 1-800-930-8219

RECEIPT REQUESTED



NGUYEN NGA N
 2704 WHITE FALLS DR
 PEARLAND TX 77584-5588

Property Account Number
 75023922021

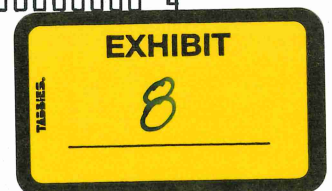
Total Amount Due \$0.00
As of March, 2024

IF PAID IN	AMOUNT DUE
APR	\$0.00
MAY	\$0.00
JUN	\$0.00

AMOUNT PAID

Please Make Checks Payable To:
Kristin R. Bulanek, TAC

99990228415 2023 032024 0000000000 0000000000 0000000000 4



GO BACK

Account: 75023922021

TOTAL DUE \$0.00

E-STATEMENT

Basic Information

OWNER NGUYEN NGA N 2704 WHITE FALLS DR PEARLAND, TX 77584-5588	TYPE Real	LOCATION 0002704 WHITE FALLS DR	LEGAL SHADOW CREEK RANCH SF-39B (PEARLAND) BLOCK 2 LOT 21
ACRES 0.173	YEAR BUILT 0	UDI	LINKS Tax Estimator
2023 VALUES Land: 72,570 Improvement: 383,111	2023 EXEMPTIONS Homestead: 100,000 Homestead: 74,657 Cap Adjustment: 82,396	2022 EXEMPTIONS Homestead: 67,870 Cap Adjustment: 56,400	

Property Tax Record

Sort year by: Descending

show: Current / Due

All Years

PAYMENT HISTORY / RECEIPTS

2023

DUE AMOUNT \$0.00

2022

DUE AMOUNT \$0.00





This form has been approved by the Minnesota Department of Revenue for use when filing for the State of Minnesota M-1PR Property Tax Refund. Read information below on eligibility. File by August 15, 2024.

Taxpayer or Agent
 NGA THI NGOC NGUYEN
 LOBSANG YESHI
 23360 OAKDALE DR
 ROGERS MN 55374
Owner
 N T N NGUYEN & L YESHI
 06-119-23-13-0002
Property ID No.
 23360 OAKDALE DR
Property Address

Use these amounts when filling out Form M-1PR to see if you are eligible for one or both of the refunds available
 Line 1: \$5,518.98
 Line 2: \$5,553.04
 Line 5: \$5,518.98

If this box is checked you owe delinquent taxes and may not apply for the Property Tax Refund. Call Hennepin County at (612) 348-3011 for amount due.

Taxes Payable 2023	
HOMESTEAD	HOMESTEAD
\$12,000	0
\$449,000	\$456,100
\$449,000	\$456,100

Property Tax Refund Information
 If you owned and occupied this property on January 2, 2024 as your homestead, you may qualify for a property tax refund. In addition, Minnesota homeowners whose property taxes increased by more than 12 percent over last year may be eligible for a special property tax refund. To determine if you are eligible for the Minnesota property tax refund or the special property tax refund, read the Minnesota Income Tax Form M-1PR instructions and fill out Form M-1PR. For additional information, visit Minnesota Department of Revenue web site at <http://www.taxes.state.mn.us>



Property information

2024 Assessment (For Taxes Payable 2025)

Tax Information

Property ID: 06-119-23-13-0002
 Address: 23360 OAKDALE DR
 Unit No:
 Municipality: CORCORAN
 Owner: N T N NGUYEN & L YESHI
 Taxpayer name and address: NGA THI NGOC NGUYEN
 LOBSANG YESHI
 23360 OAKDALE DR
 ROGERS MN 55374

Subrecord No. 1
 Improvement Amount: \$0
 Property Type: RESIDENTIAL
 Homestead Status: NON-HOMESTEAD
 Exempt or Deferred:
Values
 Land: \$151,100
 Building: \$354,100
 Machinery: \$0
 Totals: \$505,200
 Less Qualified Improvements: \$0
 Less Veterans Exclusion: \$0
 Less Homestead Exclusion: \$0
 Market Value: \$0
 Exclusion: \$0
 Total Taxable Market Value: \$505,200

Property tax information
taxinfo@hennepin.us
 Phone: 612-348-3011
 A-600 Government Center
 300 South 6th Street
 Minneapolis, MN 55487
 M-F, 8 a.m. to 4:30 p.m.
[Map](#)

Useful links
[Change taxpayer information](#)
[Homestead information](#)
[Pay property taxes](#)



Search: All Records By: Address Enter an address or address range such as 100-200 Main St
 Use Advanced Address Search

Home > Search Results > Record Details > Permit

Permit Details: P23-0908
 Property Address: 23360 OAKDALE DR, ROGERS, MN 55374 | Parcel: 0611923130002

Property Owner: N T N Nguyen & L Yeshi
 Summary Information
 > 8 Inspection(s) Found

Jump To: Permit Information | Process Step Information | Document Summary | Review Comments/Concerns | Inspection Information | Fees & Payments | Attachments | Applicant Information | Owner Information | Construction Details

Permit Information

Number	P23-0908	Category Status	Single Family	Amount Due	\$0.00
Type	Alter-Remod-Baseament Finish	Expires Date	FINALED	Permit - Alter-Remod-Baseament Finish Total	
Applied Date	12/01/2023	Finalized Date	07/28/2024		
Issue Date	01/16/2024		01/30/2024		

Work Description
 Expanding the existing recreation room into a larger room (45 ft x 25ft) room that will be used for private meditation classes (attendees by invitation only and capped at 25 people). The existing recreation room was located between the garage and the main living area with only a wooden wall separating that room from the garage. The extension work will remove that wooden wall and the remodeling work will be doing the wooden wall separating the recreation room and garage. 2. Installing a header at the former wooden wall. 3. Installing an additional window in the recreation room. 4. Disabling the existing garage door and installing a wooden wall. 5. Insulation works at the ceiling and walls. 6. Installing wooden paneling on the walls. 7. Installing a vinyl flooring.

Stipulations
 No Data to Display

Project
 J2023-0825
[Go to project](#)

Process Step Information

Step Number	Step Display Name	Status	Date Step Started	Date Step Completed	Date Step Due
1	Alter-Remod-Baseament Finish Permit Reviews	Approved	12/1/2023	1/16/2024	View

Document Summary

Click to use this website you agree to the [BS&A Terms of Service](#)





November 8, 2022

Michelle Borowicz
DBA Liberty Dog Grooming LLC
23360 Oakdale Drive
Corcoran, MN 55374

Re: Administrative Permit for a Special Home Occupation
PID # 06-119-23-13-0002
23360 Oakdale Drive

Michelle,

This letter is written to inform you that the above-referenced permit is approved as of November 8, 2022, pursuant to Section 1030.100 and Section 1070.060 of the Zoning Ordinance, subject to the following conditions:

1. An administrative permit is approved based on the information and plans submitted to the City by Michelle Borowicz on September 29, 2022 and October 5, 2022.
2. No more than 5 customers are allowed at the property (10 vehicle trips) per day.
3. Overnight boarding of dogs or other animals is not allowed. This does not apply to pets that reside at the property.
4. Dogs are not allowed to be outside unleashed at the property. This does not apply to pets that reside at the property.
5. No employees are allowed unless they reside at the property.
6. Signage for the business is not allowed at the residential property.
7. Review of the home occupation will occur roughly once every three years. The next citywide review of home occupations is anticipated to occur in 2024. The City may revoke or modify an administrative permit upon a finding that conditions have changed to warrant revocation or modification of the license.
8. This permit is not transferable to a different owner or to a different location within Corcoran. Such material changes will need to be reviewed under a new home occupation license application.

If you have any questions, please contact me at 763-338-9288 or ndavis@corcoranmn.gov.

Sincerely,

Natalie Davis McKeown

Natalie Davis McKeown
Planner

Administrative Offices
8200 County Road 116
Corcoran, MN 55340
Phone: 763.470.2288

Police Department Offices
8200 County Road 116
Corcoran, MN 55340
Phone: 763.470.8066

Public Works Offices
9100 County Road 19
Corcoran, MN 55357
Phone: 763.470.7657

EXHIBIT

13



EXHIBIT

14

TABULET

March 20, 2024

Mayor Thomas McKee
8200 County Rd. 116
Corcoran, MN 55340

Councilor Jonathan Bottema
8200 County Rd. 116
Corcoran, MN 55340

Councilor Jeremy Nichols
8200 County Rd. 116
Corcoran, MN 55340

Councilor Alan Schultz
8200 County Rd. 116
Corcoran, MN 55340

Councilor Dean Vehrenkamp
8200 County Rd. 116
Corcoran, MN 55340

RE: Resolution for Khacholing Center

Dear Mr. Mayor and Council:

Enclosed and submitted for the city council meeting of March 28, 2024 are signatures obtained from Corcoran residents that oppose the issuance of an interim use permit for a conditional home occupation license for the Khacholing Center at 23360 Oakdale Drive, Corcoran, Minnesota.

Very truly yours,

Michael and Kari Horton
10512 Maple Lane
Corcoran, MN 55374

Brian Fieber
10630 Maple Lane E.
Corcoran, MN 55374

Lance and Molly Knorr
10500 Maple Lane
Corcoran, MN 55374

Larry and Connie LaBelle
10634 Maple Lane E.
Corcoran, MN 55374

Arnold and Ellen Bethke
10638 Maple Lane E.
Corcoran, MN 55374

Justin and Hillary Ray
10642 Maple Lane E.
Corcoran, MN 55374

Jillette Olson & Cory Hersom
10646 Maple Lane E.
Corcoran, MN 55374

Mark and Eunice Djerf
10647 Maple Lane E.
Corcoran, MN 55374

Joel Sandstrom
10643 Maple Lane E.
Corcoran, MN 55374

John and Paula Ray
10639 Maple Lane E.
Corcoran, MN 55374

Paul and Jillian Deglmann
10635 Maple Lane E.
Corcoran, MN 55374

Eric and Catherine Lindvall
10517 Maple Lane
Corcoran, MN 55374

Myron and Patricia Bergslien
10627 Maple Lane E.
Corcoran, MN 55374

Kurt and Kathy Rhode
10503 Maple Lane
Corcoran, MN 55374

John and Jody Holand
10420 Co. Rd. 19
Corcoran, MN 55375

Laura & Joseph Zelenak
10210 Heather Lane
Corcoran, MN 55374

Michael Beinert
23160 Meadowview Dr.
Corcoran, MN 55374

Greg Malik and Fay Watson
23165 Meadowview Dr.
Corcoran, MN 55374

Michael and Patti Jo McClellan
23190 Meadowview Dr.
Corcoran, MN 55374

Roger & Linda Hersom
23250 Oakdale Drive
Corcoran, MN 55374

Dean Schulte & Pam Krona
10613 Maple Lane
Corcoran, MN 55374

David Jones
10631 Maple Lane E.
Corcoran, MN 55374

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the Interim Use Permit for the CHOL.

Carrie A Brunn
Printed Name

Carrie A. Brunn
Signature

16515 Bechtold Rd - Corcoran, MN 55374
Address

Kathy Bauer
Printed Name

Kathy Bauer
Signature

10525 Bechtold Road Corcoran MN 55374
Address

Mark T. Bauer
Printed Name

Mark T. Bauer
Signature

10525 Bechtold Road. Corcoran, MN. 55374
Address


Randy Reiersen
Printed Name

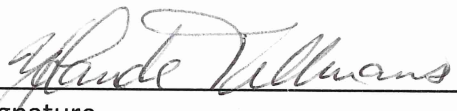
Randy Reiersen
Signature

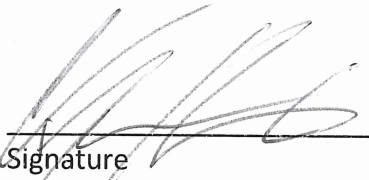
22341 Rush Creek Dr Corcoran, Mn 55374
Address

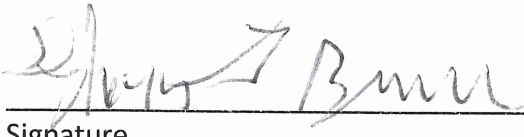
RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the Interim Use Permit for the CHOL.

Jacqueline Reiersen 
Printed Name Signature
22314 Rush Creek Drive Corcoran MN 55374
Address

Yolande Tillmans 
Printed Name Signature
22317 Rush Creek Dr. Corcoran, MN 55374
Address

Clayton Hennig 
Printed Name Signature
10700 Bechtold Rd Rogers MN 55374
Address

Tom Brunin 
Printed Name Signature
10515 Bechtold Rd Rogers MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Laura Kimbrough
Printed Name

Laura Kimbrough
Signature

20920 Oakdale Drive, Rogers, MN 55374
Address

Andrew Kimbrough
Printed Name

[Signature]
Signature

20920 Oakdale Dr. Rogers, MN 55374
Address

Thomas Justen
Printed Name

Thomas Justen
Signature

21325 Oakdale Dr. Rogers, MN 55374
Address

Bev Justen
Printed Name

Bev Justen
Signature

21325 OAKDALE
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the Resolution and I oppose the City of Corcoran granting the CHOL.

GREG PADDEN
Printed Name


Signature

10355 HEATHER LN
Address

CORCORAN


LISA PADDEN
Printed Name


Signature

10355 HEATHER LN
Address

CORCORAN

Faye Watson
Printed Name


Signature

23165 Meadow View Dr. Corcoran MN 55374
Address

GREGG MALIK
Printed Name


Signature

23165 MEADOWVIEW DR
Address

CORCORAN MINNESOTA 55374

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the Resolution and I oppose the City of Corcoran granting the CHOL.

Michaelene Preston Michaelene Preston
Printed Name Signature

23195 Meadowview Dr, Corcoran, MN.
Address

Darrell Preston Darrell Preston
Printed Name Signature

23195 Meadowview Dr, Corcoran, MN
Address

ANN THURN Ann Thurn
Printed Name Signature

23140 OAKDALE DR CORCORAN, MN
Address

TERRY THURN Terry Thurn
Printed Name Signature

23140 OAKDALE DR, CORCORAN, MN
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Myron Bergslien
Printed Name

Myron Bergslien
Signature

10627 Maple Lane, Corcoran MN 55374
Address

Dean Schulte
Printed Name

Dean Schulte
Signature

10613 Maple Lane Corcoran MN 55374
Address

Ram Schulte
Printed Name

Ram Schulte
Signature

10613 Maple Lane Corcoran MN 55374
Address

ERIC LINDAVI
Printed Name

Eric Lindavi
Signature

10517 Maple Lane Corcoran, MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Catherine Lindvall Candvall
Printed Name Signature

10517 Maple Lane, Corcoran MN 55374
Address

Benjamin Lindvall Ben Rendino
Printed Name Signature

10517 Maple Lane, Corcoran MN 55374
Address

Brian Fieber Brian Fieber
Printed Name Signature

10630 maple LN Rogers 55374
Address

Shannon Bowerman Shannon Bowerman
Printed Name Signature

10630 Maple Ln Rogers MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Jake Miller Jake Miller
Printed Name Signature
9820 Lily Pond LN, Corcoran, MN 55340
Address

Nicole Miller Nicole Miller
Printed Name Signature
9820 Lily Pond Lane Corcoran, MN 55340
Address

Brian Dixon Brian Dixon
Printed Name Signature
21410 Co. Rd. 30 Corcoran MN 55340
Address

Rosemary Dixon Rosemary Dixon
Printed Name Signature
21410 Co. Rd. 30 Corcoran MN 55340
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Dana Brainerd Dana Brainerd
Printed Name Signature

9901 Lily Pond Ln, Corcoran
Address

Thomas Rabusch Thomas Rabusch
Printed Name Signature

9913 Lily Pond Lane, Corcoran
Address

Annette Rabusch Annett M Rabusch
Printed Name Signature

9913 Lily Pond Lane, Corcoran
Address

Jon Maack Jon Maack
Printed Name Signature

9916 Lily Pond Lane, Corcoran
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Michael Horton Michael Horton
Printed Name Signature

10512 Maple Lane, Corcoran MN 55374
Address

Wendell Brainerd Wendell Brainerd
Printed Name Signature

9901 Lily Pond Ln Corcoran MN
Address

Kevin Brainerd Kevin Brainerd
Printed Name Signature

9901 Lily Pond Ln. Corcoran MN 55340
Address

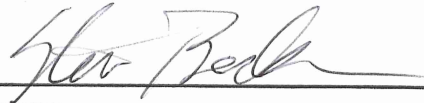
Kathryn Brainerd Kathryn Brainerd
Printed Name Signature

9901 Lily Pond Ln Corcoran MN
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029


I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Steve Becker
Printed Name


Signature

10705 Triden Ridge Circle Corcoran
Address

Joel Sandstrom
Printed Name


Signature

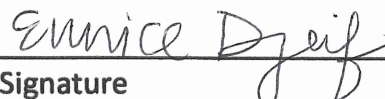
10643 Maple Lane East, Corcoran, MN
Address

Mark Djerf
Printed Name


Signature

10647 Maple Ln E, Corcoran, MN
Address

Eunice Djerf
Printed Name


Signature

10647 Maple Ln. E Corcoran MN
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Paul Deglmann

Printed Name

Paul Deglmann

Signature

10635 Maple Lane East, Corcoran, MN 55374

Address

Jill Deglmann

Printed Name

Jill Deglmann

Signature

10635 Maple Lane East, Corcoran MN 55374

Address

Darlene Noreen & Loren

Printed Name

Darlene Noreen

Signature

10760 County Road 19 Corcoran

Address

Loren Noreen

Printed Name

Loren Noreen

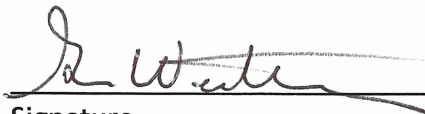
Signature


10760 County Road 19 Corcoran MN

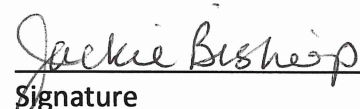
Address


RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Glenn Wantorick 
Printed Name Signature
19625 Patrick Pl Corcoran MN 55340
Address

Lynn Wantorick 
Printed Name Signature
19625 Patrick Pl Corcoran, MN
Address

Jackie Bishop 
Printed Name Signature
10770 County Rd 19, Corcoran, MN 55357
Address

Reley Bishop 
Printed Name Signature
10770 County Rd 19, Corcoran, MN 55357
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the Interim Use Permit for the CHOL.

Kathryn Smith
Printed Name

Kathryn Smith
Signature

21085 Sunnyhill Lane, Corcoran, Mn 55340
Address

Philp Schmitz
Printed Name

[Signature]
Signature

10845 Bechtold rd, Corcoran MN 55374
Address

Katelyn Schmitz
Printed Name

Kater Schmitz
Signature

10845 Bechtold Rd, Corcoran MN 55374
Address

Michael Bednert
Printed Name

[Signature]
Signature

23160 Meadowview Dr. Corcoran, MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the Interim Use Permit for the CHOL.

JOSEPH M. WEISHAAR

Printed Name

Joseph M Weishaar

Signature

20865 SUNNY HILL LANE CORCORAN MN 55340

Address

David Maatz

Printed Name

David Maatz

Signature

20935 Sunny Hill Lane Corcoran, MN 55340

Address

Cora Walker

Printed Name

Cora Walker

Signature

21045 Sunny Hill Ln Corcoran MN 55341

Address

SHELDON SMITH

Printed Name

Sheldon Smith

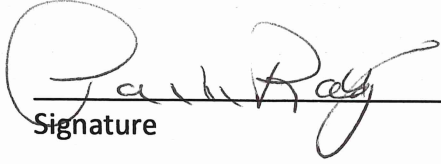
Signature

21085 SUNNYHILL LN 55340

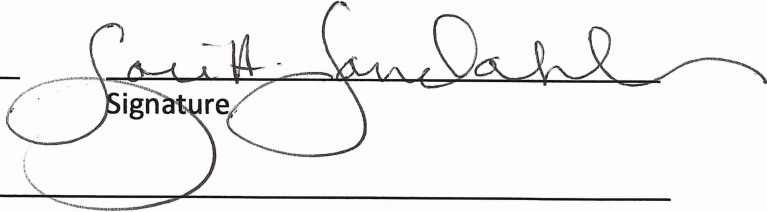
Address

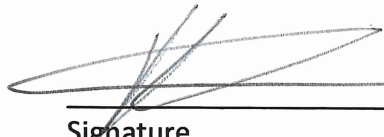
RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

PAULIA RAY 
Printed Name Signature
10039 MAPLE CN CONCORAN 55374
Address

JEFFREY SANDAHL 
Printed Name Signature
10810 CO RD 19
Address

Lori Sandahl 
Printed Name Signature
10810 CO RD 19
Address

Chad Hyppert 
Printed Name Signature
23425 Cty 117
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Kristen Ophoven
Printed Name

Kristen Ophoven
Signature

19315 Co Rd 30 Corcoran
Address

Jeff Ophoven
Printed Name

Jeff Ophoven
Signature

19315 Co Rd 30 Corcoran
Address

KAREN Rzeszutek
Printed Name

Karen Rzeszutek
Signature

7445 Fir Lane Corcoran 55340
Address

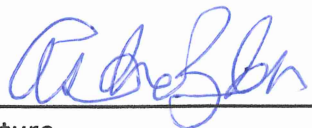
Chris Rzeszutek
Printed Name

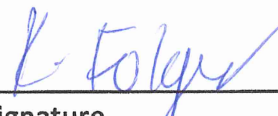
Chris Rzeszutek
Signature

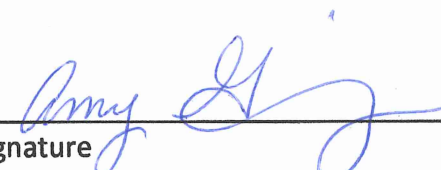
7445 Fir Lane Corcoran 55340
Address

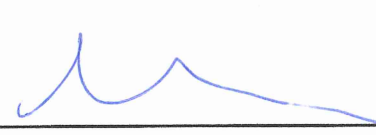
RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Andrea Zurdema 
Printed Name Signature
23811 Meadow Creek Dr. Corcoran MN 55357
Address

Katie Folger 
Printed Name Signature
23821 Meadow Creek Dr. Corcoran, 55357
Address

Amy Grossing 
Printed Name Signature
23831 Meadow Creek Dr., Loretto, MN 55357
Address

Angie Reel 
Printed Name Signature
23801 Meadow Cr 55357
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Benjamin Hagemann
Printed Name

[Signature]
Signature

21415 Circle Lane Corcoran MD
Address

Colleen Hagemann
Printed Name

[Signature]
Signature

21415 Circle W Corcoran, MD 55340
Address

Craig Teetzel
Printed Name

[Signature]
Signature

10164 Trail Haven Rd. Corcoran 55374
Address

Beth Singh
Printed Name

[Signature]
Signature

10210 Trail Haven Rd Rogers, MD 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

David Thomson
Printed Name

[Signature]
Signature

9837 Trail Haven Rd.
Address

Corcoran, MN 55340

Jeff Winters
Printed Name

[Signature]
Signature

9710 Trail Haven Rd
Address

Corcoran MN 55340

MIKE KERBER
Printed Name

[Signature]
Signature

9714 TRAIL HAVEN
Address

CORCORAN

Linda Trippel
Printed Name

[Signature]
Signature

21400 Circle Lane
Address

Corcoran MN 55340

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Dave* Suzanne Thomson
Printed Name

Suzanne Thomson
Signature

9837 Trail Haven Rd
Address

Leo Ott
Printed Name

Leo Ott
Signature

9933 Trail Haven Rd Corcoran, MN 55340
Address

Heidi Fuchs
Printed Name

Heidi Fuchs
Signature

9945 Trail Haven Rd Corcoran MN 55340
Address

TONY MAGURAK
Printed Name

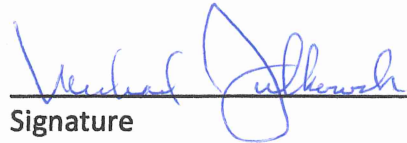
Tony Magurak
Signature

2580 SICORA LN CORCORAN 55340
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

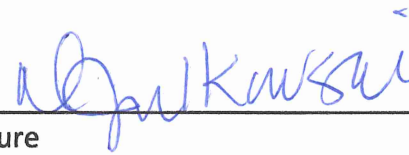
I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Michael Julkowski
Printed Name


Signature

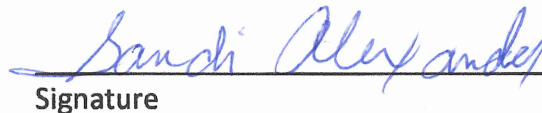
10650 Maple Lane
Address

Danielle Julkowski
Printed Name


Signature

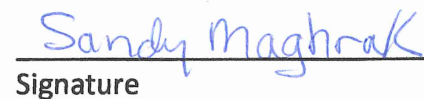
10650 Maple Ln
Address

Sandi Alexander
Printed Name


Signature

10035 Trail Haven
Address

Sandra Maghrak
Printed Name


Signature

21580 Sierra Lane
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Jeff Petrin
Printed Name

Jeff Petrin
Signature

10433 Hage
Address

Steve Bregel
Printed Name

Steve Bregel
Signature

10430 Hage Dr
Address

Daniel Larson
Printed Name

D Larson
Signature

10420 Hage Dr
Address

Mary E. Larson
Printed Name

Mary E Larson
Signature

10420 Hage Dr
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Denise Haechel Denise Haechel
Printed Name Signature

10410 Hage Dr Corcoran
Address

Karry Curtis Karry L Curtis
Printed Name Signature

10415 Hage Dr Corcoran
Address

Janelle Savitski Janelle Savitski
Printed Name Signature

10322 Hage Drive Corcoran
Address

Mike Socha Mike Socha
Printed Name Signature

10315 Hage Drive, Rogers, MN
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

LEE BENNETT

Printed Name



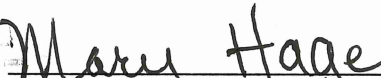
Signature

10208 HAGE DR

Address

Mary Hage

Printed Name



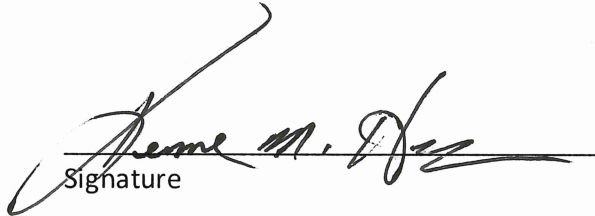
Signature

10218 Hage DR

Address

Den Hage

Printed Name



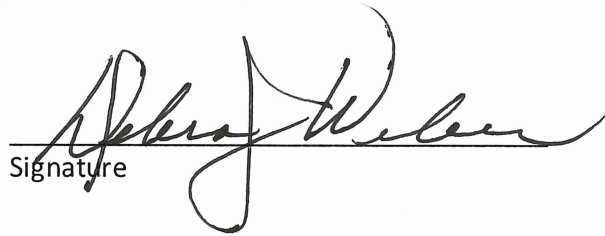
Signature

10218 HAGE DR

Address

Debra J Weber

Printed Name



Signature

10217 Hage Dr

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

DIANNE ZYLLA Dianne Zylla
Printed Name Signature

10103 Hage DR
Address

Jeanne Catton Jeanne Catton
Printed Name Signature

10200 Hage Dr.
Address

Douglas A. Fione Douglas A. Fione
Printed Name Signature

10211 Hage DR Corcoran MN 55374
Address

Stephen Rohr SR
Printed Name Signature

10110 Hage Dr. Corcoran MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Donald W. Weber
Printed Name

Donald W. Weber
Signature

10217 Stage Dr
Address

CARISA HALTER
Printed Name

Carisa Halter
Signature

10180 HEATHER LN.
Address

Derrick Johnson
Printed Name

Derrick Johnson
Signature

23140 Meadowview Drive
Address

Chaz Bormes
Printed Name


Chaz Bormes
Signature

10205 Heather Ln
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Ashlie Katayama
Printed Name


Signature

10290 Bechtold Rd Rogers MN 55374
Address

Jo Katayama
Printed Name


Signature

10290 Bechtold Rd Corcoran MN 55374
Address

Dianna Kolasa
Printed Name

Dianna Kolasa
Signature

22290 Oakdale Dr. Rogers MN 55374
Address

Amanda Kolasa
Printed Name

Amanda Kolasa
Signature

22290 Oakdale Dr. Corcoran MN 55374
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Patti-Jo McClellan
Printed Name


Signature


23190 Meadowview Dr Corcoran, MN. 55374
Address

Michael A. McClellan
Printed Name


Signature

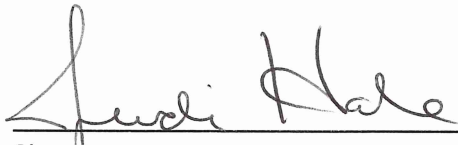
23190 Meadowview Drive Corcoran, MN. 55374
Address

Brian Loftus
Printed Name


Signature

8645 Trail House Rd Corcoran 55340
Address

Judi Hale
Printed Name


Signature

8825 Cain Rd Corcoran MN 55340
Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Roger Henson
Printed Name

Roger Henson
Signature

23250 Oakdale Dr
Address

LINDA HERSON
Printed Name

Linda Herson
Signature

23250 Oakdale Drive Rogers MD 21051
Address

Carrie Kowalski
Printed Name

Carrie Kowalski
Signature

23745 Meadow Creek Dr. 55357
Address

Printed Name

Signature

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Kyle McQueeney [Signature]
Printed Name Signature

23840 Meadowcreek Drive 2nd fl to
Address min

JACOB ROWANSKI [Signature]
Printed Name Signature

23745 Meadows Creek Dr
Address

Printed Name Signature

Address

Printed Name Signature

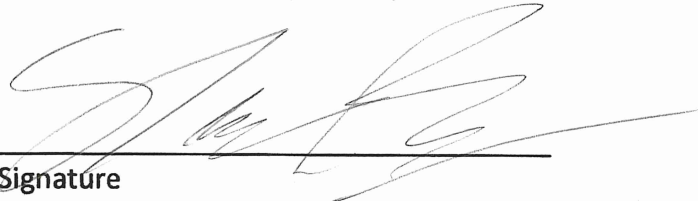
Address

RE: Khocholing Center Conditional Home Occupation License -- Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I am not in favor of the City of Corcoran granting the CHOL.

Shane Rhode

Printed Name



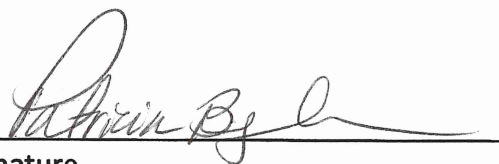
Signature

10503 Maple LN Corcoran MN 55374

Address

Patricia Bergsted

Printed Name



Signature

10627 Maple Ln

Address



Printed Name



Signature

10627 Maple Ln

Address

Printed Name

Signature

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

David S. Hale
Printed Name

David S. Hale
Signature

8825 Cain Rd Corcoran, MN 55340
Address

Tony Mazz
Printed Name

Tony Mazz
Signature

20017 DASSEL LN Rogers mn 55374
Address

Tom Kolasa
Printed Name

Tom Kolasa
Signature

22290 OAKDALE DR
Address

Printed Name

Signature

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Kristina Schunk _____ [Signature] _____
Printed Name Signature

9800 Lily Pond Ln _____
Address

David Hoxton _____ [Signature] _____
Printed Name Signature

9800 Lily Pond Ln _____
Address

Printed Name Signature

Address

Printed Name Signature

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Barbara Nystrom
Printed Name

Barbara Nystrom
Signature

9920 Chisholm Trail, Corcoran, MD 55340
Address

JEANINE FALE
Printed Name

Jeanine Fale
Signature

21100 - Co. Rd. 10
Address

Corcoran, MD 55340

Printed Name

Signature

Address

Printed Name

Signature

Address

RE: Khacholing Center Conditional Home Occupation License – Interim Use Permit
City File No. 23-029

I have read the Staff Report and Resolution regarding the Interim Use Permit for a Conditional Home Occupation License (CHOL) for the owners of 23360 Oakdale Drive. Based upon the information provided in the Staff Report, I oppose the City of Corcoran granting the CHOL.

Lance Knorr _____ Lance Knorr _____
Printed Name Signature

10500 Maple Ln, Corcoran MN 55374 _____
Address

Molly Knorr _____ Molly Knorr _____
Printed Name Signature

10500 Maple Ln, Corcoran MN 55374 _____
Address

Printed Name Signature

Address

Printed Name Signature

Address

STAFF REPORT

Agenda Item 8a.

City Council Meeting: March 28, 2024	Prepared By: Natalie Davis McKeown
Topic: Khacholing Center Conditional Home Occupation License - Interim Use Permit (IUP) (PID 06-119-23-13-0002) (City File No. 23-029)	Action Required: Decision

1. Application Request

Lobsang Yang and Nga Thi Ngoc Nguyen, the applicants, requests approval of an Interim Use Permit (IUP) for a Conditional Home Occupation License (CHOL) to teach meditation and Buddhism classes out of their home at 23360 Oakdale Drive.



Figure 1 Site Location

2. Background

The City received a code enforcement complaint in 2023 about a potential place of worship operating out of the residential home at 23360 Oakdale Drive. Staff followed up on this concern and met with the applicant to discuss how the regular use of the property fits within the City Code. The applicant immediately stopped holding in-person classes after speaking with staff and moved forward with the application process to receive proper approvals. In working with the City Attorney, it was determined that even

though the applicant is sharing spiritual teachings out of their house, this does not operate as a place of worship since the house and classes are not open to the public. Instead, the classes require pre-registration and would be subject to an attendance cap.

During the week of 3/4/2024, staff was notified that the applicant appeared to be holding a class. Staff went out to the property and confirmed numerous cars were parked at the property (roughly 18 cars). Staff spoke with the applicant, and it was relayed that the applicant was hosting a spiritual leader visiting from India as a personal guest. This was unrelated to the Khacholing Center and was instead related to a separate foundation in which the applicant participates. During the time this guest was staying with the applicant, many people in the area that knew of him came to the property to visit on an informal basis; however, this did lead to a more formal, even if impromptu, meeting for the foundation.

The applicant is of course able to host guests of a personal nature; however, staff was concerned with the magnitude of the gathering as an impromptu event, and the space was utilized for the purposes of an organization prior to obtaining approval of the IUP. The applicant was asked to reflect on the limitations of the IUP to make sure this approval process made sense for the intended habitual use of the property. The applicant confirmed his intention to follow the limitations outlined in the IUP, and explained this particular event was a one-time occurrence. In the future, such gatherings on the behalf of an organization or institution that the applicant is involved with as a part of his calling (whether or not the organization is specifically Khacholing Center) would be subject to the scope of the IUP approvals as part of his home occupation. The applicant confirmed this was understood.

Staff continued to review this application against the MN State Building Code and with the City Attorney over the last week. At this time, staff believes the application as proposed is best processed as a conditional home occupation license IUP with the understanding the applicant resides and homesteads this property and the regular organizational use of the property involves 25 people or less throughout the week (one class of up to 25 people a week, and one-on-one counseling sessions throughout the week). The Khacholing Center's website has made it clear pre-registration would be required in the event in-person classes resume (as all classes are currently being held online).

3. Planning Commission Review

The Planning Commission held a public hearing for this item at their regular meeting on March 12, 2024. Several comments were received, with many stating concerns such as the amount of traffic that would go to the site, on-site parking, and the potential for larger events to be held at the property. In considering the concerns of the neighborhood, the Planning Commission recommended denial of the land use request (4-1; Brummond nay).

4. Context

Zoning and Land Use

The proposed property is guided for Rural/Ag Residential and zoned Rural Residential (RR). The property has an existing single-family home with an attached and detached garage. The property is not within the Metropolitan Urban Service Area (MUSA).

Surrounding Properties

All surrounding properties are guided Rural/Ag Residential and zoned RR. None of the surrounding properties are located within the MUSA. The property is surrounded by single-family residential and agricultural uses.

Natural Characteristics of the Site

The 2040 Comprehensive Plan's Natural Resource Inventory Areas map shows disturbed woodland on the property. The natural community is not indicated high-quality on the map. The property contains a portion of a larger wetland complex in the rear



Figure 2 Natural Resource Inventory Areas Map

yard, but it was determined the proposed location of the structure will not affect this larger complex. A partial wetland delineation was completed for the proposed project area in the front yard of the property. It was determined there is an incidental wetland (i.e., roadside ditch) in the southwest corner of the study area. Due to the incidental nature, this area would not be subject to wetland regulations.

5. Analysis

Planning staff coordinated review of the request for consistency with the Comprehensive Plan, Zoning Ordinance, City Code requirements, and City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

The City's discretion in approving or denying an IUP for a CHOL is limited to whether the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the permit.

The applicant requests approval to allow weekly classes in meditation and Buddhism at his place of residence. The classes are held on Sundays from 10AM to noon. Per the applicant's narrative, classes will require pre-registration and be limited to 25 people each week. The narrative states that typically there are 10-15 attendees each week, and typically there are 5-10 additional cars at the site on Sunday mornings. The applicant also provides one-on-one counseling services throughout the week. Additionally, the narrative calls out the potential for seldom larger group events. In hearing some of the concerns raised during the public hearing, the applicant submitted a new narrative committing to larger events of no more than 49 people up to three times a year. The narrative explains these events are primarily expected to be held within the

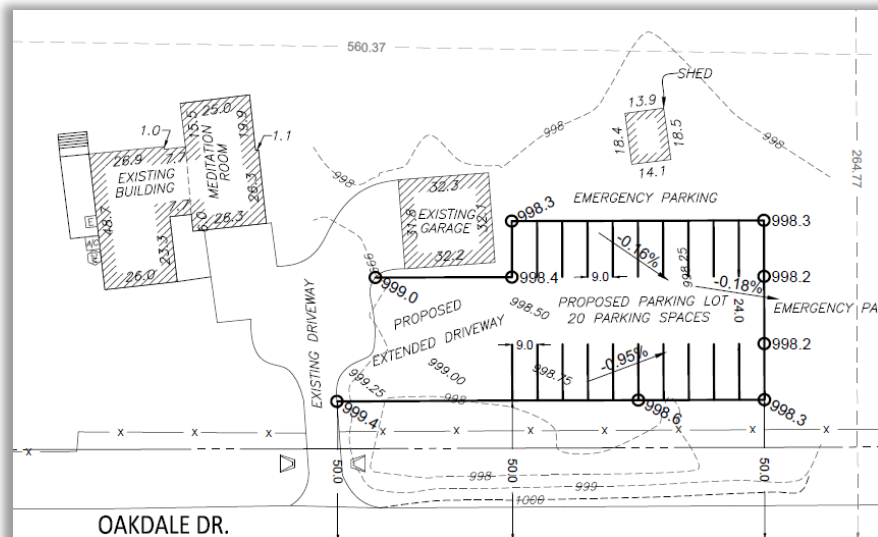


Figure 3 Site Plan with Proof of Parking

meditation hall, but they could also arrange for temporary tents for beverages and temporary toilets as needed.

Section 1030.100 establishes three levels of home occupations: Allowed, Special, and Conditional. Any home occupation that requires more than 2 parking stalls for "customer" parking requires a CHOL which is processed as an IUP. Since 5-10 cars are expected for the weekly class, this use requires a CHOL.

The City Council must consider the following criteria for a CHOL:

- A. *The nature and general character of the geographic area in which the CHOL property is located. The City may consider, in addition to other factors and not by way of limitation, the existing and condition of gravel and paved roads in the area, existence and proximity of CHOL operations to neighboring residences, size of neighboring lots, and use of neighboring properties.*

The Planning Commission found that the frequency and intensity of the proposed use is likely to negatively affect the general character of the geographic area. This is reflected in Option A of Resolution 2024-24 which denies the IUP.

However, staff found that the proposed frequency and intensity of the proposed use is unlikely to negatively affect the general character of the geographic area with conditions of approval to ensure compatibility with the surroundings area. This is reflected in Option B of Resolution 2024-24. The applicant's narrative explains the mediation room used for classes is located within the existing house and is far away from the surrounding neighbors. Oakdale Drive is a paved, minor collector road and can support the proposed traffic.

Parking of vehicles will be accommodated on site and a condition of approval in Option B is that no parking can take place on Oakdale Drive. The applicant provided proof of parking for up to 20 cars should additional parking become necessary to accommodate the IUP approvals on a regular basis. Prior to stopping in-person classes, the applicant states they had roughly 5-6 cars at the property for classes as most attendees carpooled, so staff does not believe it is necessary to require 20 additional parking spaces at this time in addition to the existing driveway.

A condition of approval in the Option B resolution is that parking does not violate the Parking Nuisance section of City Code (Chapter 82, Subd. 4). In order to comply with the City's parking nuisance standards, any vehicle parked in the front yard must be parked on a paved, gravel, or otherwise improved parking surface or driveway area. Should the applicant need to accommodate overflow parking for a larger event, parking on an unimproved surface can only occur in the back yard. If the City documents or the applicants find a need to expand the parking on site to prevent parking on Oakdale, the applicant must submit plans for the driveway expansion, which will include a wetland delineation process per the City Engineering memo. Approval of the driveway expansion would be handled administratively.

Staff provides language in Option B of the resolution that would allow for larger events of up to 49 people up to 3 times a year, per the applicants revised narrative. The applicant's narrative explains the mediation room would still likely be the main location of larger events, but outdoor tents and portable toilets would be arranged for as necessary.

- B. *Consideration shall be made for potential property devaluation of adjacent and surrounding properties.*

The Planning Commission the proposed use could potentially devalue adjacent and surrounding properties. Staff found that once-a-week classes occurring within the existing house seems unlikely to lead to property devaluation of adjacent and surrounding properties. Larger events will be seldom.

- C. *Nuisance factors shall be considered, including but not limited to sight, odor, light, glare, and noise, and any other nuisance factors that may result from issuance of the CHOL.*

The Planning Commission found that there are nuisance factors of concern related to noise, sight, and parking. Staff also noted some noise may be generated, but that gatherings with friends and family can also generate noise. No exterior lighting is proposed. Sight and odor nuisances are not expected.

- D. *Environmental concerns, including but not limited to drainage, wastewater, wells, and wetland issues.*

The Planning Commission determined there was not enough information provided by the applicant to determine there are no environmental concerns as it relates to drainage, wastewater, wells, and wetland issues.

The City Engineering memo notes that a wetland delineation will be required before a driveway expansion occurs as the proof of parking could potentially impact a wetland. A wetland delineation will define the boundary of the potential wetlands on the site to determine any wetland impacts. If there are wetland impacts, these will need to go through an approval process, and the applicant may be told to explore alternative options. It is possible a driveway expansion may actually need to be located to the west or north of the existing driveway. However, there appears to be enough space to accommodate the parking in either scenario. The memo also contains a condition to ensure a final grading plan is submitted should the driveway expansion occur in the future, and this will confirm drainage is handled to avoid potential negative consequences.

- E. *Compliance with Section 1030.020 (Accessory Buildings, Structures, Uses, and Equipment) of the Zoning Ordinance and with other relevant Code sections.*

The standards in Section 1030.020 are not relevant to this request.

- F. *Impact on the neighboring properties shall be considered before issuing a CHOL.*

The Planning Commission determined the proposed use would have a negative impact on the neighboring properties, and therefore recommended denial of issuance for the CHOL.

Staff finds that the proposed CHOL for meditation and Buddhism classes are unlikely to result in a negative impact to the neighborhood, particularly should conditions be added to ensure compatibility with the use. No parking will be allowed on Oakdale Drive and must be accommodated on site. Classes and events will primarily occur within a large meditation room of the house (previously used as a recreational room). Classes are once-a-week for a couple of hours. Larger events are expected to be seldom. The Option B resolution limits the frequency of larger events to 3 times a year per the applicant's revised narrative.

6. Recommendation

The Planning Commission recommended denial of the IUP.

The City Council should determine whether standards can be added to the IUP that mitigate the magnitude and compatibility of the use to fit within a residential neighborhood.

If City Council does not find that conditions to limit the use are not sufficient to protect the wellbeing of the neighborhood and ensure compliance with the Zoning Ordinance, the City Council should approve Resolution 2024-24 Option A.

Should the Council determine conditions can be added to the IUP, staff prepared Resolution 2024-24 Option B as a starting point for proposed findings and standards to approve the IUP.

IUPs are reviewed administratively at least every 3 years to confirm ongoing compliance. Additionally, IUPs can be revoked should conditions of approval be violated, or IUPs can be modified should the City find a need at a later date.

Attachments:

1. Resolution 2024-24 Denying the IUP (Option A: Planning Commission Recommendation)
2. Resolution 2024-24 Approving the IUP (Option B: Staff Recommendation)
3. Applicant Narrative
4. City Engineering Memo dated January 24, 2024
5. Public Comments
6. Site Plan

RESOLUTION NO. 2024-24

Motion By:
Seconded By:

**A RESOLUTION DENYING AN INTERIM USE PERMIT FOR A CONDITIONAL HOME
OCCUPATION LICENSE FOR LOBSANG YESHI AND NGA THI NGOC NGUYEN AT 23360
OAKDALE DRIVE (PID 06-119-23-13-0002) (CITY FILE 23-029)**

WHEREAS, Lobsang Yeshi and Nga Thi Ngoc Nguyen, the applicants, request approval of an interim use permit for a conditional home occupation license (CHOL) to allow weekly meditation and Buddhism classes, one-on-one counseling, and occasional larger events under the name "Khacholing Center" on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the interim use permit for a conditional home occupation license at a duly called Public Hearing and recommended denial, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does deny the request based on the following findings of fact:

1. The following standards in Section 1030.100, Subd. 7 and Section 1070.030 have not been met. Specifically:
 - a. The frequency and intensity of proposed offering of organizational services will negatively affect the natural and general character of the geographic area.
 - b. The frequency and intensity of the proposed use could devalue adjacent and surrounding properties.
 - c. The proposed frequency and intensity of the use is likely to generate nuisance conditions related to parking and noise. The number of people and vehicles coming to the site on a regular basis is likely to endanger the public health, safety, morals or comfort of the community and could be injurious to the use and enjoyment of other property in the immediate vicinity.
 - d. The applicants have not provided enough information to determine there are no environmental concerns such as but not limited to drainage, wastewater, and wetland issues related to this project.
 - e. The home occupation will likely have a negative impact on neighboring properties. The number of vehicles requiring parking at the site and traffic generated by the proposed use is excessive for a residential neighborhood.
 - f. The operation could lead to additional demands on public services or facilities and adding conditions to limit the use will not sufficiently ensure compliance with the performance standards of the City Code and Zoning Ordinance.

RESOLUTION NO. 2024-24

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

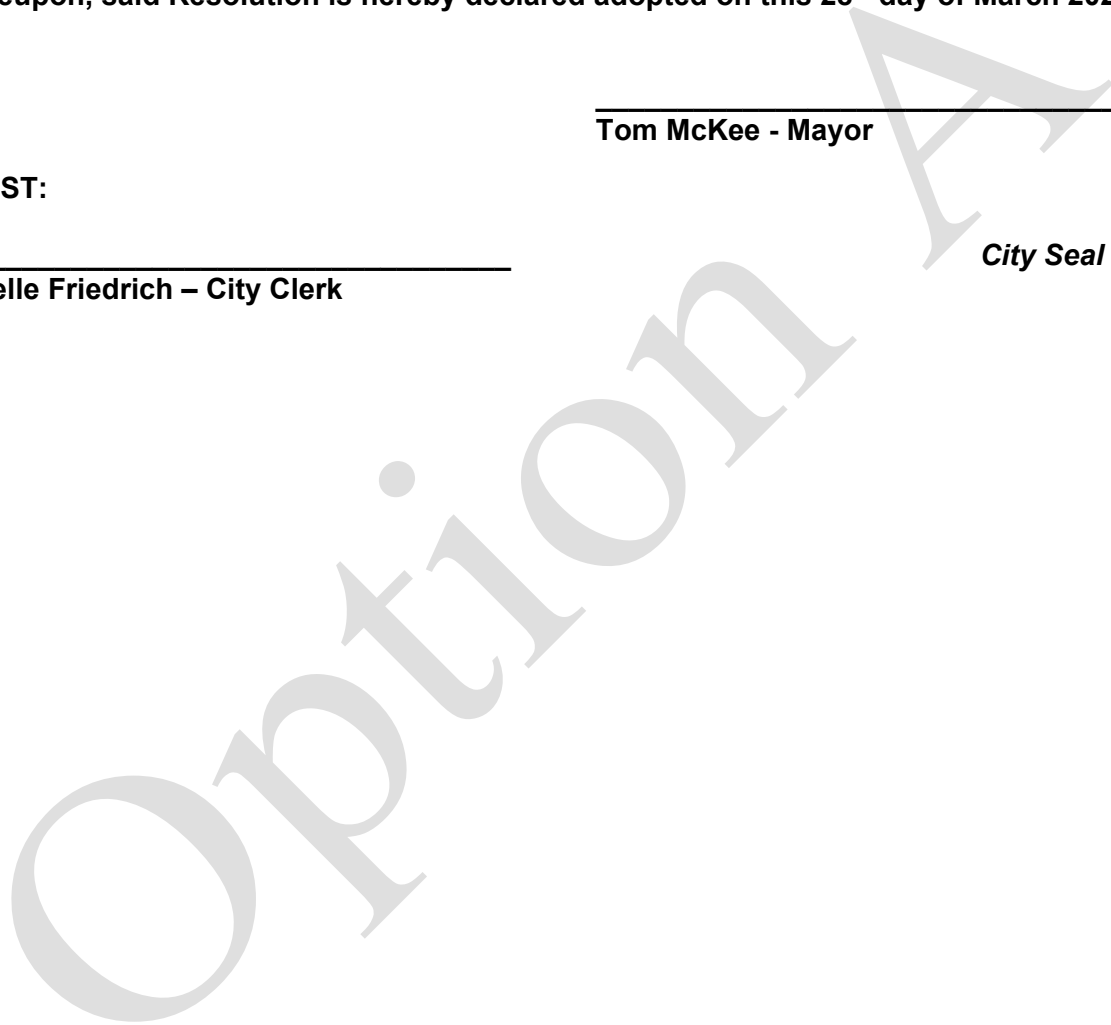
Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal



RESOLUTION NO. 2024-24

ATTACHEMENT A

The East 560.37 feet of the South 264.77 feet of the West 1129 feet of the Southwest Quarter of the Northeast Quarter (SW $\frac{1}{4}$ of NE $\frac{1}{4}$) of Section Six (6), Township One Hundred Nineteen (119) North, Range Twenty-Three (23) West of the Fifth Principal Meridian, Hennepin County, Minnesota.

Abstract

Option A

RESOLUTION NO. 2024-24

Motion By:
Seconded By:

A RESOLUTION APPROVING AN INTERIM USE PERMIT FOR A CONDITIONAL HOME OCCUPATION LICENSE FOR LOBSANG YESHI AND NGA THI NGOC NGUYEN AT 23360 OAKDALE DRIVE (PID 06-119-23-13-0002) (CITY FILE 23-029)

WHEREAS, Lobsang Yeshi and Nga Thi Ngoc Nguyen, the applicants, request approval of an interim use permit for a conditional home occupation license (CHOL) to allow weekly meditation and Buddhism classes, one-on-one counseling, and occasional larger events under the name “Khacholing Center” on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the interim use permit for a conditional home occupation license at a duly called Public Hearing and recommends approval, and;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request, subject to the following findings and conditions:

1. An interim use permit is approved, in accordance with the application materials received by the City on October 26, 2023, with additional material received January 4, 2024, and January 25, 2024, except as amended by this resolution.
2. The Zoning Ordinance allows Conditional Home Occupation Licenses and the applicant shall comply with all home occupation standards, except as specifically modified per this resolution.
3. The applicant shall comply with all conditions of the City Engineer’s memo dated January 24, 2024.
4. The Interim Use Permit for the Conditional Home Occupation License is issued to Lobsang Yang and Nga Thi Ngoc Nguyen, for the operation of “Khacholing Center.” This permit is non-transferable. The Permit shall terminate upon any one of the following:
 - a. If the applicant ceases operations.
 - b. If property ownership changes.
 - c. If neither individual to whom the license has been issued ceases to live at the subject premises.
5. The Conditional Home Occupation License is approved based on the finding that the standards in Section 1030.100, Subd. 7 and Section 1070.030 have been met. Specifically:
 - a. The applicant requests the conditional home occupation license to provide once-a-week classes on meditation and Buddhism, one-on-one counseling services, and infrequent larger events. Classes and events will primarily be held in an existing room of the house.

RESOLUTION NO. 2024-24

The operation has no employees. The natural and general character of the geographic area is not likely to be negatively affected by the limited operations of the center that will occur on the property. Oakdale Drive is a paved, minor collector roadway that can support the proposed traffic. Parking will be required to be accommodated on site.

- b. There is nothing to indicate that the proposed use would devalue adjacent and surrounding properties.
 - c. The proposed use is expected to be primarily held in a room within the home. It is not expected this use will generate any nuisance conditions related to odor, light, or glare. Some noise is expected related to people on the property similar to that of other property owners holding regular gatherings with friends and family.
 - d. There are no environmental concerns, including but not limited to drainage, wastewater, wells and wetland issues related to this project. Should it be determined the driveway must be expanded at a later date to accommodate additional vehicles, a wetland delineation and final grading plan will be reviewed and approved administratively at that time to confirm no environmental impacts.
 - e. The home occupation appears unlikely to have a negative impact on neighboring properties. Parking must be accommodated on site, and a majority of the approved activities will be within a room of the house. Larger events are expected to be seldom.
 - f. The application for a CHOL is consistent with the Comprehensive Plan, public facilities, and capital improvement plans. The business will be conducted in an enclosed building and will not generate any nuisance conditions that would endanger the public health, safety, morals or comfort of the community nor will it be injurious to the use and enjoyment of other property in the immediate vicinity. The operation does not demand any additional public services or facilities and conforms to the performance standards of the Zoning Ordinance.
6. The home occupation must comply with the following standards:
- a. No new signage for the home occupation is proposed or approved. Any new signage will require an amendment to the Interim Use Permit for the Conditional Home Occupation License.
 - b. Classes of up to 25 people are allowed once per week. For the purposes of this approval, the term “classes” includes gatherings and meetings related to or associated with the Khacholing Center or organizations of a similar nature.
 - c. One-on-one counseling sessions are permitted.
 - d. Larger events of up to 49 people are allowed up to 3 times a year. For the purposes of this approval, the term “events” includes all gatherings and meetings related to or associated with Khacholing Center or organizations of a similar nature.
 - e. The proposed driveway expansion of 20 parking stalls shown on the site plan is understood to be proof of parking. Should the City document or the applicant find a

RESOLUTION NO. 2024-24

regular need for parking capacity beyond the existing driveway, the applicant must submit final plans for the driveway expansion, including completing a wetland delineation. Approval of a potential driveway expansion will be handled administratively. A wetland delineation fee and escrow and grading escrow will be required.

- f. All parking needs must be accommodated on site. Overflow parking cannot occur on Oakdale Drive.
 - g. Parking must be in compliance with Chapter 82, Subd. 4. Any parking in the front yard must be on a paved, gravel, or otherwise improved parking surface or driveway area. Should the applicant need to accommodate overflow parking for a larger event, parking on an unimproved surface can only occur in the back yard.
 - h. No person shall be employed at or report to the home site location who does not reside in the dwelling unit.
 - i. The operation shall comply with all state, federal, and local regulations.
 - j. The Conditional Home Occupation License shall be issued for 3 years in accordance with the procedures outlined in Section 1030.100 of the Zoning Ordinance. The permit shall be administratively reviewed every 3 years to ensure compliance with conditions of approval and ordinance requirements.
 - k. The City may revoke or modify the CHOL upon a finding that conditions have changed to warrant revocation or modifications of the license.
7. Prior to release of the application escrow account, the applicant must record this Resolution with the Hennepin County Recorder's Office and provide proof of recording to the City.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-24

ATTACHEMENT A

The East 560.37 feet of the South 264.77 feet of the West 1129 feet of the Southwest Quarter of the Northeast Quarter (SW $\frac{1}{4}$ of NE $\frac{1}{4}$) of Section Six (6), Township One Hundred Nineteen (119) North, Range Twenty-Three (23) West of the Fifth Principal Meridian, Hennepin County, Minnesota.

Abstract

Option B

Background of the applicant:

I Lobsang Yeshi (Drupa Rinpoche is my monastic name) am the Buddhist Chaplain of Khacholing Center Minneapolis. Khacholing Center was established over 25 years ago in 1997 and is a registered non-profit organisation. Its activities include classes on Buddhism and meditation. As the Center's chaplain, I also offer advice and support to persons and families who seek spiritual support and bereavement care. Currently, I am Chaplain intern at North Memorial Hospital, Robbinsdale. The Center has in the past held its activities in various places and was in need of a more stable place to carry out its activities. I am the co-owner of the property 23360 Oakdale Drive, Corcoran, MN 55374 with Madam Nga Ngoc Nguyen who is a friend and benefactor of Khacholing Center and we agreed to permit the Center to carry out its activities there.

- (a) **Nature of request:** Interim Use Permit to Use a Room in an Existing Building for Meditation Classes and Buddhist Studies on Sundays for 2 hours (**By Invitation Only through prior registration and capped at a maximum of 25 persons**).
- (b) **Impact on adjoining properties and mitigating measures:** I am unable to see any impact on adjoining properties because:
 - (i) the room is within the existing house which is located far from the neighbours;
 - (ii) As recommended by the City, the need for some car park space (15-20 cars) can be easily accommodated within the 3-acre area of the property. The location of the car park would be in the front of the property that is out of view of immediate/adjacent neighbors.
- (c) **Buildings to be constructed or utilised:** No additional buildings are planned for. The room to be utilised is a renovated recreation room adjacent to the garage.
- (d) **Intended use of buildings and property:** To conduct meditation classes and Buddhism classes on a pre-registration/by invitation only basis and limited to 25 persons.
- (e) **Hours and days of operation:** Classes are on Sundays from 10am - 12noon.
- (f) **Number of employees:** None
- (g) **Size of operation, including number of animals:** There are no animals kept on the property. Sunday classes average 10-15 persons.

- (h) **Impact on traffic:** None because the level of activity is low (average number of cars using the area is 10 cars) and there is ample parking space within the property. No parking on the main road is allowed nor required.
- (i) **Impact on septic system:** No anticipated impact as the average number of persons using the premises on Sundays is around 10 persons.
- (j) **Potential environmental impact:** None as activities are within the existing house.
- (k) **Proposed measures to provide buffering from proposed use to adjacent properties:** None required because activities are within the said building on the 3-acre land. Most of the neighbours are located behind my property. There is at least a distance of 100 feet from the back of my house to the boundary fence and a further 100 feet from the fence to my neighbours' houses, making it at least approximately 200 feet between my house and the neighbours' houses. So, I do not expect indoor meditation classes to cause any disturbance even to my nearest neighbours.
- (l) **Future expansion plans:** There are none planned as the current room/building is sufficient for the activities.
- (m) **Nature of other uses in the neighbourhood:** From what we can see from the property, neighbouring land uses are mainly farmland (horse farm and crop farm).

Regarding arrangements for occasional events involving a larger group of persons (no more than 49 persons as per the IUP Recommendations), the activities will primarily be within the meditation room/hall. In conjunction with these and only where needed, a few temporary outdoor tents could be put up for refreshments and temporary toilets arranged for. Although the IUP Recommendation provides for such larger gatherings 5 times a year, I do not expect such gatherings to be often and would be willing to **lower the figure to 3 times a year.**





To: Kevin Mattson, PE
Public Works Director

From: Kent Torve, PE City Engineer
Steve Hegland, PE

Project: Khacholing CUP Site Plan

Date: January 24, 2024

Exhibits:

This review is based on the following documents for a site plan showing 20 parking stalls:

- Site Plan for Lobsang Yeshi at 23360 Oakdale Drive by Northwestern Surveying and Engineering, dated 1/3/2023.

Comments:

- 8,360 square feet of parking lot would be constructed, no WMO review is required.
- It is assumed that the site plan was for the purpose of proof of parking, if the parking lot will be installed the City and wetland (WCA) process including wetland delineation and grading plan submittal will be required.

End of Memo

Agenda Attachment Item: 8a5.

From: [George Gmach](#)
To: [Natalie Davis](#)
Subject: Re: Interim use at 23360 Oakdale
Date: Thursday, March 7, 2024 12:49:53 PM

Ok
George B. Gmach
22600 Oakdale Drive
Rogers, MN 55374

Sent from my iPhone

> On Mar 7, 2024, at 12:43 PM, Natalie Davis <ndavis@corcoranmn.gov> wrote:

>

> Good afternoon George,

>

> Thank you for your email. If you would like this to be considered a public comment, please confirm your full name and address. I will then provide a copy of your email to the Planning Commission, and add it to the agenda packet.

>

> Thank you,

>

> Natalie Davis McKeown

> Planner

> Direct: 763-338-9288

> City Hall: 763-420-2288

>

>

> -----Original Message-----

> From: george.gmach@icloud.com <george.gmach@icloud.com>

> Sent: Wednesday, March 6, 2024 9:47 AM

> To: Natalie Davis <ndavis@corcoranmn.gov>

> Subject: Interim use at 23360 Oakdale

>

> This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

> Natalie,

>

> Several of my neighbors have contacted me about the proposed interim use. They know of my involvement with the city and look for insight. I would not have looked at the planning commission report had it not been for their contact. I have noted the activity at the site and have not considered it a disruption to the neighborhood. As you noted in your staff report it is not much different than a neighborhood bookclub.

>

> The addition of a large parking lot on the frontage would have a more significant visual impact. I noted the 50' setback from centerline ROW for Oakdale is shown on the site plan as the edge of the proposed parking. The lot in question has a 33' dedication, but the requirement for my plat and others that are more recent require a full 50' dedication for ROW. It would be wise to measure the required setback from 50' rather than 33'. I believe that a proposed lot expansion behind the current garage would have less impact on the neighborhood and would anticipate future expansion of the Oakdale corridor. You might want to review the setbacks in the district for parking of like uses. I say this realizing that the parking may never be built. However, it is likely what will get the most resistance to the use.

>

> George

From: [Glenn Wontorcik](#)
To: [Dwight Klingbeil](#)
Subject: Re: Interim Use Permit for Khacholing Center (City File No. 23-029)
Date: Monday, March 11, 2024 8:59:02 AM
Attachments: [Outlook-hk11dgv0.png](#)
[Outlook-hk11dgv0.png](#)

Dwight,

Thanks for your reply.
Yes, please include it in the public record

Thanks,
Glenn

On Mon, Mar 11, 2024, 8:43 AM Dwight Klingbeil <DKlingbeil@corcoranmn.gov> wrote:

Good morning Glenn,

Thanks for your comments regarding the Khacholing Center IUP. Would you like this comment to be included in the public record?

Thanks,
Dwight Klingbeil
Planning Technician
Direct: 763-338-9290



From: Glenn Wontorcik <glennwontorcik@gmail.com>
Sent: Saturday, March 9, 2024 12:59 PM
To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Subject: Interim Use Permit for Khacholing Center (City File No. 23-029)

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

I strongly oppose the IUP application.

The proposed development of this property would essentially convert it to a commercial property, impacting surrounding residential properties.

This type of development should only be allowed in an area that is zone as commercial.

Glenn Wontorcik
19625 Patrick Pl
Corcoran, MN 55340

From: mary.hagehomes1@gmail.com
Subject: Interim use at 23360 Oakdale
Date: March 9, 2024

City of Corcoran Planning Commission
Natalie Davis McKeown, Planner

I am a weekly reader of the Crow River News and we saw the City of Corcoran notice of public hearing Interim use permit.

I did go to the website and wanted to be informed as to what is the Khacholing Center in hosting regular meditation and spiritual classes.

At this time the address of 23360 Oakdale is limited due to space and under city code restriction. This makes me think a expansion is in the near future and our residential lot will be more commercial as activity increases.

What changes and modifications will be needed as growth occurs.

The parking of vehicles and the usage of Oakdale Drive. Since we view the notice in the paper, we have been informed that a 20 car parking lot has been purposed. This brings up many more questions as it is looking more commercial than residential

Currently the site does not have signage?

The website which refers to the Richfield location in listing parking, handicap and restroom. The restroom is a concern as Corcoran sites are septic systems and I am aware of when the property was purchased, a new septic system was installed but not sure if this would meet with added usage of the center.

I believe currently it is listed residential. Is it currently used for living and sleeping and/or as a center will it be solely used for meditation and spiritual classes?

This address is listed as residential and Khacholing Center is stating on the website that they are registered nonprofit 501/C/3. What will be the affects should the Khacholing Center want to sell the property? Will the site be listed residential or commercial?

Clearly the owners of this property have a purposed plan for the address and the surrounding neighbors are asking questions, making calls to the city so that we can be informed but as I plan on attending the March 12th meeting, I feel what do I not know and that has the City of Corcoran given this matter much thought.

Ken & Mary Hage
10218 Hage Dr
Rogers, MN 55374

From: [Jill Olson](#)
To: [Dwight Klingbeil](#)
Cc: [Natalie Davis](#)
Subject: Khacholing Center
Date: Monday, March 11, 2024 6:38:13 AM

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Topic : Khacholing Center
CHOL-IUP
PID 06-119-23-13-0002
City file no. 23-029

I am Jillette Olson. I live at 10646 Maple Lane East, Corcoran, MN 55374. I have owned this property for 20 years. My home property directly borders the home in question.

After living in busy Robbinsdale I bought my Corcoran home to reside in a rural country setting.

I work outside of my home 5-6 days a week and look forward to coming home for peace, quiet and relaxation.

Several of us in the neighborhood have dogs which would find the activities, parking, and multiple events to be disturbing.

Multiple events of 25 to 50 with the noise and associated traffic significantly impacts the liability and responsibility of all neighboring homes.

The proposed 5 Large events described as having tents and porta potties would be assumed to be held in warmer months. On average this means one "large event" every month during the summer months. This is the time I most enjoy my deck and yard.

Therefore, this does negatively impact and affects my personal space. The home held a large event last July. It was noisy, greatly visible and food odor was dominant.

Wetland delineation is a large concern for me. All adjacent homes could negatively be affected by water run-off.

The proposed removal of trees and wetland will negatively affect my view and sound barrier from traffic.

I have large concerns that future CHOL rules and regulations will be not compiled with. This after city code enforcement was alerted, needed and enforced in 2023.

I want all residential properties to remain rural and residential.

I do not support the passing of an interim use permit for occupation license at 23360 Oakdale Drive, Corcoran, Mn 55374.

Thank you,
Jillette Olson

March 13, 2024

Dear Tom and Natalie,

Last July Khacholing Center received an email from a Sister Donald, a Benedictine nun, who says that she grew up on Oakdale drive, and that Corcoran was named for her great grandfather. She indicated how happy she was that we would have a presence in the neighborhood. How different that is from the reception Rinpoche and I received last night at the Planning Committee hearing! Before I delve further into my concerns about the outcome of Rinpoche's application, I do want to thank you Natalie, for helping Rinpoche through the application process, which is difficult for the uninitiated applicant. I know you made a good faith effort to help a new resident to the area. As you know, I am not a Corcoran resident, and although I served for 18 years as president of the Khacholing Center board, it's not my place to act as an applicant in the process. However, as Khacholing Center was to be the beneficiary of Rinpoche's generosity in making his property available for us to meet, I certainly feel it's appropriate for me to represent and assist him. With that in mind, I want to tell you that I was struck by the strong and generally hostile opposition to granting the permit that was generated. One participant counted cars in the driveway at Rinpoche's house, and provided pictures. One insinuated that a misrepresentation of Rinpoche's name due to a clerical error indicated that he might not be who he said he is. This person also insinuated that since Rinpoche also has another address, he may not live at the house at all. All opposing the application indicated that the presence of people and cars on Rinpoche's property was an unwelcome intrusion on the peacefulness and country atmosphere of the neighborhood. They characterized us as a business or a church, and as inappropriate for the neighborhood as a result. I know from Google maps that there is a small engine repair business in the area, as well as a tree nursery and a farm. Are these also a negative impact on the neighborhood? Is our small, periodic presence as impactful as that of the large community church east of the neighborhood, or the Hindu temple?

One thing that I don't think was explained clearly enough by either Rinpoche or me is what our group is and does. The irony for me is that what we do when we meet is to develop qualities of kindness and compassion, and a moral compass to make our lives and those of everyone else happier and more peaceful. The Westerners who come on Sundays and the Tibetans who come for special events are Buddhists. We work to make everything we do, not just our prayers and listening to teachings part of our practice. But although there are commonalities with what goes on in a church, what we are doing doesn't fit neatly in that box.

Because we're a small group, we've always met in peoples' homes. In Minneapolis, Richfield and Fridley, and at retreats at my former home in East Bethel, our presence has never attracted attention, or been seen as a disturbance. When Rinpoche gained the opportunity to buy a house, he chose one in Corcoran, because it was a peaceful rural area that would have ample room for us to meet, and because he felt that in such a community, hosting us would not generate a disturbance for his neighbors. It seems he was mistaken in this regard.

I have known Rinpoche since he arrived in Minnesota in 2018. He is a teacher of mine, and a good friend. I know him as kind, generous and always welcoming. He would gladly invite anyone who comes to visit him in for some of his delicious chai tea. While it is true that he would not have bought the house on Oakdale without the intent of teaching there, it is also true that he intends to reside both there and at the townhouse he has in Maple Grove. His responsibilities in Minneapolis

and his hesitancy about driving, especially in inclement Minnesota weather make this a sensible choice for him.

After the hearing last night, I asked Rinpoche if he wanted to engage a lawyer to argue his case at the City Council meeting on March 28. He did not have much interest in this, and I fully understand why. Even if he can prevail, the expense might be large, and at the end, he'd still have hostile neighbors who did not want him in his house, or at least wouldn't want the Khacholing community as his guests.

I understand the need for the City to have codes to protect the rural nature of the area, and to guard against environmental hazards. But it seems to me that a greatly restrictive conditional use permit on a property where Rinpoche has made no external changes, other than the removal of a wood fence within the boundaries of the property is a bit excessive. Requiring an environmental impact review for the occasional parking of cars on the grass also seems excessive. I see a lot of that in my own neighborhood in Brooklyn Park, and peoples' lawns, much less drainage are not impacted at all. The planning committee's time would be more constructively useful elsewhere.

I'm very disappointed that Rinpoche's presence and plans to host Khacholing Center at his house is the cause for so much negative response. While I expect that the City Council will accept the Planning Commission recommendation, I hope that if you do reconsider the merits of granting the permit, you'll also reach out to those in the community who oppose it. It would be a very hollow win for Rinpoche and for Khacholing Center if the permit is granted in the face of open and unaddressed opposition and hostility. In hope of helping in this regard, I'll plan to be at the meeting, and I'll ask Rinpoche to attend as well.

Tom, thanks for taking the time to talk to me this afternoon. I appreciate being able to represent Rinpoche to you, and to give you a clearer picture of his intentions.

Best regards,

Ken Tobacman
Past president of the Khacholing Center Board
10792 Kyle Ave N
Brooklyn Park, MN 55443

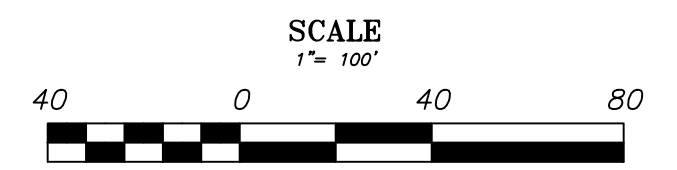
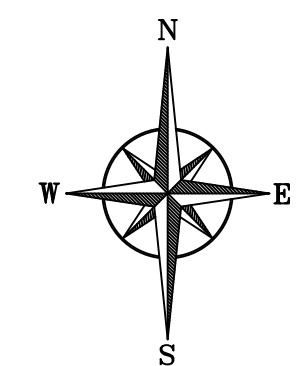
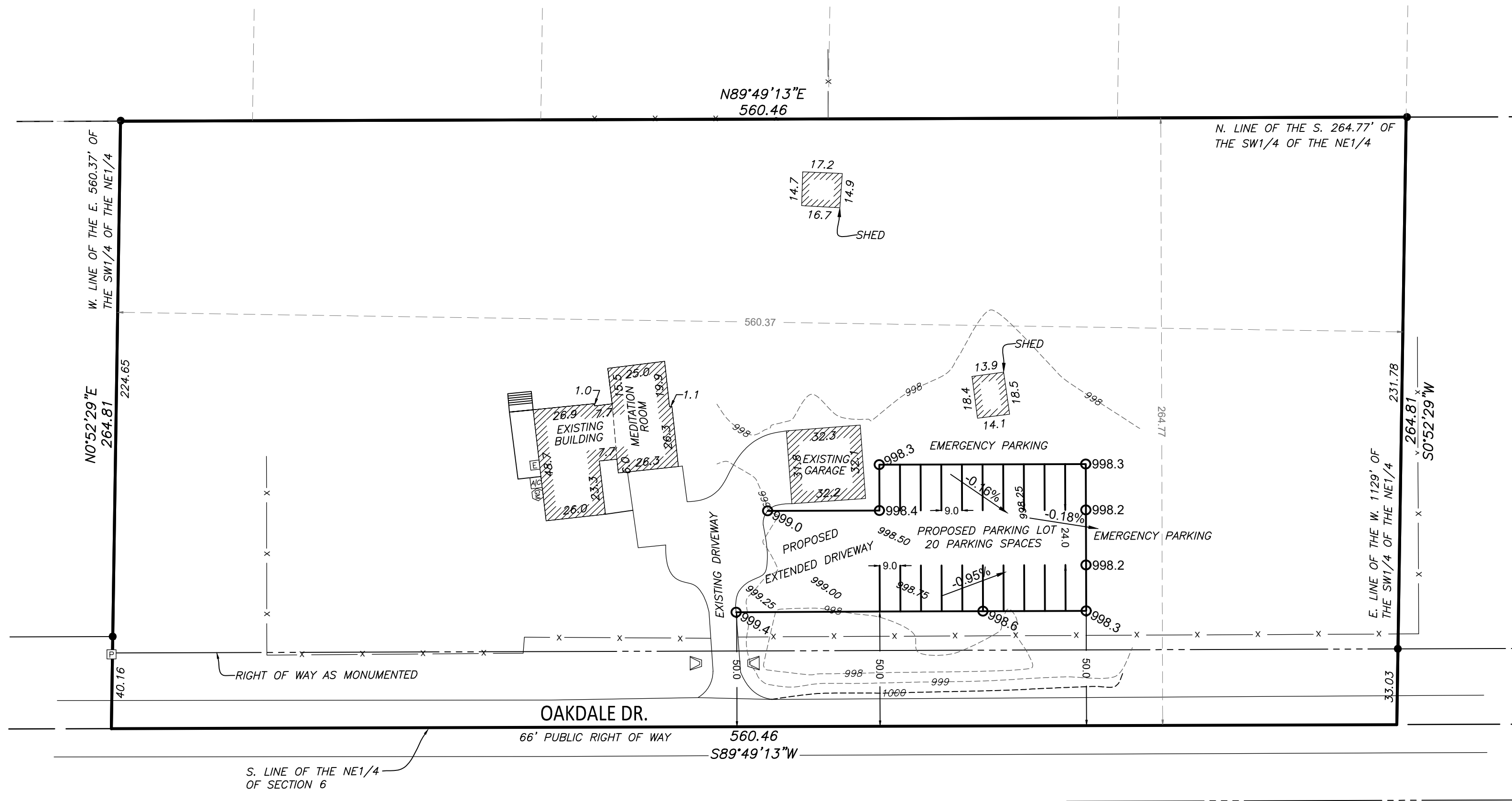
CERTIFICATE OF SURVEY

SECTION 6, TOWNSHIP 119 NORTH, RANGE 23 WEST
HENNEPIN COUNTY, MINNESOTA

LEGAL DESCRIPTION AS PROVIDED

The East 560.37 feet of the South 264.77 feet of the West 1129 feet of the Southwest Quarter of the Northeast Quarter (SW 1/4 of NE 1/4) of Section Six (6), Township One Hundred Nineteen (119) North, Range Twenty-Three (23) West of the Fifth Principal Meridian, Hennepin County, Minnesota.

Abstract



BEARINGS ARE BASED ON NAD83(2011)
HENNEPIN COUNTY COORDINATE SYSTEM
ELEVATIONS ARE BASED ON THE
MNDOT VRS NETWORK (NAVD88)

Northwestern Surveying and Engineering, Inc. prepared this survey without the benefit of current title work. The property shown is based on a legal description provided by you the client or a general request at the appropriate County Recorder's office. Easements, site restrictions or adjoining deed conflicts may exist which affect subject property and are not shown by this survey. We reserve the right to revise the survey upon receipt of a current title commitment or title opinion.



LOBSANG YESHI
23360 OAKDALE DR
SEC6-T116N-R23W
HENNEPIN COUNTY, MN

JOB#:	23776	DRAWN BY:	JS
FILENAME:	23776_JS		
REV#	DESCRIPTION	DATE	
1	GRADING PLAN	01/03/2024	

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

KALEB J. KADELBACH (LIC. NO. 57070)

DATE: 01/03/2024

STAFF REPORT

Agenda Item: 8b.

City Council Meeting: March 28, 2024	Prepared By: Natalie Davis McKeown
Topic: Woodland Hills Comprehensive Plan Amendment, Zoning Amendment, Preliminary Plat, and Variance (PID 36-119-23-33-0009; 36-119-23-33-0010; 36-119-23-33-0007) (City File No. 23-032)	Action Required: Approval

Review Deadline: April 25, 2024

1. Request

The applicant, Woodland Hills of Corcoran, Inc., requests approval of a land use application that includes a preliminary plat to create 60 single-family residential lots, 1 community amenity/recreational lot, and 5 outlots at the northeast corner of County Road 116 and Hackamore Road.

2. Context

Background

The subject properties include three properties previously used for agriculture. Hackamore Road improvements are underway. A portion of the subject property is being used for construction staging. The project area is subject to a recapture agreement established with Tavera for the installation of a sanitary sewer line that benefits these properties. The City will be responsible for coordinating reimbursement to Lennar at the final platting stage(s).

Zoning and Land Use



Figure 1 Project Site NE Corner CR 116 and Hackamore Rd

The subject properties are guided for low density residential and currently zoned RSF-2 (Single-Family Residential 2). Up until this point, the land use has been agricultural. The property is within the Metropolitan Urban Service Area (MUSA) and within Phase 1 of the 2040 Staging Plan for municipal services.

Surrounding Properties

The land use, guiding, and zoning of the surrounding properties are provided in the table below:

Direction	Existing Land Use	Guided Land Use in 2040 Comp Plan	Zoning District
North	- Low Density Residential - Existing Residential	- RSF-2 - Urban Reserve (UR)	Residential
East	Existing Residential	UR	Residential
South	Medina	Medina	Residential
West	Low Density Residential	Planned Unit Development (PUD) – Tavera	Residential

Natural Characteristics of The Site

The 2040 Comprehensive Plan’s Natural Resource Inventory Areas map does not show any high-quality natural communities on the subject properties. There is an emergent wetland community indicated on the eastern portion of the project site. A wetland

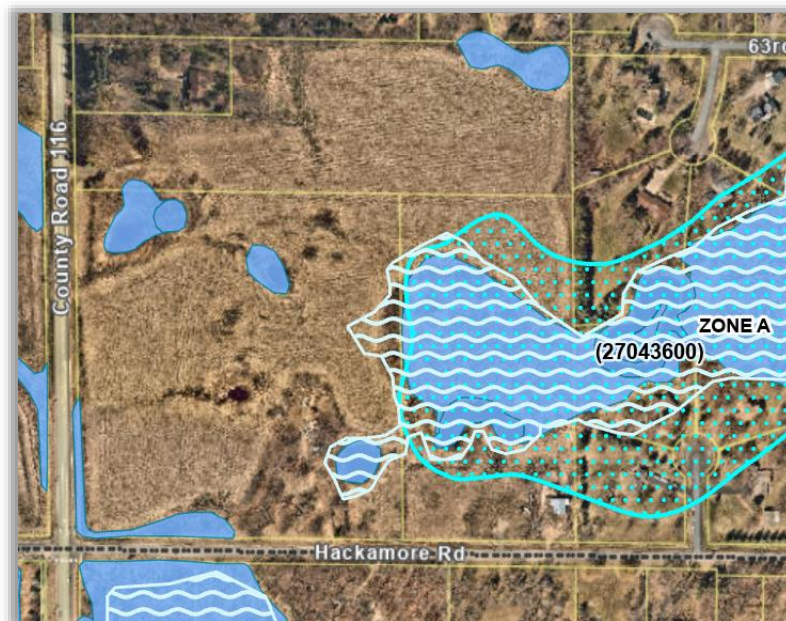


Figure 2 Hennepin County Natural Resources Map

delineation was approved by the City in January 2021, which is valid through January 2026. The delineation confirmed 10 wetlands throughout the project site. The Hennepin County Resources Map indicates the larger wetland complex in the southeast portion of the site may be a DNR protected water and is identified as Flood Zone A.

Prior Review

The City Council reviewed a concept plan for this project (previously known as “Hackamore 116” – City File No. 23-017) at their regular meeting on 7/27/2023. Discussion points of the concept plan included rezoning the site from RSF-2 to RSF-3, whether the requested flexibility in how to apply the side setback be handled as a variance or a zoning ordinance amendment, and the potential need for flexibility from the requirement that garages not comprise more than 55% of the viewable ground floor street-facing linear building frontage to accommodate 3-car garages. After Council feedback, the applicant and City staff proceeded with an infrastructure feasibility study, which included an evaluation of the transportation network.

The Parks and Trails Commission reviewed this item at their meeting on 2/15/2024. They recommended accepting park dedication per the staff recommendation: cash in lieu of land.

The Planning Commission reviewed this item after a public hearing held at their regular meeting on 3/12/2024. Two property owners spoke during the public hearing. One expressed general concern with the project moving forward and being rezoned to a district that accommodates two-family homes. The other property owner provided a list of several questions related to the project. Staff is working on following up with the property owner on their questions prior to the City Council meeting on 3/28/2024. The Planning Commission made the following recommendations for the application:

- Recommended approval of the proposed Comprehensive Plan Amendment (5-0).
- Recommended approval of the text and map Zoning Ordinance Amendments (4-1; Lind Nay).
- Recommended approval of the preliminary plat resolution as proposed by staff (4-1; Lind Nay).
- Recommended approval of the variance to allow a 7.5’ side setback (4-1; Hargreaves Nay).
- Recommended denial of the variance to allow flexibility in buffer yard provisions (4-1; Lanterman Nay)
- Recommended denial of the variance to allow flexibility from the garage maximum standard (3-2; Brummond and Lind Nay).

3. Analysis

Staff reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, other City Code requirements, and City policies. A

review of the plans was coordinated with the City's Engineer and Public Safety team, and their comments are incorporated into this staff report. Detailed comments are attached in the City Engineer's Memo and Public Safety Memo. The approval conditions require compliance with these memos.

A. Level of Discretion in Decision-Making

The City has a relatively high level of discretion in approving or denying a comprehensive plan amendment. The comprehensive use plan is the City's long-range planning tool that indicates what type of development should occur on all land within the City. It is the City's plan for directing future development and growth. The City Council may guide property as it deems necessary to protect and promote the general health, safety, and welfare of the community.

The City has a relatively high level of discretion in approving or denying Zoning Amendments, both to the Zoning Map and Ordinance text. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinances. If it meets the standards, the City must approve the preliminary plat.

The City has a relatively high level of discretion in approving or denying a variance. The burden of proof is on the applicant to show the variance standards are satisfied.

B. Comprehensive Plan Amendment (CPA)

In order for this application to proceed as proposed, a comprehensive plan amendment will be required to address the density of the project. The applicant submitted a preliminary plat that includes 60 residential lots on 36.74 gross acres. The City uses pre-development density to estimate a project's ability to meet the density requirements to comply with the Comprehensive Plan. After netting out the wetlands and floodplain on the project, the estimated net acreage is 28.68 acres. Therefore, the estimated pre-development density is 2.09 units an acre. This number can increase between the preliminary and final plat; however, it is unlikely to increase to 3 units per acre as currently proposed. This density calculation is lower than what was anticipated with the initial concept plan as the concept plan primarily included 65'-wide lots, and now the plan is primarily comprised of 75'-wide lots.

In order to accommodate a density of 2-3 units per acre, the City's 2040 Comprehensive Plan must be amended to add a new land use designation. The name is up for discussion, but staff currently propose naming the new land use designation "Very Low Density Residential" to minimize the amount of adjustment that needs to be made to the comprehensive plan. This can be re-evaluated as part of the 2050

Comprehensive Plan update which the City may begin working on as soon as next year (2025). Additionally, the 2040 Future Land Use Map will need to be updated to re-guide these properties as Very Low Density Residential. While at this time the only acreage dedicated to this land designation would be this project, other applicants coming in at densities within this range could request to be re-guided to this new designation per the City's discretion. It is expected another project will be coming in within the next few months that will have a similar request.

The Comprehensive Plan is a living document. When the City finds evidence to support a change to the plan, the City Council has the discretion to make a change. The City should consider the following issues when reviewing a CPA request:

- Evidence submitted by the applicant demonstrating the reason(s) that the plan should be changed, including, but not limited to, whether new information has become available since the Comprehensive Plan was adopted that supports re-examination of the plan, or that existing or proposed development offers new opportunities or constraints that were not previously considered by the plan.
- Whether or not the change is needed to allow reasonable development of the site.
- The relationship of the proposed amendment to the supply and demand for particular land uses within the City and the immediate vicinity of the site.
- A demonstration by the applicant that the proposed amendment has merit beyond the interests of the proponent.
- The possible impacts of the amendment on all specific elements of the Comprehensive Plan as may be applicable, including but not limited to:
 - Transportation;
 - Sanitary sewer, including existing and proposed sanitary sewer flows as compared to the adopted plan;
 - Housing, including the extent to which the proposal contributes to the City's adopted housing goals;
 - Surface water, including compliance with the City's goals for water quality as well as water quantity management;
 - Water supply;
 - Parks and open space; and
- Consideration of the impact of the proposed amendment upon current and future special assessments and utility area charges, future property tax assessments or other fiscal impacts upon the City.

This is a policy decision for the City. The City should evaluate all of these issues when considering the decision. Staff recommends approval of the CPA as it will allow reasonable development of the site, the amendment will cater to supply and demand for a variety of lot sizes, and the proposed amendment has merit beyond the interests of the proponent as there are other applicants finding it difficult to meet the 3 units per acre

minimum density while meeting the City’s lot standards for a “straight” plat and natural resource preservation goals.

It should be noted that this is not a door to re-guide all of the Low Density Residential land as Very Low Density Residential. The City will need to continue to be mindful of the amount of acreage put in the new “Very Low Density Residential” category in order to maintain an average density of 3 units per acre within the MUSA. The 2040 Comprehensive Plan averages 3.11 units an acre within the MUSA. Re-guiding 36.74 gross acres (29.86 net acres) to the new category is estimated to bring the overall average down to 3.10 units an acre (see attached Table 2-2: 2040 MUSA Density – Revised).

Several tables within Chapter 2 of the 2040 Comprehensive Plan would need to be revised to account for the new land use category. Additionally, a paragraph needs to be added within Chapter 2 providing a brief description of Very Low Density Residential. The existing and revised tables are included as an attachment to this report. The proposed land use category description is as follows:

Very Low Density Residential

This land use designation identifies areas for residential development at an average density of 2 to 3 units per acre. It is expected to primarily accommodate single family homes, but twin-homes would also be allowed by the Zoning Ordinance. This land use category will be used sparingly for sites within the 2040 MUSA boundary where a lower density is desirable due to the extent of natural resource preservation within a development site.

After further review into how this Comprehensive Plan Amendment will interplay with different components of the Subdivision and Zoning Ordinance, staff believes the City will need to immediately follow-up with the following amendments to the City Code that were outside of the scope of the legal notices prepared for this application:

1. Section 955.020, Subd. 6 of the Subdivision Ordinance

Update the table to factor in Very Low Density Residential; otherwise, the lower percentage of land required for Rural/Ag Residential development will apply (where density is typically 1 in 10 acres) to plats within the Very Low Density Residential category.

2. Section 1040.040, Subd. 1 of the Zoning Ordinance

Allow RSF-1 Zoning District to be used in areas guided for Very Low Density Residential.

3. Section 1040.045, Subd. 1 of the Zoning Ordinance

Allow RSF-2 Zoning District to be used in areas guided for Very Low Density Residential.

Should the Comprehensive Plan Amendment be approved, City staff will work to prepare the above noted amendments to City Code for a public hearing in May and City Council approval on 5/23/2024.

C. Zoning Amendment (Text and Map)

Section 1070.010 details the process to handle Zoning Amendment requests, both text and map amendments. Map amendments are also known as rezoning requests. The site is currently zoned RSF-2, and the applicant requests the site be rezoned to RSF-3. This will allow for lots as small as 7,500 sq. ft. with a lot width of 65' where the RSF-2 requires a minimum lot size of 11,000 sq. ft. and an 80' lot width. In addition to the change in the Zoning Map, the text of the RSF-3 purpose must also be revised as follows should the CPA be approved:

Areas zoned RSF-3 are guided Low Density or Very Low Density on the City's 2040 Comprehensive Plan. Development within this district must be within the density range identified for the applicable land use designation in the Comprehensive Plan. at a minimum density of 32.0 units per net acre up to a maximum of 5.0 units per acre.

The Planning Commission should consider the following evaluation criteria for the Zoning Amendment requests:

A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.

Staff finds that should the proposed CPA be approved, the zoning amendment requests are in compliance with the City's Comprehensive plan.

B. The proposed action meets the purpose and intent of this Ordinance, or, in the case of a map amendment, it meets the purpose and intent of the individual district.

Staff finds the proposed text amendments do not conflict with the purpose and intent of the Zoning Ordinance as outlined in Section 1010.020 of the City Code. The proposed map amendment meets the purpose and intent of the RSF-3 district which is intended to be the primary zoning district for new residential development.

C. There is adequate infrastructure available to serve the proposed action.

With the required improvements of this development, there will be adequate infrastructure available to serve the site developed at RSF-3 standards. These improvements will be funded by the developer. The text amendment does not have an effect on infrastructure availability.

D. There is an adequate buffer or transition between potentially incompatible districts.

The buffer ordinance and wetland buffers required by code will allow for an adequate buffer and transition between lower density districts to the north and east.

D. Preliminary Plat

The applicant proposes a preliminary plat to subdivide the northeast corner of Hackamore Road and County Road 116 into 60 residential lots, 1 amenity lot, and 5 outlots containing wetlands and stormwater ponds. The applicant indicated the development will have a homeowner’s association (HOA) which will be required by the City with the proposed outlots.

Lot Size and Setbacks

Should the site be rezoned to RSF-3, the following standards would apply to this development:



Figure 3 Preliminary Plat

Standard	RSF-3 Standard for Single-Family	RSF-3 Standard for Two-Family Dwellings and other uses
Minimum Lot Area	7,500 sq. ft.	15,000 square feet
Minimum Lot Width	65'	100'
Minimum Principle Structure Setbacks:		
- Front (Major Roadway)	100'	100'
- Front (Other Streets)	20'	25'
- Front Porch (less than 120 sq. ft.)	15'	N/A
- Side (living)	10'	10'
- Side living (garage)	5'	5'
- Rear	30'	25'

The site plan notes that 42 lots will have a width of 75' or greater, and 18 lots will have a width between 65'-75'. The smallest lot size proposed is 8,600 square feet. The largest residential lot size is 27,462 square feet. The average residential lot size is 13,302 square feet. The lots meet or exceed the minimum lot dimension requirements for single-family homes.

A concern raised in the public hearing is that two-family homes could be built on these lots if the site is rezoned to RSF-3. None of the proposed residential lots meet the minimum lot size and lot width requirements for a two-family dwelling. The amenity lot meets the minimum lot size and lot width for other uses, but the applicant determined it would not be buildable for a single-family home due to its depth and the required setbacks. For a two-family home to be built in this area, it would most likely require a new preliminary and final plat or a lot line adjustment that results in lots in compliance with all minimum standards. This appears relatively unlikely within a development governed by an HOA.

The front and rear setbacks comply with the district standards as written. Additionally, the plans show a 25' front setback is being applied to all lots voluntarily which is discussed further in the variance section of this report analyzing a request for a 7.5' side setback. Lots 6-11 are subject to the setback from major roadways (aka County Roads). Lot 6 exceeds the 100' setback. Lots 7-11 have a 60' setback from the property line adjacent to County Road 116. This requires compliance with the City's enhanced landscaping requirement in Section 1060.070, Subd. 2(K). This is discussed further in the landscaping section of this report.

The applicant requests a 7.5' side setback be applied consistently across the development rather than a side setback dependent upon the living or garage side of the house. This is a variance request that is further evaluated subsequently in this report. The submitted site plan complies with the requested 7.5' side setback. Should the variance not be approved, the applicant will be required to revise the site plan to show compliance with the minimum setbacks per the written zoning district standards.

In addition to the 60 residential lots, the plat includes one amenity lot for a community pool and seasonal pool house. This falls under permitted uses in the RSF-3 district as a "parks, playgrounds, trails, other recreational facilities of a non-commercial nature and directly related buildings and structures." The lot meets minimum size standards. The pool must meet building setbacks as measured from the water's edge, and the surrounding patio must remain outside of any drainage and utility easements. The pool house is also subject to building setbacks. It appears the lot complies with these standards. The applicant shared with staff that the pool house is not meant to be a rentable space for parties and will be used seasonally. However, staff are concerned about parking for the pool as experience suggests that residents not living on the same street as the amenity lot may choose to drive to the community lot. This will be discussed further subsequently in this report.

Design Construction Standards

All homes within this subdivision will be expected to meet the architectural design requirements of both Section 1060.050, Subd. 1(B) as well as Section 1040.040, Subd. 8. This includes equal architectural treatment for all facades located on or visible from a street. Each elevation facing a street should use a minimum of 2 different materials and/or styles compatible with the front elevation. The following lots appear to have multiple facades that are oriented or visible to a public street: 1-14, 17, 19, 20, 36, 45, 46, 48, 52, 53, 55, 56, and 60. However, the applicant asks that the Council consider exempting Lots 13 and 14 from this requirement along the facades adjacent to County Road 116 due to the wetlands and existing trees they intend to preserve in this area as shown on the Tree Survey.

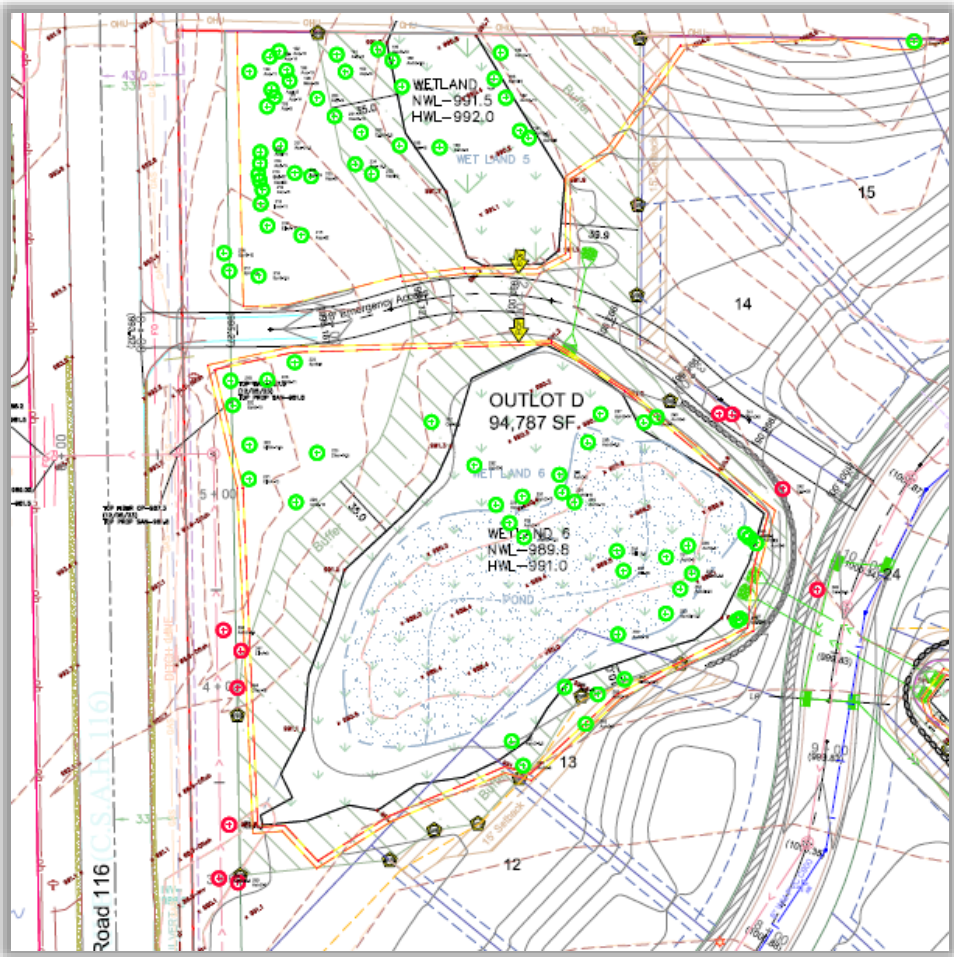


Figure 4 Tree Survey Wetlands 5 and 6

It is important to note there are several other architectural requirements within Section 1040.040, Subd. 8, and the applicant is responsible for reviewing and complying with this section of code. Building plans will be reviewed with each building permit.

The applicant specifically requests a variance from the following requirement in Section 1040.040, Subd. 8(B)(1):

The garage shall not comprise more than 55% of the viewable ground floor street-facing linear building frontage. This standard is based on the measurement of the entire garage structure and not on a measurement of the garage door or doors only. Corner lots are exempt from this requirement on one street elevation.

This variance request is discussed further in the variance section of the report.

Wetlands



Figure 5 Wetland Delineation

A wetland delineation finalized in 2021 determined there are 10 wetlands currently on site. The applicant submitted a wetland replacement plan indicating their intention to remove two small wetlands of less than a tenth acre (WLA and WL4 in the image below) in addition to a larger wetland in the southwest

corner of the project (WL8). The impacts to the two smaller wetlands are likely to be approved; however, the approval is less certain for WL8. Should these impacts not be approved, the plans must be revised to include the required wetland buffer and setback. The Technical Evaluation Panel (TEP) makes the final decision on wetland impacts, and this is currently under review.

Most of these wetlands will remain and will be subject to the Wetland Overlay District (Section 1050.010), which includes wetland buffers, wetland buffer monument signs, and an additional 15' structure setback from the edge of the buffer. The size of the buffer is dependent upon the quality of the wetland. The City's Natural Resources Community Quality Ranking map is based on the City's quality assessment of known wetlands within the City. Wetlands not shown on this map are assumed to be of medium quality; however, there is a process to confirm wetland quality through Minnesota Rapid Assessment (MNRAM) methodology should the applicant decide wetland quality on the site needs to be re-evaluated. The City's map shows WL1 and WL2 located in the southeast portion of the site as low quality. The rest of the wetlands are assumed to be of medium quality.

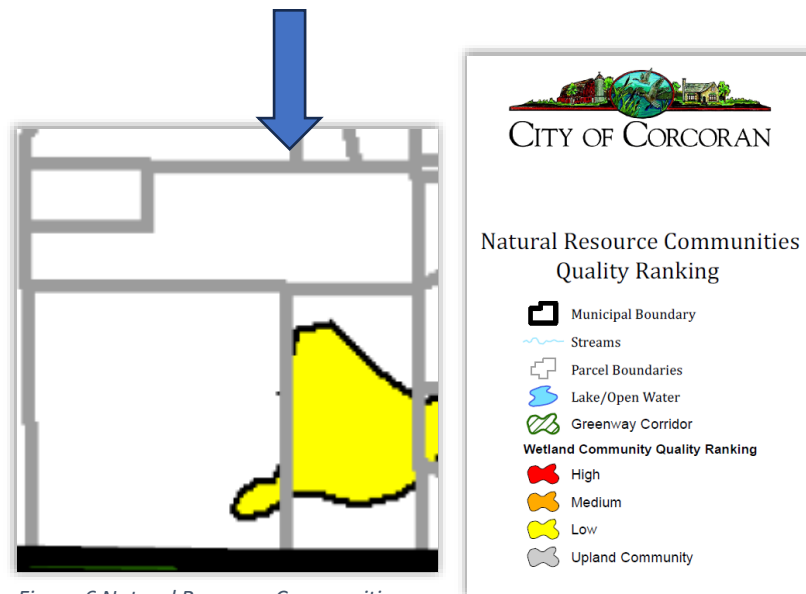


Figure 6 Natural Resource Communities Quality Ranking Map

The following requirements will be applied:

	Medium	Low
Wetland Buffer Average Width	25'	15'
Wetland Buffer Width (Min.)	20'	10'
Wetland Buffer Width (Max.)	40'	20'
Structure Setback from Buffer	15'	15'
Total Buffer and Setback (Average)*	40'	30'

* A 5' setback is required for roads and parking lots.

It appears the buffer width around WL1 and WL2 need to be confirmed and possibly corrected as there are a few areas where the buffer width exceeds 20'. Buffer widths above the 20' maximum will not count towards the 15' average width required for low wetlands. Wetland buffer space in excess of what is required by ordinance cannot be

“netted out” in the final density calculation. Additionally, adjusting the buffer width will free up additional usable space for the applicant and future residents.

It appears the buffer width of WL3, WL6, WL7, WL9 drop below the minimum required width of 20'. This must be corrected as noted in the table above. This may require subsequent revisions to the building pads on nearby lots, specifically lots 13, 53 and 54. WL5 appears to far exceed the required average width of 25' and the maximum width of 40' in some areas. This should be revised to identify the required buffer per the City's ordinance. In order to confirm compliance with the averaging requirements, staff added a condition of approval that the applicant's engineer provide certification of the average width of each wetland buffer.

A permanent wetland buffer monument shall be installed at each lot line where it crosses a wetland buffer, and where to indicate the contour of the buffer, with a maximum spacing of 200 feet of wetland edge. If no buffer is required, the monument shall be at the edge of the wetland. There are several wetlands where additional wetland buffer monuments will be required to show the change in contours. Further, the wetland signs will need to be revised as wetland buffers widths are revised.

The applicant submitted a ground cover plan which includes provisions for establishing wetland buffers. There is a note on the plan that disturbed wetland buffers will be seeded per the plan, and undisturbed buffers will be left in their natural state. The ground cover plan does not indicate which wetlands may or may not be disturbed. As a condition of approval in the draft resolution, the applicant must confirm the existing vegetation will satisfy the buffer requirements with the City's wetland specialist. Based on the results of this inspection, the applicant must revise the ground cover plan to show which wetland buffers need to be established and which wetland buffers are undisturbed.

Landscaping

Per Section 1060.070, dwelling units shall provide a minimum of 1 overstory tree. This means 60 overstory trees must be planted with this new development. This is shown on the landscaping plan. The amenity lot is not considered a dwelling unit. This lot will be subject to the landscaping requirements for non-residential uses which require the following:

- a. *One overstory tree per 1,000 square feet of gross building floor area, or one tree per 50 lineal feet of site perimeter, whichever is greater.*
- b. *One understory shrub per 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.*

The amenity lot includes 9 overstory shrubs, but the landscaping plan does not include the calculations to determine the required quantity of overstory trees and shrubs. The

landscaping plan must be revised to include the calculations for the amenity lot and to include any additional required plantings based on the above formulas.

Lots 7-11 have a setback line as low as 60' shown from the property line adjacent to County Road 116. This requires compliance with the City's enhanced landscaping requirement in Section 1060.070, Subd. 2(K): a minimum of 1 overstory deciduous tree, 1 overstory coniferous tree, 2 ornamental trees, and 10 understory shrubs per 100 feet of length of the property line where flexibility is requested.

The landscaping plan provides the above calculation using a length of 350'. This does not appear to include Lot 7. The shown building plan is setback 100'; however, the setback line shown on the lot is as low as 60'. The applicant either needs to adjust the setback line on this lot to 100' consistently, or the length of the west property line adjacent to County Road where the setback line is shown at a distance of less than 100' must be included in the landscaping calculation. If the setback line is adjusted on lot 7, the landscaping plan mostly complies with the enhanced landscaping standard for major roads, except 1 additional evergreen overstory tree must be added as the City rounds up to the nearest whole number of plantings. Additionally, the City Engineering memo requires that the landscaping plan be revised so that the plantings along County Road 116 to avoid conflicts with sanitary sewer near Manhole 2.

In addition to the above landscaping requirements, Section 1060.070, Subd. 2(J) contains the standards for the City's recently adopted "buffer yard" ordinance. Based on the project site being rezoned to RSF-3 and the surrounding zoning districts, the following buffer yards are required as noted in the table below:

- A buffer yard class "B" applies along the north and east project boundaries.
- A buffer yard class "A" applies along the east and south borders of the exception piece with frontage on County Road 116 (the northwest corner of the project boundaries).

Buffer Yard Class	Width	Overstory Plantings₁	Understory Plantings₁	Shrubs_{1,2}	Structures₃
A	10'	1	2	0	None
	15'	1	1.5	0	None
	20'	0.5	1.25	0	None
B	10'	1	4	6	Minimum 4' fence
	20'	3	6	9	None
	20'	1	2	3	Minimum 4' fence
	30'	2	4	12	None
	30'	1	2	4	Minimum 4' berm

¹ Per 100 feet of distance

² Requirement must be met by shrubs, tall native prairie plantings, or a combination deemed acceptable by the City

³ Fences are subject to requirements in Section 1060.080

The City Council can accept the following as qualifying natural buffers where an additional buffer yard is not required:

1. Existing topographical features on vacant lots such as hills and swales.
2. Wetlands, lakes, rivers, and streams.
3. Major roadways.
4. Local Roads as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan may fulfill the Buffer Yard Class A requirement.
5. Existing wooded areas.

Additionally, buffer yards are not to be located on any portion of an existing or dedicated public ROW or private street easement. Based on feedback received from the City Council during the concept plan, the landscaping plan does not show a buffer yard along the eastern border of WL2, nor is there a buffer yard shown in the southeast corner of the site there a buffer yard applied along the west boundary since this area is separated from Tavera by a major roadway.

The landscaping plan also does not show a buffer yard along WL3 or WL5 which may make sense due to the lack of space between the wetland boundary and the property line as well as the existing vegetation of the wetlands. The Council should confirm whether they agree that these wetlands count as a natural buffer yard.

A buffer yard is also not shown on Lot 19, just south of the new half ROW for an eventual street connection. However, this street connection is not shown on the 2040 Roadway Functional Classification map, so a B buffer yard class must be applied to Lot 19 to be in compliance with this ordinance. The applicant asks that the City consider a way to exempt this property from the buffer yard ordinance since dedicating this right-of-way was a requirement of the feasibility study.

The buffer yard shown on the landscape plan as "Detail A" along the northern project boundary does not match up with the required calculations called out for this area and should be revised accordingly. The calculations listed on the first page of the landscape plan require 15 overstory trees, 30 understory trees, and 45 shrubs. The plantings called out in Detail A include 12 overstory trees, 24 understory trees, and 36 shrubs. The plan must be revised for this to be consistent.

In addition to Lot 19, there are a few areas along the east site boundary that do not show a buffer yard. The applicant states there is existing vegetation on and near the site that would make it difficult to plant the buffer yard ordinance in these areas. However, the Tree Survey does not clearly identify significant vegetation that replaces the buffer yard requirements north of Detail B, south of Detail B, and in the southeast corner of the site south of WL2. The Tree Survey does show about 14 trees north of Detail B, and 4 trees south of Detail B. trees 113-126 on the Tree Survey. The species of trees in this area include Aspen, Green Ash, Red Elm, Black Cherry, and American Elm. The applicant also provided photos of this area to show the vegetation not captured by the Tree Survey. There are no trees preserved south of WL2. However, there is a proposed

retaining wall and grade change. The Council should clarify whether the areas north and south of Detail B should be deemed an existing wooded area, and therefore exempt from the buffer yard ordinance. However, there doesn't seem to be a way to exempt the area of the retaining wall south of WL2 under the current ordinance.

The applicant is very concerned that the amount of plantings required, particularly north of WL2, will create a problem with long-term viability. The applicant requested a variance to the buffer yard ordinance to continue this discussion with the City Council. This is discussed further in the variance portion of this report. The variance could allow for flexibility in the areas noted above that don't appear to be exempt under the current ordinance.

Streets/Access

The primary and only access into the development for non-emergency vehicles will come off of Hackamore Road. Hennepin County did not approve direct access to County Road 116 due to their spacing guidelines. The County did approve an emergency access with a barricade into the development from County Road 116 that is in the northwest corner of the site. Should the properties to the north develop in the future, an additional access into the development will be possible at that time which is approximately shown in the ghost plat. To facilitate the planning of that future connection, the applicant is required to dedicate a 30' half right-of-way north of Lot 19. This is shown on the preliminary plat and site plan. The development is served by 4 internal roadways, two of which are cul-de-sacs where a connection cannot be made due to natural features and existing residences.

Per the City Engineering memo, the shown ROW for County Road 116 is consistent with the requests of Hennepin County and the City's guiding documents; however, the County also requests for a 25'x25' sight triangle in the northeast quadrant of CR 116 and Hackamore Road. The applicant must revise the plat and site plan to include this request. Additionally, the City Engineering memo requires the plat to be revised to dimension existing and proposed ROW for Hackamore Road.

Parking

Section 1060.060, Subd. 9 requires 2 parking spaces for a single-family home. The applicant's narrative notes that house plans are anticipated to have 3-car and potentially 4-car garages. Additionally, each house is shown to have a driveway of at least 25' in length to accommodate two additional vehicles. All 28'-wide local roads shall be signed "no parking" on one side of the roadway. Further, "no parking" signs will be required within all cul-de-sacs and turnarounds (temporary or permanent).

Staff, including Public Safety, are concerned about parking for the shown community swimming pool. Street B (the street serving the amenity lot) would have "no parking" on one-side and within the cul-de-sac. The City Engineering memo requires that there be no parking on the south side of Street B. It appears the north side of the street could

accommodate roughly 10 cars without conflicting with driveways, but this space may also be utilized as guest parking at times for the residents on this street. When there is no parking, residents within the subdivision will need to walk to the facility. However, the amenity lot is not central to the majority of homes within the subdivision and lacks ease of connectivity for pedestrian access.

The City's off-street parking requirements in Section 1060.060, Subd. 9 do not specifically call out a pre-identified formula for private community swimming pools. The closest uses on the table include the following:

- Public Park: 1 space for each 1 acre of park plus 5 spaces per playground facility and 1 space for each picnic table. A minimum of 5 spaces is required.
- Commercial Swimming Pool: 20 spaces plus 1 space for each 500 square feet of floor area.
- Community Center or Health Club: 1 space per 300 square feet of floor area.

None of the above formulas seem particularly appropriate for a community swimming pool for shared but private use of 60 homes. Section 1060.060, Subd. 9 states the following in regard to non-specified uses:

For uses not specifically listed above, off-street parking requirements shall be computed by the Zoning Administrator on the same basis as required for the most similar uses. In such cases, the Zoning Administrator shall also consult off-street parking reference materials including, but not limited to, manuals prepared by the American Planning Association and Institute of Transportation Engineers.

Per the American Planning Association's Parking Standards published in 2002, some other potential formulas for swimming pools that seemed the most applicable include the following:

- 1 per 100 square feet of pool area
 - o Including the club house space, patio space, and water area this would equate to 9 off-street spots.
- 1 space per 50 square feet of water area
 - o This would equate to 5 off-street spaces.
- 1 space per 3 persons based on maximum capacity of the site.
 - o Maximum capacity is unknown to staff at this time.

In Ravinia, the private community swimming pool has 5 dedicated off-street parking spaces (4 regular and 1 handicapped space) and 7 on-street parking spaces. Ravinia is arguably a much bigger development. Therefore, staff believes it may make sense to require 3 off-street parking spaces, including a handicapped space, for this use in addition to the street parking available and the possibility that some homes will choose to walk.

The Planning Commission agreed with staff's parking recommendation for the amenity lot. However, the applicant requests this be considered further by the City Council. The

applicant states they do not allow parking at any of their pool amenities in other developments. Their HOA document reads as follows:

No parking shall be allowed on [insert street] or any of the streets located within the Property by Owners or Owners' guests for the purpose of utilizing the pool amenity. Owners that park or allow guests to park on [insert street] for the purpose of utilizing the pool amenity shall be subject to a fine as set forth in Section XX.XX.

The applicant explains they prefer owners to walk, bike, scoot, etc. There will be provided bike racks and areas to park wagons that people tow. Occasionally owners will drop off items at the pool with a car and then drive back home and walk or bike back. They are concerned that by providing parking for cars, other cars will then park on the street once the parking is full. The applicant states they've had no problems with this as a provision of the HOA or parking in violation of the provision as they never have issued a fine to date. In their experience, property owners will be happy to walk or bike to the site.

The City Council should make a final decision on whether they believe prohibiting parking under the HOA documents is sufficient, or if they believe dedicated off-street parking in addition to some on-street parking is a necessity. If the Council finds that off-street parking should be provided, the Council should confirm the amount of parking they find appropriate. The enclosed resolution requires 3 parking spaces include 1 handicapped space.

Utilities

The City Engineer's memo provides detailed utility comments. This project will extend municipal sewer and water to the site from the Tavera development to service this site. The City ordinance requires developers to stub sanitary sewer, water, and streets to the property line which means development of this infrastructure makes development or accessibility of municipal services possible for adjacent properties.

Grading, Stormwater, and Easements

The development is required to provide drainage and utility easements over all outlots, wetlands, wetland buffers, the 100-year floodplain, and at the perimeter lot lines per the City Engineering memo. The memo includes a number of additional items related to grading and stormwater that must be addressed prior to final plat submittal.

Lighting

The site plan shows proposed street light poles generally located on the sidewalk side of the street. No lighting details were provided by the applicant. Street lighting will be provided by Wright Hennepin Electric. Lighting must comply with the lighting requirements of Section 1060.040 of the Zoning Ordinance. Final locations of the street lights will be approved by the City Engineer with the final plat.

Trails and Parks

The 2040 Parks and Trails Map provides guidance to the City for acquiring land for parks and trails. No parks are shown within the vicinity of this project. An existing on-road trail is shown on County Road 116. The applicant will be required to provide a 60' half right-of-way (ROW) along County Road 116, and typically the County also requests an additional trail easement of 5' to allow for future trail upgrades.

A proposed on-road trail is shown along Hackamore Road on the 2040 Parks and Trails Plan. This on-road trail is reflected in the proposed site plan and is being constructed with the Hackamore Road project. The applicant will not receive park dedication credit for the on-road trail as it will be located within the City's ROW. Staff recommend park dedication for this project to be in the form of cash-in-lieu of land.

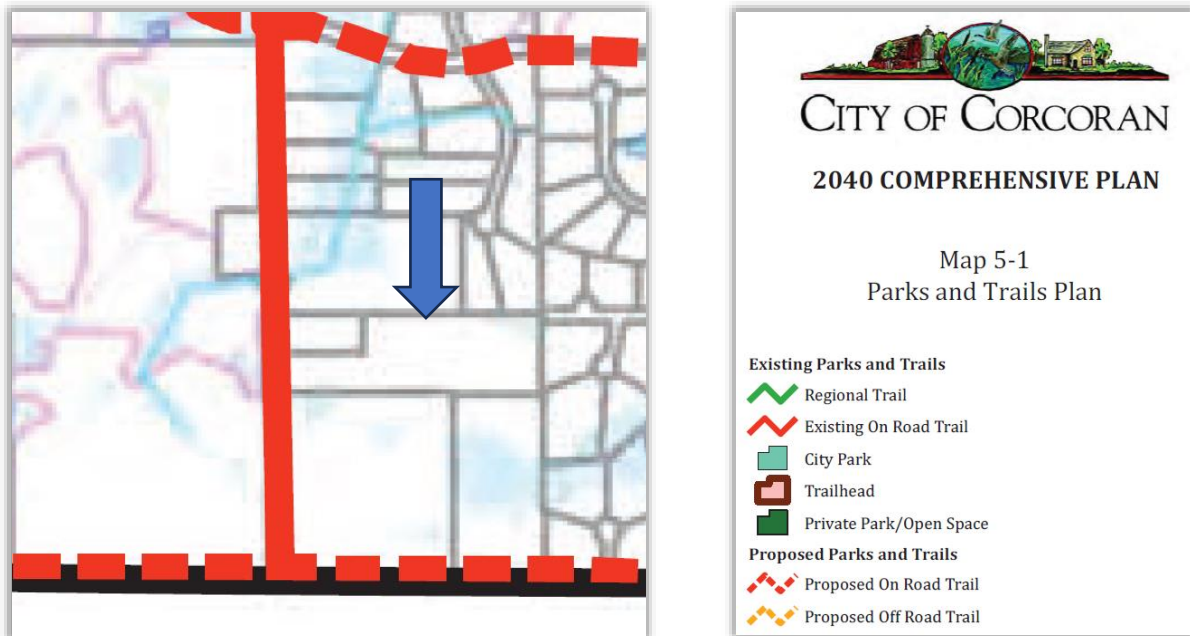


Figure 7 2040 Parks and Trails Map

Park Dedication Calculation

Based on the current plan, 60 single-family residential lots are proposed. The expected park dedication based on the 2024 Fee Schedule is \$357,240 (60 single-family units x \$5,954). The final park dedication fee will be based on the adopted fee schedule at the time of final plat approval. The fees will be due prior to releasing the final plat for recording the subdivision with Hennepin County. The Parks and Trails Commission recommended to accept cash-in-lieu of land for park dedication.

E. Variance

The applicant requests the following three variances:

1. A side setback of 7.5' applied from all side property lines for a minimum building separation of 15' instead of 10' on the living side and 5' applied to the garage side (Section 1060.050, Subd. 7).
2. A garage maximum of 65% of the viewable ground floor street-facing linear building frontage for 3-car garages and 70% for 4-car garages (Section 1040.050, Subd. 8(B)).
3. Flexibility in determining the buffer yard requirements and required plantings along the east and north project boundaries (Section 1060.070, Subd. 2(J)).

Section 1070.040 provides the standards to review variance requests. The applicant must show that these standards are satisfied with this request. Each variance request will be compared against these standards individually.

Variance #1: Side Setback 7.5'

1. *That there are practical difficulties in complying with the Zoning Ordinance.*

The League of MN Cities defines a three-factor test for the term “practical difficulties”:

- a. The property owner proposes to use the property in a reasonable manner not otherwise allowed by the Zoning Ordinance.
- b. The plight of the landowner is due to circumstances unique to the property and not created by the landowner; and
- c. The variance will not alter the essential character of the locality.

Section 1070.040, Subd. 2(B) of the Zoning Ordinance specifically calls out the last two factors as their own standards and will be discussed individually. Therefore, this first standard can focus on evaluating the “reasonableness” of the request.

The applicant’s narrative notes the variance request is to provide the most flexibility for a builder to place a home on a lot. It is anticipated the lots will be sold to multiple various local builders for construction of custom homes. A clear side setback will allow for consistency, avoid confusion, while maintaining the 15’ building separation.

2. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The applicant’s narrative provides that the subdivision is on a 36.74-acre site containing 7 wetlands, bordered on the south by Hackamore Road, and bordered on the west by County Road 116. These constraints result in lot design and house placement restrictions that are unique to the project boundaries.

3. *That the granting of the variation will not alter the essential character of the locality.*

The applicant's narrative states the current City Ordinance requires a minimum of 15' between structures on adjacent lots. This will be maintained with a 7.5' setback applied regardless of the living or garage side of the structure. Based on this, the granting of the variance will not alter the essential character of the locality.

- 4. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The applicant's narrative reiterates that the 15' minimum separation required by the underlying district standards will still be maintained with the proposed 7.5' setback.

- 5. The variance is consistent with the Comprehensive Plan.*

The applicant's narrative suggests the requested deviation to the side setback does not create a conflict with the Comprehensive Plan.

- 6. The City may impose conditions on the variance to address the impact on the variance.*

The applicant proposes a 25' front setback as a way to offset the deviation in side setback. Staff confirms all lots meet a 25' setback as currently proposed.

Staff's Perspective

Staff believes that ultimately, the requested setback is ultimately a distinction without much of a difference since a 15' building separation will still be accomplished with the proposed setback. Staff would prefer this be handled as a zoning ordinance amendment; however, this variance application is submitted based on feedback received during the concept plan review process. It does seem to make practical sense that a consistent side setback be applied to avoid coordination concerns with multiple builders and property owners looking to create custom houses.

Planning Commission

The Planning Commission recommended approval of this variance (4-1).

Variance #2: Garage Maximum Percentage Standard

- 1. That there are practical difficulties in complying with the Zoning Ordinance.*

The applicant's narrative notes that the target customers will prefer a 3-car garage, and many desire a 4-car garage. The minimum width of a 3-car garage is 30', and the minimum width of a 4-car garage is 40.5'. However, 65' wide lots would not be able to have a garage larger than 27.5' under the current ordinance, and 75-wide lots would not be able to have a garage width larger than 33'. Arguably, a 3- or 4-car garage is a reasonable use of these properties that would not be allowed by the Zoning Ordinance.



Figure 8 Example Elevations

2. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The parcel of land is unique in that the subdivision will be made available to multiple builders for custom built lots. The applicant’s narrative notes that the preference for a 3-car or 4-car garage is based on market demands which are not created by the landowner.

3. *That the granting of the variation will not alter the essential character of the locality.*

The applicant’s narrative notes that should the City add a requirement for a second story on houses that bypass the garage percentage limit, then a larger garage frontage will not alter the essential character of the locality as the second story will result in minimizing the appearance. Staff notes that PUD flexibility has been granted from this standard in multiple nearby developments. Additionally, it is not uncommon for older neighborhoods within the City to have either a larger garage or second garage.

4. *The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The applicant’s narrative notes that conditions can be added to minimize the appearance of the garage which would allow for the variance to be in harmony with the purposes and intent of the ordinance.

5. *The variance is consistent with the Comprehensive Plan.*

The applicant's narrative suggests that deviation from this standard does not conflict with the City's Comprehensive Plan.

- 6. The City may impose conditions on the variance to address the impact of the variance.*

The applicant proposes two standards that could be applied to lots that choose to bypass the 55% maximum garage limit: a requirement that there must be a second story and a 30' front setback.

Staff's Perspective

Again, staff would prefer this deviation to be handled as a Zoning Ordinance Amendment as the hardship standard is hard to meet for a want such as 3-car or 4-car garage. However, the applicant submitted the variance application based on feedback received during the concept plan review process. Staff agrees it may be reasonable to grant the variance considering it has been a common PUD flexibility, and staff prefers that households have the ability to park their vehicles comfortably without relying on street parking, particularly in the winter when overnight street parking is not permitted. Staff agrees with the requirement to require a second story but does not think a 30' setback is necessary. The draft resolutions reflect this recommendation.

Planning Commission

The Planning Commission recommended denial of this variance (3-2) as they did not feel that this met the practical difficulties standard required in the Zoning Ordinance.

Variance #3: Buffer Yard Flexibility

- 1. That there are practical difficulties in complying with the zoning ordinance.*

The applicant's narrative explains the landscape architect's concerns that the number of trees required by the buffer yard ordinance will result in trees growing together relatively soon after planting and create an unhealthy growth environment. In addition to the required plantings within the buffer yard, the area will be placed beneath existing tree canopies. There is concern that the trees will not reasonably fit into this space and be healthy. Additionally, there is concern that a reputable landscape contractor may not place a warranty on the plantings placed so close together and adjacent to the large number of existing trees.

The narrative provides the north and east property lines have natural vegetation that provide an existing natural buffer between the proposed development property and the adjacent properties. The existing vegetation contains overstory trees, understory trees, and low growing vegetation. Additionally, the neighboring properties have existing mature trees that provide an additional buffer and contribute to a substantial tree canopy. The applicant would like to honor best management practices to avoid stunted growth and shorter life spans.

- 2. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The applicant's response is that the project site is adjacent to larger lot single-family neighborhoods in which the owners have, over time, planted trees that have grown to provide a substantial buffer. Additionally, the proposed plan proposes preserving many overstory trees and other low growing plantings along the east and north property lines. The existing mature vegetation creates a unique situation where the new plantings as required will prevent the landscaping from growing properly and remaining in good health.

- 3. That the granting of the variation will not alter the essential character of the locality.*

The narrative notes the extensive existing vegetation on the subject development property and on the properties adjacent already provide a substantial buffer. Landscaping added to the level of the ordinance may have a difficult time growing. Granting a variance that will allow for healthy plantings to grow will enhance the essential character of the locality.

- 4. The proposed variance would be in harmony with the general purposes and intent of the ordinance.*

The narrative again explains the existing substantial buffer in the area. The applicant asks that a landscape architect work with staff to determine a reasonable buffer that would comply with best management practices and would be in harmony with the general purposes and intent of the ordinance.

- 5. The variance is consistent with the Comprehensive Plan.*

The applicant explains that the variance will still provide a substantial buffer which is consistent with the Comprehensive Plan.

- 6. The City may impose conditions on the variance to address the impact of the variance.*

The applicant proposes a condition that their professional landscape architect work with City staff to determine a reasonable buffer that would comply with best management practices that would include appropriate numbers of overstory trees, understory trees, and shrubs. The collaboration would allow for a buffer design that meets the intent and purpose of the ordinance while following best management practices per industry standards.

Staff's Perspective

Staff notes that a recent application also requested flexibility which was not met favorably at that time. Staff is concerned about granting a variance to this buffer yard ordinance as this will not be a unique request as there seems to be agreement in

concerns regarding the number of trees and best management practices amongst applicants. Additionally, there are multiple options to meet the buffer yard requirements if less plantings are desired. If the Commission and Council agree the tree survey and site photos provided by the applicant show a substantial existing buffer, it would be better for the City to make a finding that these areas constitute existing wooded areas; therefore, an additional buffer is not needed (please note, the site photos do not show which trees will be removed). Should a variance be granted on this standard, staff strongly recommends the City consider amending the buffer yard ordinance to avoid continued requests for flexibility from the standard.

Planning Commission

This was the variance most discussed by the Planning Commission. The Commission ultimately recommended denial of the variance (4-1), but there was concern that the number of trees required by ordinance should be re-evaluated to address the concerns raised by applicants to date in the long-term.

7. Summary of Remaining Issues

The Council is asked to provide guidance on the remaining discussion points with this application:

1. Required parking for the amenity lot.
2. Buffer yard requirements, specifically:
 - a. Use of WL2, WL3, and WL 5 as a natural buffer.
 - b. Buffer yard on Lot 19 in addition to road right-of-way required by the findings of the City's feasibility study.
 - c. Determination that portions of the north and east property line may be considered an existing wooded area that either exempts or reduced the required number of plantings in these areas.
 - d. Buffer yard requirement on the amenity lot in addition to a retaining wall and significant grade change.
3. Exempting Lots 13 and 14 from higher architectural treatment on the rear façade along County Road 116 due to existing vegetation.

8. Recommendation

The Staff and Planning Commission recommends approval of the following:

1. Resolution 2024-25 Approving the Comprehensive Plan Amendment
2. Ordinance 518 Approving the Rezoning to RSF-3
3. Summary Ordinance 2024-519 for Publication
4. Resolution 2024-26 with Findings of Fact Supporting the Zoning Ordinance Amendments
5. Resolution 2024-27 Approving Preliminary Plat

The Planning Commission recommends approval of Resolution 2024-28 approving the variance to the side setback but denying the variances to the garage maximum and buffer yard ordinance. This is provided as Option A for Resolution 2024-28.

Staff continues to recommend approval of the side setback and garage maximum variances based on the feedback received from Council at the concept plan stage of this application. Staff recommends denial of the buffer yard ordinance variance. This is provided as Option B for Resolution 2024-28.

Attachments:

1. Resolution 2024-25 Approving the Comprehensive Plan Amendment
2. Ordinance 2024-518 Approving the Zoning Ordinance Amendments to RSF-3
3. Summary Ordinance 2024-519 for Publication
4. Resolution 2024-26 with Findings of Fact Supporting the Zoning Ordinance Amendments
5. Resolution 2024-27 Approving Preliminary Plat
6. Resolution 2024-28 Approving 1 Variances and Denying 2 Variances (Option A: Planning Commission Recommendation)
7. Resolution 2024-28 Approving 2 Variances and Denying 1 Variance (Option B: Staff Recommendation)
8. 2040 Comprehensive Plan Proposed Revisions to Chapter 2: Land Use
9. Applicant Narrative
10. City Engineering Plat Review Memo Dated 2/29/2024.
11. City Engineering Stormwater Review Memo Dated 2/28/2024.
12. Public Safety Memo Dated 2/7/2024.
13. Hennepin County Memo Dated 1/10/2024.
14. Public Comment Received
15. Site Boundary Map and Photos
16. Plan Set

RESOLUTION NO. 2024-25

Motion By:
Seconded By:

**A RESOLUTION APPROVING A COMPREHENSIVE PLAN AMENDMENT FOR
“WOODLAND HILLS” AT THE NORTHEAST CORNER OF COUNTY ROAD 116 AND
HACKAMORE ROAD (PID 36-119-23-33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010)
(CITY FILE NO. 23-032)**

WHEREAS, Woodland Hills of Corcoran, Inc. (“the applicant”) request approval of an amendment to create a new land use designation called “Very Low Density Residential” and a 2040 Future Land Use Map amendment to change the land use designation of approximately 36.74 acres from Low Density Residential to Very Low Density Residential on the property described as follows;

See Attachment A.

WHEREAS, the “Very Low Density Residential” land use designation will allow for a minimum density of 2 units per acre and a maximum density of 3 units per acre;

WHEREAS, the Planning Commission reviewed the requested amendment at a duly called Public Hearing and recommends approval;

WHEREAS, staff prepared revisions to the land use tables in Chapter 2 and additional language to be added on p. 46 of the 2040 Comprehensive Plan as provided in the City Council staff report dated 3/28/2024;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a comprehensive plan amendment for the above referenced parcel, based on the following findings and subject to the following conditions:

1. The amendments offers new development opportunities that were not previously considered in the Comprehensive Plan, particularly in areas with a significant number of wetlands or other natural resources.
2. Reclassifying the site is needed to allow reasonable development of the site that responds to current market conditions.
3. The proposed amendment has merit beyond the interests of the proponents as there are other applicants finding it difficult to meet the 3 units per acre minimum density required in low density residential while meeting other City goals such as natural resources and open space preservation.
4. With the planned infrastructure improvements developed with this project, there is adequate public infrastructure planned to serve the site.

RESOLUTION NO. 2024-25

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-25

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

ORDINANCE NO. 2024-518

Motion By:
Seconded By:

AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CITY CODE TO AMEND THE TEXT OF SECTION 1040.050 AND CLASSIFY CERTAIN LAND LOCATED AT THE NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (PID 36-119-23-33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010) (CITY FILE NO. 23-032)

THE CITY OF CORCORAN ORDAINS:

Section 1. Amendment of the City Code. The text of Section 1040.050, Subd. 1 of the Corcoran City Code is hereby amended by removing the ~~stricken~~ material and adding the underlined material as follows:

Areas zoned RSF-3 are guided Low Density or Very Low Density on the City's 2040 Comprehensive Plan. Development within this district must be within the density range identified for the applicable land use designation in the Comprehensive Plan. at a minimum density of 32.0 units per net acre up to a maximum of 5.0 units per acre.

Section 2. Amendment of the City Code. Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the classification of the City of Corcoran Zoning Map from RSF-2 (Single Family Residential) to RSF-3 (Single and Two-Family Residential) on the property legally described as follows:

See Attachment A

Section 3. This amendment shall take effect upon its adoption.

ADOPTED by the City Council on the 28th day of March 2024.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Ordinance is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

ORDINANCE NO. 2024-518

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

ORDINANCE NO. 2024-519

**Motion By:
Seconded By:**

CITY OF CORCORAN

SUMMARY OF ORDINANCE NO. 2024-518

AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CORCORAN CITY CODE TO AMEND THE TEXT OF SECTION 1040.050 AND CLASSIFY CERTAIN LAND LOCATED AT THE NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (CITY FILE 23-032)

Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended to revise the text of Section 1040.050 of the Zoning Ordinance and the City of Corcoran’s Zoning Map. A printed copy of the entire amendment is available for inspection by any person at City Hall during the City Clerk’s regular office hours.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Ordinance is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-26

Motion By:
Seconded By:

APPROVING FINDINGS OF FACT FOR A ZONING TEXT AMENDMENT OF SECTION 1040.050 AND ZONING MAP AMENDMENT FOR THE PROPERTIES LOCATED AT THE NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (PID 36-119-23-33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010) (CITY FILE NO. 23-032)

WHEREAS, Woodland Hills of Corcoran, Inc. (the “applicant”) requests approval to rezone 36.74 acres legally described as follows:

See Attachment A

WHEREAS, the City approved a Comprehensive Plan Amendment that creates a new land use designation called “Very Low Density Residential” to allow for development at a minimum density of 2 units an acre and a maximum density of 3 units an acre.

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing, and;

WHEREAS, the City Council adopted an ordinance that includes a zoning text amendment to clarify the purpose of the RSF-3 district as well as a zoning map amendment rezoning the affected parcels from RSF-2 (Single-Family Residential) to RSF-3 (Single and Two-Family Residential);

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does support the request for reclassification of the property, based on the following findings and conditions:

1. The zoning ordinance amendments have been considered in relation to the specific policies and provisions of, and have been found to be consistent with, the City Comprehensive Plan, including public facilities and capital improvement plans.
2. The zoning text amendment meets the purpose and intent of the Zoning Ordinance as it does not conflict with the outlined purpose and intent in Section 1010.020 of the City Code. The zoning map amendment meets the purpose and intent of the RSF-3 district which is intended to be the primary zoning district for new residential development.
3. There is adequate infrastructure available to serve the proposed action. With the required improvements of this development, there will be adequate infrastructure available to serve the site developed at RSF-3 standards. The text amendment does not have an effect on infrastructure availability.
4. There is an adequate buffer or transition between potentially incompatible districts. The buffer yard and wetland buffer requirements of the Zoning Ordinance will allow for an adequate buffer and transition between lower density districts to the north and east.

RESOLUTION NO. 2024-26

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-26

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

RESOLUTION NO. 2024-27

Motion By:
Seconded By:

A RESOLUTION APPROVING A PRELIMINARY PLAT FOR “WOODLAND HILLS OF CORCORAN” ON THE PROPERTIES LOCATED AT THE NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (PID 36-119-23-33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010) (CITY FILE NO. 23-032)

WHEREAS, Woodland Hills of Corcoran, Inc. (“the applicant”) requests approval of a preliminary plat to create 61 lots and 5 outlots from three properties described as follows;

See Attachment A.

WHEREAS, the Planning Commission reviewed the preliminary plat at a duly called public hearing, and;

WHEREAS, the Planning Commission recommended approval, and;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a preliminary and variance subject to the following findings and conditions:

1. A preliminary plat is approved, in accordance with the plans received by the City on November 30, 2023, with additional material received as of December 27, 2023, January 18, 2024, January 25, 2024, February 9, 2024, and February 14, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the Comprehensive Plan Amendment and Zoning Ordinance Amendments for “Woodland Hills.” (Resolutions 2024-25 and 2024-26 and Ordinance 2024-518). The applicant shall comply with all conditions of approval.
3. The applicant shall comply with all requirements in the City Engineer Plat Review Memo dated February 29, 2024.
4. The applicant shall comply with all requirements in the City Engineer Stormwater Review Memo dated February 29, 2024.
5. The applicant shall comply with all requirements in the Hennepin County Memo dated January 10, 2024.
6. The applicant shall comply with all requirements in the Public Safety Plan Review comments dated February 7, 2024.
7. Approval is contingent upon approval of the comprehensive plan amendment with the Metropolitan Council.

RESOLUTION NO. 2024-27

8. Prior to release of final plat for recording, the applicant shall enter into a Development Agreement to provide a financial guarantee to protect the work.
9. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. Wetland signs must be purchased from the City.
 - b. Wetland signs must be installed on treated 4x4 wooden posts.
 - c. Wetland buffer signs must be installed prior to issuance of building permits.
 - d. The installation of the wetland monument buffer signs according the approved plan must be certified by a registered land surveyor.
 - e. Wetland buffers must be planted and inspected by the City prior to issuance of building permits unless an alternative timeline is approved by the City.
 - f. Where buffer areas are not vegetated or have been disturbed within the last 10 years, such buffer areas shall be replanted and maintained according to the standards in Section 1050.010, Subd. 8(C) of the Zoning Ordinance.
 - i. If existing wetland buffers are proposed to remain, the City's wetland buffer specialist must inspect and confirm existing buffers are undisturbed and in an acceptable condition prior to submittal of the final plat application.
 - g. Wetland buffers, plantings, seeding areas and monument signs shall be shown on the ground cover plan.
10. Park dedication shall be satisfied by cash-in-lieu of land. Park dedication will be based on the park dedication ordinance in place at the time the final plat is approved.
 - a. Park dedication is required based on the finding that the development will add 60 new single-family homes to the City.
 - b. Residents of the development will need access to nearby existing and future trails and parks that do not exist today as guided by the Comprehensive Plan.
 - c. Cash-in-lieu of land will be used only for the acquisition and development of parks recreational facilities, playground, trails, wetlands, or open space based on the approved park plan in the Comprehensive Plan.
 - d. Park dedication funds will be collected at the time of final plat in accordance with the City Code requirements. Code stipulates a dedication requirement of 5% of land for land guided at a density of less than 3 units an acre or equivalent market value in cash, resulting in estimated park dedication fees of \$357,240.
11. The amenity lot containing a swimming pool and pool house will require three off-street parking spaces including one handicapped space.

RESOLUTION NO. 2024-27

12. Prior to submittal of the final plat, the applicant must complete the following:

- a. Revise the preliminary plat to show the following:
 - i. Should the proposed wetland impacts to Wetland 8 not be approved, the plans must be revised to include the required wetland buffer and setback.
 - ii. Required wetland buffers must be revised to meet the required minimum and maximum buffer widths as outlined in Section 1050.010.
 - iii. The applicant's engineer must certify the average width of each wetland buffer.
 - iv. Additional wetland buffer monument signs are required for Wetland 3, and further revisions will be needed based on the final wetland buffer widths and contours.
 - v. The area of the required buffer yards must be shown within conservation easements.
- b. Revise the site plan to show the following:
 - i. Should a variance granting a side setback of 7.5' not be granted, the plan must be revised to show setbacks that comply with the RSF-3 (Single and Two-Family Residential) standards.
 - ii. Required off-street parking for the amenity lot.
- c. The Ground Cover Plan must be revised to reflect the following:
 - i. Which wetland buffers are believed to be pre-established and undisturbed and which wetland buffers will be established.
 - ii. Wetland buffers.
 - iii. Wetland plantings and seedings.
 - iv. Wetland buffer monument signs.
- d. Revise the Landscaping plan to show the following:
 - i. The amenity lot is not considered a dwelling unit and is subject to the landscaping requirements for non-residential uses per Section 1060.070. The plan should be revised to provide the necessary calculations and include the required plantings.
 - ii. Lot 7 either needs to be revised to show a 100' building setback, or the length of the west property line adjacent to County Road 116 with less than

RESOLUTION NO. 2024-27

- a 100' setback applied must be included in the enhanced landscaping formula and plantings.
- iii. Each required planting formula must be rounded up to the next whole number of plantings, and the number of plantings provided must be adjusted based on these calculations.
 - iv. Planting locations should be revised along County Road 116 to avoid conflicts with sanitary sewer.
 - v. If a variance to the buffer yard requirements is not granted, the applicant must revise plans to include:
 1. A buffer yard on Lot 19.
 2. Revise the plans so the calculations and plantings shown within Detail A are consistent.
 3. A buffer yard are along the east boundary for areas not deemed to be part of an existing wooded or natural wetland buffer area.
13. The final locations for street lighting will be approved by the City Engineer.
14. The applicant shall finalize the fixtures proposed in the submittal and provide detailed specifications that demonstrate compliance with Section 1060.040 (Lighting) of the Zoning Ordinance for the project.
15. The Homeowner's Association shall be responsible for the maintenance of:
- a. Landscaping and any irrigation in the common areas.
 - b. Wetlands and stormwater ponds including buffer areas.
 - c. Sidewalks.
 - d. All common areas, including signage, lighting, and landscaping in those areas including conservation easements for required buffer yards.
16. Drainage and utility easements shall be provided over all wetlands, wetland buffers, stormwater ponds, floodplain, and outlots.
17. Drainage and utility easements shall be provided along the perimeter of all units.
18. A sidewalk shall be provided on one side of all local public streets.
19. All utility facilities, including but not limited to telephone, CATV, natural gas, and electric power, shall be located underground. Underground service connections to the street property line of each platted lot shall be installed at the subdivider's expense.

RESOLUTION NO. 2024-27

20. Mechanical equipment (including air conditioning units) must be located in the side or rear yard and must be located a minimum of 5' from the property line.
21. The development shall comply with the City's requirements regarding fire access, fire protection, and fire flow calculations, the location of fire hydrants, fire department connections, and fire lane signage.
22. The applicant shall provide copies of the final Homeowner's Association Documents/Covenants for City review as part of the final plat application.
23. The applicant will establish a conservation easement and maintenance agreement over required buffer yard areas located on individual lots as well as common lots with the final plat, subject to approval by the City Attorney.
24. Lawn sprinklers/irrigation systems (if provided) shall all have rain sensors to limit unnecessary watering.
25. All landscaping in rear yards and common areas shall be planted and inspected by the City within one year of issuance of a building permit unless an alternative timeline is approved by the City.
26. Trees in the front yard shall be planted prior to issuance of certificate of occupancy unless an alternative timeline is approved.
27. Parking shall be permitted on one side of local streets and shall be signed in accordance with City standards.
28. Sign permits will be required prior to construction of any signs.
29. The final plat shall address all conditions of approval.
30. The applicant must enter into a stormwater maintenance agreement prior to release of the final plat.
31. Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of the final plat.

RESOLUTION NO. 2024-27

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-27

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

RESOLUTION NO. 2024-28

Motion By:
Seconded By:

**A RESOLUTION APPROVING ONE VARIANCE AND DENYING TWO VARIANCES FOR
“WOODLAND HILLS OF CORCORAN” ON THE PROPERTIES LOCATED AT THE
NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (PID 36-119-23-
33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010)
(CITY FILE NO. 23-032)**

WHEREAS, Woodland Hills of Corcoran, Inc. (“the applicant”) requests approval of a preliminary plat for 60 residential lots, 1 amenity lot, and 5 outlots on property described as follows:

See Attachment A

WHEREAS, the applicant also requested approval of three variances from underlying district and performance standards;

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing, and;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a preliminary plat subject to the following findings and conditions;

1. The requested variance from Section 1060.050, Subd. 7 to allow a 7.5’ side setback is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning Ordinance. The applicant requests flexibility for builders to locate a home on a lot. It is anticipated the lots will be sold to multiple various local builders for construction of custom homes. A clear side setback will allow for consistency, avoid confusion between builders, landowners, and City staff, while still maintaining a 15’ building separation.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The subdivision is on a 36.74-acre site that is bordered on the south by Hackamore Road and to the west by County Road 116. These constraints result in a lot design and house placement restrictions that are unique to the project boundaries.
 - c. That the granting of the variation will not alter the essential character of the locality. The underlying district standards require a minimum 15’ separation between structures on adjacent lots. The requested 7.5’ side setback will maintain this separation which is consistent with the essential character of the locality.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The underlying district standards require a minimum 15’ separation between structures on adjacent lots. The requested 7.5’ side setback

RESOLUTION NO. 2024-28

will maintain this separation which is consistent with the purpose and intent of the ordinance.

- e. The variance is consistent with the Comprehensive Plan and maintains the Very Low Density Residential land use designation.
 - f. The City may impose conditions on the variance to address the impact on the variance. A 25' front setback must be applied to offset the impact of granting the deviation in the side setback.
2. The requested variance from Section 1040.050, Subd. 8(B) to allow a garage maximum of 65% of the viewable ground floor street-facing linear building frontage for 3-car garages and 70% for 4-car garages is denied based on the following findings:
- a. That there are no practical difficulties in complying with the Zoning and Subdivision Ordinance standards. If there is a desire to have a 3-car and 4-car garage, then the house plan can be adjusted to comply with the ordinance as written. Lots that are too small to comply with the standard are too small for the size of garage desired.
 - b. That the conditions upon which a petition for a variation is based are not unique to the parcel of land for which the variance is sought and will be a result created by the existing landowner. There are many property owners within the City that have a lot size that is too small for the desired garage or accessory structure size. The property owner could choose to plat the lots large enough to be able to comply with the standard as prescribed in the Zoning Ordinance.
 - c. That the granting of the variation will alter the essential character of the locality. Granting a deviation to this standard will result in a product more similar to a "snout house" which is not allowed in this area.
 - d. The proposed variance is not in harmony with the general purposes and intent of the ordinance. It is believed this ordinance was created to avoid "snout houses" and granting this variance to allow 3-car or 4-car garages will result in a product the more resembles a snout house than not.
 - e. The variance is consistent with the Comprehensive Plan as a deviation does not conflict with the Very Low Density Residential land use guiding.
 - f. The City does not find that the impact of granting this variance can be addressed with conditions.
3. The requested variance for flexibility from the City's buffer yard requirements in Section 1060.070, Subd. 2(J) is denied based on the following findings:
- a. That there are no practical difficulties in complying with the zoning ordinance. There are multiple options to meet the buffer yard ordinance requirements if a deviation in the number of plantings is desired.

RESOLUTION NO. 2024-28

- b. That the conditions upon which a petition for a variation is based are not unique to the parcel of land for which the variance is sought though not necessarily created by the landowner. Other properties will face similar constraints of neighboring overstory canopies and concerns with the number of required plantings.
 - c. That the granting of the variation will alter the essential character of the locality. The buffer yard ordinance was created intentionally to protect the essential character of existing neighborhoods without placing burden on them to provide their own screening from new development. Deviation from the buffer yard ordinance will not address the City’s concerns with protecting the essential character of the locality.
 - d. The proposed variance would not be in harmony with the general purposes and intent of the ordinance. The buffer yard ordinance was created intentionally to provide significant screening for existing neighborhoods without placing burden on them to provide their own screening from new development. Deviation from the buffer yard ordinance will not address the purpose and intent of the ordinance.
 - e. The variance is not consistent with the Comprehensive Plan as the buffer yard ordinance is a strategy to protect rural character, and deviation from the buffer yard ordinance is less likely to provide the significant screening desired to protect rural character.
 - f. The City does not find that the impact of granting this variance can be addressed with conditions.
4. The applicant is required to record this resolution with the Hennepin County’s Recorder’s Office and provide proof of recording to the City.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-28

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

RESOLUTION NO. 2024-28

Motion By:
Seconded By:

**A RESOLUTION APPROVING TWO VARIANCES AND DENYING ONE VARIANCE FOR
“WOODLAND HILLS OF CORCORAN” ON THE PROPERTIES LOCATED AT THE
NORTHEAST CORNER OF COUNTY ROAD 116 AND HACKAMORE ROAD (PID 36-119-23-
33-0003, 36-119-23-33-0007, AND 36-119-23-33-0010)
(CITY FILE NO. 23-032)**

WHEREAS, Woodland Hills of Corcoran, Inc. (“the applicant”) requests approval of a preliminary plat for 60 residential lots, 1 amenity lot, and 5 outlots on property described as follows:

See Attachment A

WHEREAS, the applicant also requested approval of three variances from underlying district and performance standards;

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing, and;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a preliminary plat subject to the following findings and conditions;

1. The requested variance from Section 1060.050, Subd. 7 to allow a 7.5’ side setback is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning Ordinance. The applicant requests flexibility for builders to locate a home on a lot. It is anticipated the lots will be sold to multiple various local builders for construction of custom homes. A clear side setback will allow for consistency, avoid confusion between builders, landowners, and City staff, while still maintaining a 15’ building separation.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The subdivision is on a 36.74-acre site that is bordered on the south by Hackamore Road and to the west by County Road 116. These constraints result in a lot design and house placement restrictions that are unique to the project boundaries.
 - c. That the granting of the variation will not alter the essential character of the locality. The underlying district standards require a minimum 15’ separation between structures on adjacent lots. The requested 7.5’ side setback will maintain this separation which is consistent with the essential character of the locality.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The underlying district standards require a minimum 15’ separation between structures on adjacent lots. The requested 7.5’ side setback

RESOLUTION NO. 2024-28

will maintain this separation which is consistent with the purpose and intent of the ordinance.

- e. The variance is consistent with the Comprehensive Plan and maintains the Very Low Density Residential land use designation.
 - f. The City may impose conditions on the variance to address the impact on the variance. A 25' front setback must be applied to offset the impact of granting the deviation in the side setback.
2. The requested variance from Section 1040.050, Subd. 8(B) to allow a garage maximum of 65% of the viewable ground floor street-facing linear building frontage for 3-car garages and 70% for 4-car garages is approved based on the following findings:
- a. That there are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. There is market demand for 3-car and 4-car garages which is a reasonable use of these properties. However, it is impractical to meet density requirements while also providing a lot width large enough that can accommodate these different garage options.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner. The subject properties of the subdivision will be made available to multiple builders for custom built lots. The preference for a 3-car or 4-car garage is based on market demands which are not created by the landowner. Additionally, the City's ordinances limit and at times prohibit on-street parking, so property owners have an interest in building a home with sufficient garage space for their vehicles.
 - c. That the granting of the variation will not alter the essential character of the locality. A larger garage frontage can be minimized with a second story and/or larger setback from the road. Planned Unit Developments in the area have been granted flexibility from this standard. Additionally, it is not uncommon for older neighborhoods within the City to have either a larger garage or second garage.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. Conditions can be added to minimize the appearance of the garage to ensure harmony with the purpose and intent of the ordinance.
 - e. The variance is consistent with the Comprehensive Plan as a deviation does not conflict with the Very Low Density Residential land use guiding.
 - f. The City may impose conditions on the variance to address the impact of the variance. Houses that choose to bypass the 55% maximum garage limit must include a second story as a way to minimize the visual impact of the larger garage.
3. The requested variance for flexibility from the City's buffer yard requirements in Section 1060.070, Subd. 2(J) is denied based on the following findings:

RESOLUTION NO. 2024-28

- a. That there are no practical difficulties in complying with the zoning ordinance. There are multiple options to meet the buffer yard ordinance requirements if a deviation in the number of plantings is desired.
 - b. That the conditions upon which a petition for a variation is based are not unique to the parcel of land for which the variance is sought though not necessarily created by the landowner. Other properties will face similar constraints of neighboring overstory canopies and concerns with the number of required plantings.
 - c. That the granting of the variation will alter the essential character of the locality. The buffer yard ordinance was created intentionally to protect the essential character of existing neighborhoods without placing burden on them to provide their own screening from new development. Deviation from the buffer yard ordinance will not address the City's concerns with protecting the essential character of the locality.
 - d. The proposed variance would not be in harmony with the general purposes and intent of the ordinance. The buffer yard ordinance was created intentionally to provide significant screening for existing neighborhoods without placing burden on them to provide their own screening from new development. Deviation from the buffer yard ordinance will not address the purpose and intent of the ordinance.
 - e. The variance is not consistent with the Comprehensive Plan as the buffer yard ordinance is a strategy to protect rural character, and deviation from the buffer yard ordinance is less likely to provide the significant screening desired to protect rural character.
 - f. The City finds that there are no conditions that can be added in order to mitigate the effect of granting this variance request.
4. The applicant is required to record this resolution with the Hennepin County's Recorder's Office and provide proof of recording to the City.

RESOLUTION NO. 2024-28

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

Option B

RESOLUTION NO. 2024-28

ATTACHMENT A

Parcel 1:

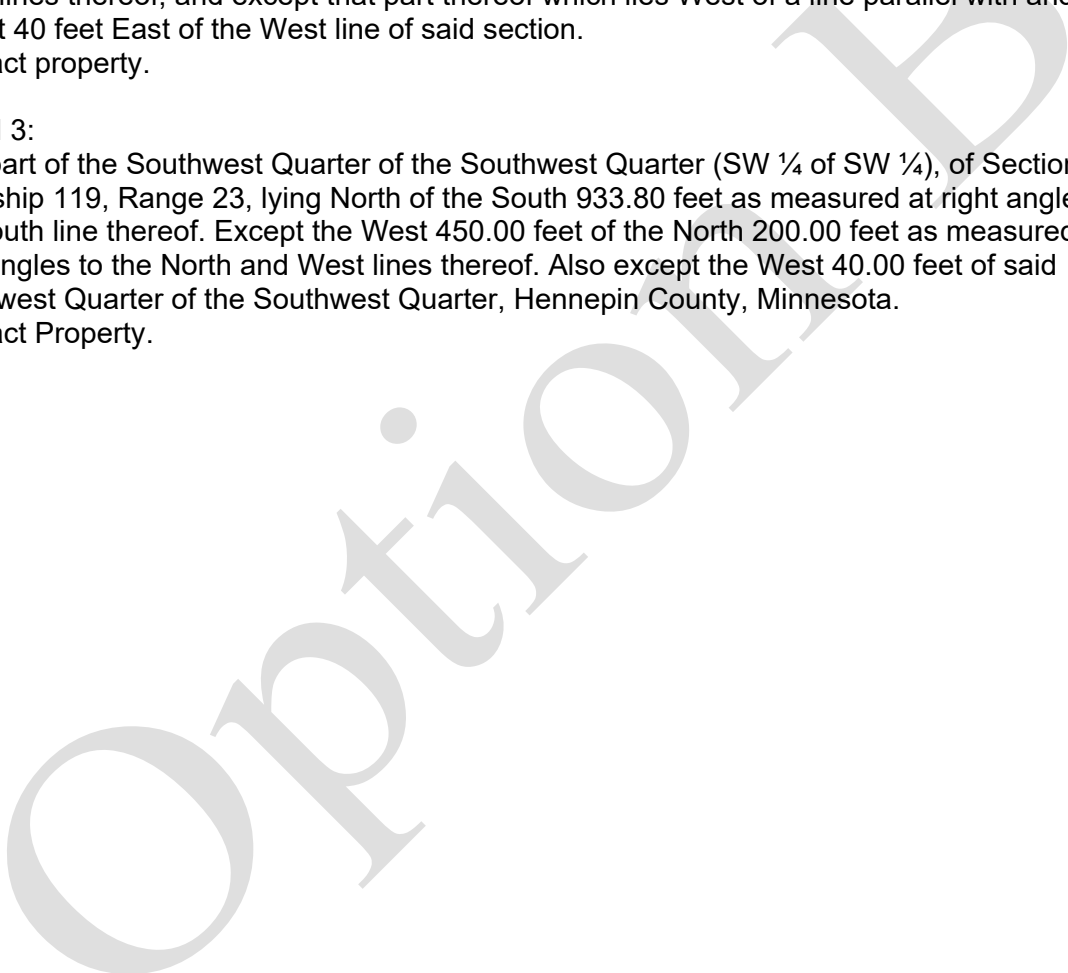
The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.



2040 Comprehensive Plan Proposed Revisions to Chapter 2: Land Use

Existing Table 2-1:

TABLE 2-1: 2040 LAND USE ACREAGE TABLE				
2040 Future Land Use	Net Acres	Percent Total Net Acres	Gross Acres	Percent Total Gross Acres
Ag Preserve	1,588.72	9.42%	2,078.36	9.48%
Rural/Ag Residential	9,276.27	55.03%	11,954.94	54.55%
Existing Residential	1,153.70	6.84%	1,586.74	7.24%
Low Density Residential	2,656.56	15.76%	3,694.72	16.86%
Medium Density Residential	66.04	0.39%	84.75	0.39%
Mixed Residential	449.88	2.67%	522.43	2.38%
High Density Residential	80.32	0.48%	126.75	0.59%
Mixed Use	459.08	2.72%	532.42	2.43%
Rural Service/Commercial	185.69	1.10%	198.15	.90%
Commercial	148.38	0.88%	173.81	0.79%
Business Park	76.89	0.46%	76.89	0.35%
Light Industrial	481.22	2.85%	563.34	2.57%
Parks/Open Space	76.85	0.46%	84.38	0.39%
Public/Semi-Public	157.30	.93%	235.42	%
GRAND TOTAL	16,856.91	100.00%	21,915.11	100.00%

Revised Table 2-1:

Table 2-1: 2040 Land Use Acreage Table				
2040 Future Land Use	Net Acres	Percent Total Net Acres	Gross Acres	Precent Total Gross Acres
Ag Preserve	1,588.72	9.42%	2078.36	9.48%
Rural/Ag Residential	9,276.27	55.03%	11954.94	54.55%
Existing Residential	1153.7	6.84%	1586.74	7.24%
<u>Very Low Density Residential</u>	<u>29.86</u>	<u>0.18%</u>	<u>36.74</u>	<u>0.17%</u>
<u>Low Density Residential</u>	<u>2626.7</u>	<u>15.58%</u>	<u>3657.98</u>	<u>16.69%</u>
Medium Density Residential	66.04	0.39%	84.75	0.39%
Mixed Residential	449.88	2.67%	522.43	2.38%
High Density Residential	80.32	0.48%	128.75	0.59%
Mixed Use	459.08	2.72%	532.42	2.43%
Rural Service/Commercial	185.69	1.10%	198.15	0.90%
Commercial	148.38	0.88%	173.81	0.79%
Business Park	76.89	0.46%	76.89	0.35%
Light Industrial	481.22	2.85%	563.34	2.57%
Parks/Open Space	76.85	0.46%	84.38	0.39%
Public/Semi-Public	157.3	0.93%	235.42	1.07%
Grant Total	16,856.90	100.00%	21915.10	100.00%

Existing Table 2-2:

TABLE 2-2: 2040 MUSA DENSITY					
2040 Future Land Use	Gross Acres	Net Acres	Density Range	Minimum Units	Maximum Units
Existing Residential	1,586.74	1,153.70	0.5-1	577	1,154
Low Density Residential	3,694.72	2,656.56	3-5	7,970	13,283
Medium Density Residential	84.74	66.04	5-8	330	528
Mixed Residential	522.43	449.88	8-10	3,599	4,499
High Density Residential	128.75	80.32	10-30	803	2,410
Mixed Use	532.42	459.08	8-30	1,836	6,886
GRAND TOTAL	6,549.82	4,865.58		15,115	28,760
NET DENSITY (UNITS PER ACRE)				3.11	

Revised Table 2-2:

Table 2-2: 2040 MUSA Density						
2040 Future Land Use	Gross Acres	Net Acres	Minimum Density Range	Maximum Density Range	Minimum Units	Maximum Units
Existing Residential	1,586.74	1,153.7	0.5	1	577	1,154
<u>Very Low Density Residential</u>	<u>36.74</u>	<u>29.86</u>	<u>2</u>	<u>3</u>	<u>60</u>	<u>90</u>
<u>Low Density Residential</u>	<u>3,657.98</u>	<u>2626.7</u>	<u>3</u>	<u>5</u>	<u>7,880</u>	<u>13,134</u>
Medium Density Residential	84.74	66.04	5	8	330	528
Mixed Residential	522.43	449.88	8	10	3,599	4,499
High Density Residential	128.75	80.32	10	30	803	2,410
Mixed Use	532.42	459.08	8	30	1,836	6,886
Grand Total		4,865.58			<u>15,085</u>	
Net Density Units Per Acre					<u>3.10</u>	

Existing Table 2-3:

TABLE 2-3: RESIDENTIAL UNITS AND DENSITY BY STAGING AREA										
2040 Future Land Use	Density Range	2020-2030			2030-2040*			TOTAL		
		Net Acres	Minimum Units	Maximum Units	Net Acres	Minimum Units	Maximum Units	Net Acres	Minimum Units	Maximum Units
Existing Residential	0.5-1	30.74	15	31	1,122.96	561	1,123	1,153.70	577	1,154
Low Density Residential	3-5	1,124.28	3,373	5,621	1,516.50	4,549	7,582	2,640.78	7,922	15,849
Medium Density Residential	5-8	48.26	241	386	17.78	89	142	66.04	330	528
Mixed Residential	8-10	205.77	1,646	2,058	244.11	1,953	2,441	449.88	3,599	5,423
High Density Residential	10-30	80.32	803	2,410	-	-	-	80.32	803	2,410
Mixed Use	8-30	459.08	1,836	6,886	-	-	-	459.08	1,836	5,494
GRAND TOTAL		1,948.45	7,915	17,392	2,901.35	7,153	11,289	4,849.80	15,068	30,858
DENSITY BY STAGING		4.06			2.47			3.11		

*The calculations include land in the Future Study Area. The study area includes 136.8 net acres of Existing Residential, 143.9 net acres of Low Density Residential, 17.8 net acres of Medium Density Residential, 60.3 net acres of Commercial and 271.9 net acres of Industrial.

Revised Table 2-3:

Table 2-3: Residential Units and Density by Staging Area											
			2020-2030			2030-2040			Total		
2040 Future Land Use	Density Range (Low)	Density Range (High)	Net Acres	Minimum Units	Maximum Units	Net Acres	Minimum Units	Maximum Units	Net Acres	Minimum Units	Maximum Units
Existing Residential	0.5	1	30.74	15.37	30.74	1,122.96	561.48	1,122.96	1,153.7	576.85	1,153.7
<u>Very Low Density Residential</u>	<u>2</u>	<u>3</u>	<u>29.86</u>	<u>59.72</u>	<u>89.58</u>	-	-	-	<u>29.86</u>	<u>59.72</u>	<u>89.58</u>
<u>Low Density Residential</u>	<u>3</u>	<u>5</u>	<u>1,094.42</u>	<u>3,283.26</u>	<u>5,472.1</u>	<u>1,516.5</u>	<u>4,549.5</u>	<u>7,582.5</u>	<u>2,610.92</u>	<u>7,832.76</u>	<u>13,054.6</u>
Medium Density Residential	5	8	48.26	241.3	386.08	17.78	88.9	142.24	66.04	330.2	528.32
Mixed Residential	8	10	205.77	1,646.16	2,057.7	244.11	1,952.88	2441.1	449.88	3,599.04	4,498.8
High Density Residential	10	30	80.32	803.2	2,409.6	-	-	-	80.32	803.2	2,409.6
Mixed Use	8	30	459.08	1,836.32	6,886.2	-	-	-	459.08	1,836.32	6,886.2
Grand Total			1,948.45	7,885.33	17,332	2,901.35	7,152.76	11,288.8	4,849.8	15,038.09	28,620.8
Density By Staging			4.05			2.47			3.10		

Existing Table 2-5:

TABLE 2-5: LAND USE DESIGNATIONS	
Land Use Category	Description
Rural/Ag Residential	Development is agricultural and large lot residential. Area is not intended to receive municipal sewer and water. Density will not exceed 1 unit per 10 acres, except for areas developed under the flexible residential development guidelines in the Open Space & Preservation ordinance.
Agricultural Preserve	Specifically used to implement the Metropolitan Agricultural Preserves program according to MN Statute §473H. Density will not exceed 1 unit per 40 acres.
Existing Low Density Residential	Existing residential neighborhoods within the MUSA area. These areas are developed at approximately 1 unit per 2 acres and are not intended to be redeveloped.
Low Density Residential	Residential development at 3 to 5 units per acre.
Medium Density Residential	Residential development at 5 to 8 units per acre in Medium Density.
Mixed Residential	Residential development at 8 to 10 units per acre in Mixed Residential.
High Density Residential	Residential development at 10 to 30 units per acre.
Mixed Use	Mix of residential, retail and office uses either within 1 building or 1 development. Residential development at 8 to 30 units per acre
Commercial	Retail, office and service uses
Rural Service/ Commercial	Commercial, service and industrial uses, including contractor's yards and other industrial uses with outside storage. This area is not expected to have public sanitary sewer and water service within the 2040 planning period.
Business Park	Intended to accommodate a business campus at the northeast corner of CR 116/CR 30.
Light Industrial	Intended to provide a full range of industrial, manufacturing, warehousing and similar uses with limited outside storage.
Public/Semi-Public	Public facilities, included those owned by the City of Corcoran, semi-public facilities like places of worship and Rush Creek Golf Course.
Parks/Open Space	Public opens space and parks.

Revised Table 2-5:

Table 2-5: Land Use Designations	
Land Use Category	Description
Rural/Ag Residential	Development is agricultural and large lot residential. Area is not intended to receive municipal sewer and water. Density will not exceed 1 unit per 10 acres, except for areas developed under the flexible residential development guidelines in the Open Space & Preservation ordinance.
Agricultural Preserve	Specifically used to implement the Metropolitan Agricultural Preserves program according to MN Statute §473H. Density will not exceed 1 unit per 40 acres.
Existing Low Density Residential	Existing residential neighborhoods within the MUSA area. These areas are developed at approximately 1 unit per 2 acres and are not intended to be redeveloped.
Very Low Density Residential	Residential development at 2 to 3 units per acre.
Low Density Residential	Residential development at 3 to 5 units per acre.
Medium Density Residential	Residential development at 5 to 8 units per acre in Medium Density.
Mixed Residential	Residential development at 8 to 10 units per acre in Mixed Residential.
High Density Residential	Residential development at 10 to 30 units per acre.
Mixed Use	Mix of residential, retail, and office uses either within 1 building or 1 development. Residential development at 8 to 30 units per acre.
Commercial	Retail, office, and service uses.
Rural Service/Commercial	Commercial, service, and industrial uses, including contractor's yards and other industrial uses with outside storage. This area is not expected to have public sanitary sewer and water service within the 2040 planning period.
Business Park	Intended to accommodate a business campus at the northeast corner of CR 116/CR 30.
Light Industrial	Intended to provide a full range of industrial, manufacturing, warehousing, and similar uses with limited outside storage.
Public/Semi-Public	Public facilities, including those owned by the City of Corcoran, semi-public facilities like places of worship, and Rush Creek Golf Course.
Parks/Open Space	Public open space and parks.

Proposed changes to p. 46 of the Comprehensive Plan with the insertion of the following language:

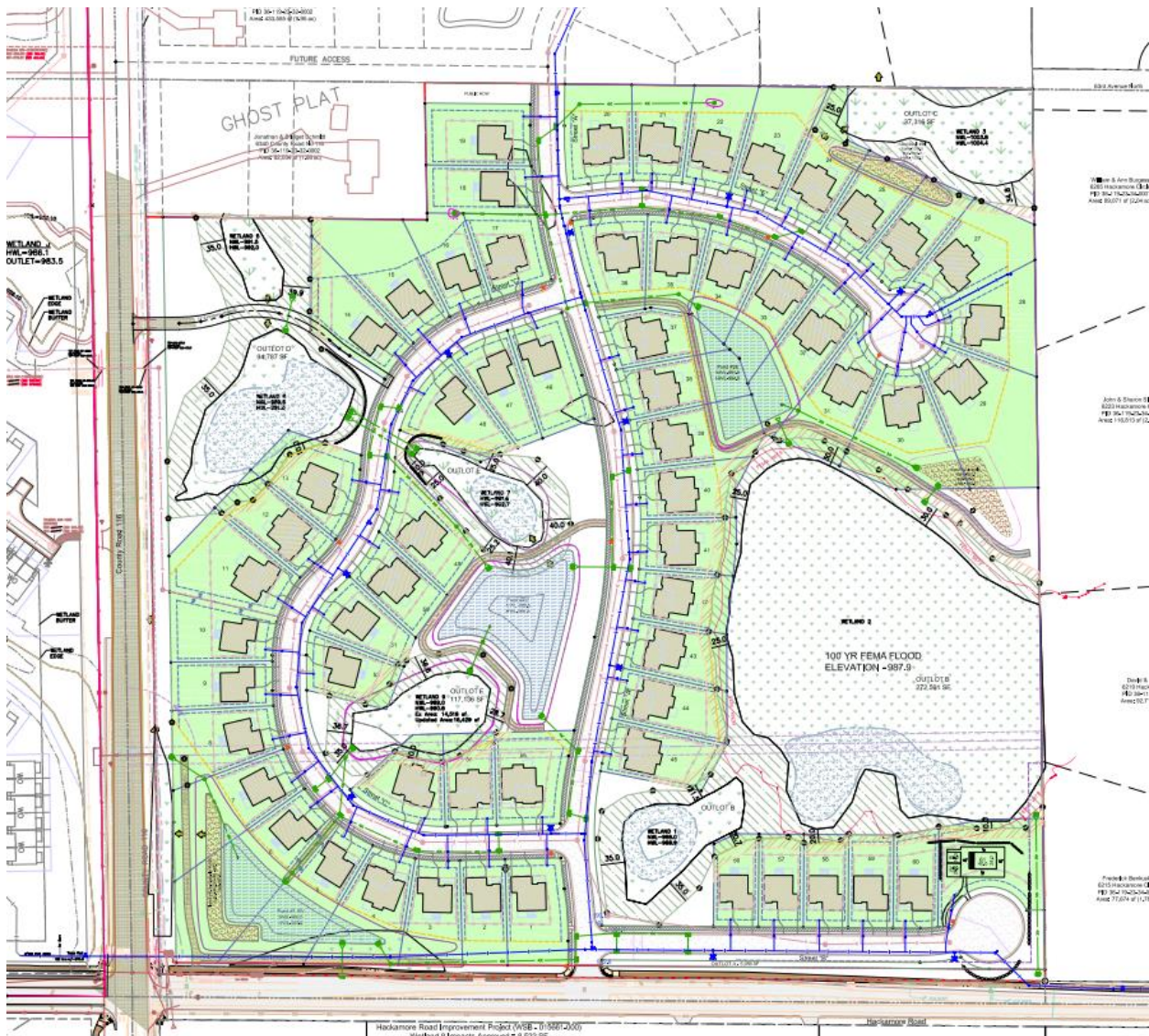
Very Low Density Residential

This land use designation identifies areas for residential development at an average density of 2 to 3 units per acre. It is expected to primarily accommodate single family homes, but twin-homes would also be allowed by the Zoning Ordinance. This land use category will be used sparingly for sites within the 2040 MUSA boundary where a lower density is desirable due to the extent of natural resource preservation within a development site.

Woodland Hills of Corcoran

Development Narrative

Gonyea Company is excited to provide the Preliminary Plat development application for the Woodland Hills of Corcoran neighborhood located in the northeast corner of the Hackamore Road and County Road 116 intersection. Gonyea Company has a strong history of creating quality neighborhoods in the west metro, including many in the cities of Plymouth and Maple Grove, and we plan to build on that history with the creation of Woodland Hills of Corcoran. The Woodland Hills of Corcoran neighborhood as shown includes a total of 60 detached home sites and one amenity lot. The lots will be sold to quality local builders for the construction of custom homes.



Development Team

<p><u>Developer/Property Owner:</u> Woodland Hills of Corcoran, Inc. Dave Gonyea Jake Walesch 6885 Sycamore Lane N Suite 110 Maple Grove, Minnesota 55369 Email: jake@jakewalesch.com</p>	<p><u>Environmental:</u> Kjolhaug Environmental Services Melissa Barrett 2500 Shadywood Road, Suite 130 Orono, MN 55331 Telephone: 952-388-3752 Email: melissa@kjolhaugenv.com</p>
<p><u>Project Manager:</u> Steve Juetten 6885 Sycamore Lane N Suite 110 Maple Grove, Minnesota 55369 Telephone: 612-269-2531 Email: steve@gonyecompany.com</p>	<p><u>Landscape Design:</u> Pioneer Engineering, P.A. Jenni Thompson, PLA, AICP, JD 2422 Enterprise Drive Mendota Heights, Minnesota 55120 Telephone: 651-681-1914 Email: jthompson@pioneereng.com</p>
<p><u>Civil Engineer and Land Surveyor:</u> Sathre-Berquist, Inc. Robert S. Molstad, P.E. 14000 25th Avenue North Plymouth, Minnesota 55447 Telephone: 952-476-6000 Email: molstad@sathre.com</p>	<p><u>Soil Sciences:</u> Haugo Geo Technical Services Paul Haugo 2825 Cedar Avenue S Minneapolis, Minnesota 55407 Telephone: 612-554-4829 Email: p.haugo@gmail.com</p>

Comprehensive Plan and Rezoning

To accommodate the proposed preliminary plat, a comprehensive plan amendment and zoning change is necessary that would allow a density of two to three units per acre and change of the current zoning from RSF-2 to RSF-3. The changes will allow for a mix of 65-foot-wide and 75-foot-wide lots that will more efficiently utilize the site which contains several wetlands and borders Hackamore Road and County Road 116.

Comprehensive Plan

Current Land use Category: Low Density Residential, which requires a minimum density of 3 dwelling units per acre.

Land use categories of adjacent properties:

- Land use of property to the east: Existing Residential
- Land use of property to the north: Low Density Residential
- Land use of property to the west: Low Density Residential
- Land use of property to the south (city of Medina): Future Development

Proposed Land use category: creation of a new land use category to allow a density of 2-3 units per acre.

Zoning

Current Zoning: RSF-2 (Single Family Residential 2)

Zoning of adjacent properties:

- Zoning of property to the east and North: UR (Urban Reserve)
- Zoning of property to the west: PUD (Planned Unit Development)
- Zoning of property to the south (city of Medina): R1 (Single Family Residential) and RR-UR (Rural Residential – Urban Reserve)
- Zoning of property to the southwest (city of Medina): SR (Suburban Residential)

Proposed Zoning: RSF-3 (Single and Two Family Residential 3)

Traffic

Based on current traffic prediction methods, a 60-lot neighborhood would generate approximately 600 vehicle trips per day. Hackamore Road, with the upgrades this past construction season, is sized to accommodate the addition of the proposed 600 additional vehicle trips. For emergency vehicle purposes, an emergency vehicle access is proposed from the neighborhood to County Road 116.

Environmental Impacts

The neighborhood is designed to fill only three small wetlands. The other, larger wetlands will be either preserved or enhanced. With the preservation of the wetlands and the placement of wetland buffers, the environmental impacts will be minimal if not improved. Further discussion on wetlands can be found on pages 4 and 5.

Preliminary Plat

The home sites are being developed for the construction of 60 single-family detached homes that will be built by quality builders that have built hundreds of homes throughout the Twin Cities market. Each home and lot will be individually owned and maintained. Examples of the house product are shown on page 9 and 10. The site grading and infrastructure construction is expected to occur in 2024 with home construction starting in late summer 2024.

Landscaping

A landscaping plan has been provided with the development submittal that shows lot landscaping, buffer landscaping, landscaping along County Road 116 and Hackamore Road and additional landscaping throughout the neighborhood.

Lot Landscaping

Per City Code, each lot will have a minimum of one overstory tree. Many builders and future homeowners will add additional trees as they design and construct the final yard amenities.

Buffer Landscaping

Per the City Code, buffer landscaping has been included in the rear of lots that abut existing lots to the east and to the north. A variance request is included that discusses the reduction in buffer landscaping in certain areas along the north and east property lines.

Adjacent to Hackamore and County Road 116 Landscaping

The design has lots that will have reduced setbacks down to 60 feet from either County Road 116. Additional landscaping as required by City Code will be provided on these lots.

Landscaping in Southeast Corner

To buffer the proposed homes, Street B and the cul-de-sac bubble in the southeast corner of the site from Hackamore Road, 19 Black Hills Spruce and 32 Red Twigged Dogwood are proposed.

Amenities

Wetland Preservation and Buffers

An overriding site design criteria was to preserve as much wetland as possible on the site and to provide the required wetland buffers and structure setbacks. The site currently has ten wetlands, as discussed below in the Wetlands section, the site design contemplates filling three wetlands (approximately 17,198 square feet of wetland (.395 acres)). Five of the remaining wetlands will continue to be classified as medium quality wetlands and two will continue to be classified as low-quality wetlands. Wetland buffers have been shown to meet city buffer standards. The site design allows for the establishment of new buffers after grading is completed.

Pool House and Pool (Association Maintained)

An amenity lot is proposed in the southeast corner of the site and will include a seasonal pool and pool house (the pool house will only be open when the pool is open and will be winterized for non-use when the pool is not open). The final building design and pool design has not been completed and will meet all city standards. The homeowner's association will own, operate, and maintain the amenity. Parking for the pool will only be available along Street B and not allowed in the bubble of the cul-de-sac. Parking restrictions will be signed on site and included in the homeowners association documents.

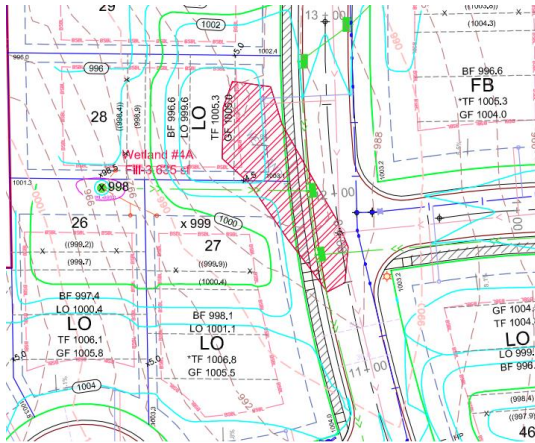
Entryway Feature

There will be an entrance monument installed in the project. The exact location and design has not been decided at the time of submittal. Proper site and permit approvals will be applied for. The monument will be owned and maintained by the homeowner's association.

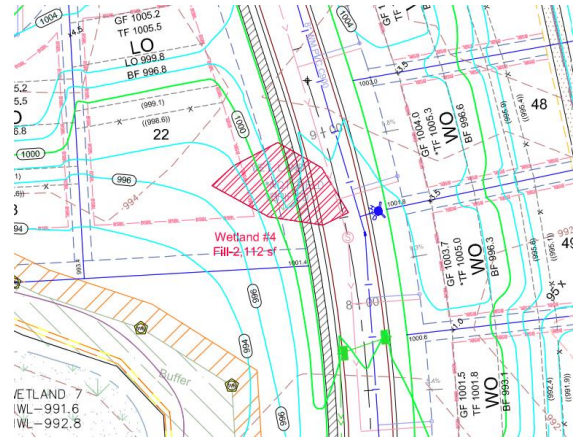
Wetlands

The preliminary plat design proposes filling three small wetlands and preserving seven larger wetlands. The largest of the small wetlands proposed to be filled, Wetland 8, needs to be filled to accommodate the storm water ponding necessary for Hackamore Road. One of the preserved wetlands, Wetland 9, located in the south-central portion of the site, will be enhanced by lowering the edges and revegetating. A separate wetland replacement application has been submitted to allow for the WCA review and subsequent approval of the wetland filling and modification.

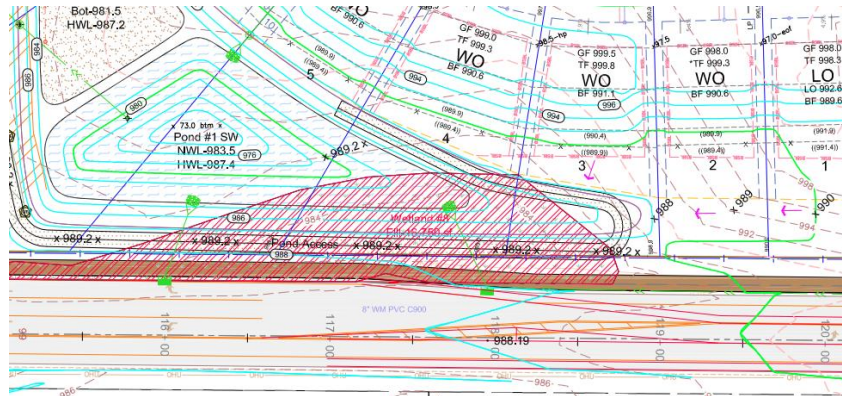
Wetlands to be Filled:



Wetland A – 3,635 sq. ft. of fill

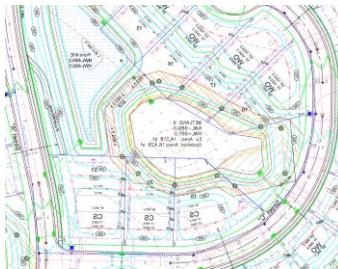


Wetland 4 – 2,112 sq. ft. of fill



Wetland 8 – 11,451 sq. ft. of fill

Wetland to be Modified:



Wetland 9 – existing area 14,518 sq. ft., expanded area 16,429 sq. ft.

Variations

Variance to Section 1040.050 Subd. 7

City Ordinance: Minimum side yard (living) = 10 feet, Minimum side yard (garage) = 5 feet

The variance request is to provide the most flexibility for a builder to place a home on a lot, consideration is being requested for non-street side setbacks to be 7½ feet and 7½ feet rather than 5 feet and 10 feet. This would maintain the desired 15-foot setback between houses on adjacent lots. It should be noted that the proposed neighborhood front yard setback is 25 feet, where City Code allows a minimum front yard setback of 20 feet.

Variance Review Criteria (970.030)

a) **That there are practical difficulties in complying with the zoning ordinance.**

Response: The neighborhood is proposed on a 36.74-acre site with seven preserved wetlands, is bordered on the south by Hackamore Road, and is bordered on the west by County Road 116. These constraints result in lot design and house placement restrictions. Based on this, the stated constraints result in practical difficulties for the flexible placement of detached single-family houses.

b) **That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.**

Response: The neighborhood is proposed on a 36.74-acre site with seven wetlands, is bordered on the south by Hackamore Road, and is bordered on the west by County Road 116. These constraints result in lot design and house placement restrictions. Based on this, the conditions upon which a petition for a variance are unique to this parcel.

c) **That the granting of the variation will not alter the essential character of the locality.**

Response: Current City Ordinance stipulates a 5-foot garage and a 10-foot living space setback, with a minimum setback of 15 feet between structures on adjacent lots. With 7 ½ feet and 7 ½ feet setbacks, the minimum setback between structures on adjacent lots will continue to be 15 feet. Based on this, the granting of the variance will not alter the essential character of the locality.

d) **The proposed variance would be in harmony with the general purposes and intent of the ordinance.**

Response: Current City Ordinance stipulates a 5-foot garage and a 10-foot living space setback, with a minimum setback of 15 feet between structures on adjacent lots. With 7 ½ feet and 7 ½ feet setbacks, the minimum setback between structures on adjacent lots will continue to be 15 feet. Based on this, the variance request would be in harmony with the general purposes and intent of the ordinance.

e) **The variance is consistent with the Comprehensive Plan.**

Response: Current City Ordinance stipulates a 5-foot garage and a 10-foot living space setback, with a minimum setback of 15 feet between structures on adjacent lots. With 7 ½ feet and 7 ½ feet setbacks, the minimum setback between structures on adjacent lots will continue to be 15 feet. Based on this, the variance request is consistent with the Comprehensive Plan.

- f) **The City may impose conditions on the variance to address the impact of the variance.**

Response: The request for a variance to allow 7 ½ feet and 7 ½ feet side yard setbacks is offset by proposing 25-foot front yard setbacks for all lots.

Variance to Section 1040.050 Subd.8 B. (arch standards)

City Ordinance: The garage shall not compromise more than 55 percent of the viewable ground floor street-facing linear building frontage. This standard is based on the measurement of the entire garage structure and not on a measurement of the garage door or doors only. Corner lots are exempt from this required on one street elevation.

The variance request is to provide the most flexibility for a builder to construct houses with desired garage sizes, consideration is being requested to allow houses with three-stall garages to have garages that are no more than 65 percent of the viewable ground floor street-facing linear building frontage and allow houses with four-stall garages to have garages that are no more than 70 percent of the viewable ground floor street-facing linear building frontage.

Variance Review Criteria (970.030)

- a) **That there are practical difficulties in complying with the zoning ordinance.**

Response: The RSF-3 zoning district allows for a minimum lot width of 65-feet. The proposed subdivision includes many 65-foot-wide lots and many 75-foot-wide lots. Today's buyers prefer a minimum of a three-stall garage, and many buyers desire a four-stall garage. The minimum width of a three-stall garage is 30 feet, and the minimum width of a four-stall garage is 40.5 feet. However, to comply with the current ordinance standard a garage placed on a 65-foot lot with a 50-foot pad (65-foot-wide lot less a 7.5-foot sideyard setback on each side) cannot be larger than 27.5 feet wide if the entire width of the pad is utilized. Which would not accommodate a three-stall garage. Further, to comply with the current ordinance standard a garage placed on a 75-foot-wide lot with a 60-foot pad (75-foot-wide lot less a 7.5-foot sideyard setback on each side) cannot be larger than 33 feet wide if the entire width of the pad is utilized. Which would not accommodate a four-stall garage. Based on this, the current zoning ordinance results in practical difficulties.

- b) **That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.**

Response: The RSF-3 zoning district allows for a minimum lot width of 65-feet. The proposed subdivision includes many 65-foot-wide lots and many 75-foot-wide lots. Today's buyers prefer a minimum of a three-stall garage, and many buyers desire a four-

stall garage. The minimum width of a three-stall garage is 30 feet, and the minimum width of a four-stall garage is 40.5 feet. However, to comply with the current ordinance standard a garage placed on a 65-foot lot with a 50-foot pad (65-foot-wide lot less a 7.5-foot sideyard setback on each side) cannot be larger than 27.5 feet wide if the entire width of the pad is utilized. Which would not accommodate a three-stall garage. Further, to comply with the current ordinance standard a garage placed on a 75-foot-wide lot with a 60-foot pad (75-foot-wide lot less a 7.5-foot sideyard setback on each side) cannot be larger than 33 feet wide if the entire width of the pad is utilized. Which would not accommodate a four-stall garage. Based on this, the current zoning ordinance results in practical difficulties.

- c) **That the granting of the variation will not alter the essential character of the locality.**

Response: With the added architectural requirement of all houses must a second story, a larger first floor street-facing linear garage frontage will not alter the essential character of the locality. The second story will result in minimizing the appearance of the garage. Based on this, the granting of the variance will not alter the essential character of the locality.

- d) **The proposed variance would be in harmony with the general purposes and intent of the ordinance.**

Response: With the added architectural requirement that all houses must have a second story, a larger first floor street-facing linear garage frontage will not alter the essential character of the locality. The second story will result in minimizing the appearance of the garage. Based on this, the granting of the variance would be in harmony with the purposes and intent of the ordinance.

- e) **The variance is consistent with the Comprehensive Plan.**

Response: To increase the land use density as desired by the Comprehensive Plan, 65-foot-wide lots are necessary. To allow quality houses that meet buyer preferences, garages that will be no more than 65 percent, if a three-stall garage, and no more than 70 percent, if a four-stall garage, of the first-floor street-facing frontage are necessary. With the added architectural requirement that all houses must have a second story, a larger first floor street-facing linear garage frontage will not alter the essential character of the locality. The second story will result in minimizing the appearance of the garage. Based on this, the variance is consistent with the Comprehensive Plan.

- f) **The City may impose conditions on the variance to address the impact of the variance.**

Response: In exchange for allowing single-family detached houses that are constructed in the neighborhood to have garages that comprise no more than 65 percent, if a three-stall garage, and no more than 70 percent if a four-stall garage, of the viewable ground floor street-facing linear building frontage all houses will be two stories and be setback a minimum of 30 feet from the front property line.

Variance to Section 1060.070 Subd. 2

City Ordinance: Buffer yard requirements

The variance request is to: 1) provide flexibility in determining the buffer yard requirements along the east and north property lines given the existing trees on the development property and on property adjacent to the development property, and 2) allow flexibility to reduce the number of required plantings for better health and growth potential of the new landscaping.

The requested flexibility is to:

- *eliminate the requirement to add new buffer plantings entirely in some areas along the east property line (the submitted landscape plan does not show new buffer landscaping in areas where this flexibility is requested; this may already be allowed per the ordinance) and,*
- *reduce the number of new buffer plantings along the north property line where existing trees and undergrowth on or near the property already provides natural buffer.*

Variance Review Criteria (970.030)

- a) **That there are practical difficulties in complying with the zoning ordinance.**

Response: When preparing the landscape plan and placing the required trees along the north and east property lines, the design landscape architect raised the concern that the number of trees required by the buffer ordinance will result in trees growing together relatively soon after planting and create an unhealthy growth environment. In an area 100 feet long by 20 feet deep, the city requires six (6) understory trees which have typical mature canopies of anywhere from 15 feet to 25 feet and three (3) overstory trees with typical mature canopies of 30 feet to 50 feet. In addition to this large number of trees, nine (9) shrubs must also be placed within this 100-foot length beneath the tree canopies. These trees cannot reasonably fit into this space and be healthy. We are also concerned that a reputable landscape contractor may not place a warranty on trees planted so close together and adjacent to the large number of existing trees.

Further, the east and north property lines have natural vegetation in varying degrees that provide an existing natural buffer between the proposed development property and the adjacent properties. The existing vegetation consists of overstory trees, understory trees, and low growing vegetation. Also, the adjacent properties east and north of the subject property have extensive mature trees that currently provide additional buffer. Both the existing trees on the property and the trees on the adjacent property provide a substantial tree canopy. It is a concern that planting nine additional trees and nine shrubs every 100 feet under and adjacent to such an existing tree canopy is against best management practices and from the time of planting may result in stunted growth and will likely shorten life spans.

The combination of trees planted so close together and the existing vegetation along the property line, both on and directly adjacent to the development property, creates a practical difficulty in complying with the ordinance.

- b) **That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.**

Response: The Development property is adjacent to larger lot single family neighborhoods in which the owners have, over time, planted trees that have grown to provide a substantial buffer. Further, the proposed development contemplates preserving many overstory trees and other low growing plantings along the east and north property lines that will preserve the existing buffer. The unique situation we have is the existing mature trees planted on the subject property and near the property line on adjacent properties preventing additional landscaping, if planted as stipulated in the buffer ordinance, from growing properly and remaining healthy. Based on this, the conditions are unique and have not been created by the landowner.

- c) **That the granting of the variation will not alter the essential character of the locality.**

Response: The extensive existing vegetation on the subject development property and on the properties adjacent already provide a substantial buffer. Landscaping added to the level of the ordinance may have a difficult time growing. Based on this, the granting of the variance will allow for healthy plant growth and enhance the essential character of the locality.

- d) **The proposed variance would be in harmony with the general purposes and intent of the ordinance.**

Response: The extensive existing vegetation on the subject development property and on the adjacent properties currently provide a substantial buffer. A landscape architect, working with your staff, can determine a reasonable buffer that would comply with best management practices and would be in harmony with the general purposes and intent of the ordinance.

- d) **The variance is consistent with the Comprehensive Plan.**

Response: The extensive existing vegetation on the subject property and the adjacent properties currently provide a substantial buffer between parcels with varying land use designations. Based on this, the variance request is consistent with the Comprehensive Plan.

- e) **The City may impose conditions on the variance to address the impact of the variance.**

Response: We would request allowing our professional landscape architect to work with your staff to determine a reasonable buffer that would comply with best management practices that would include appropriate numbers of overstory trees, understory trees and shrubs. The landscape architect, with your staff, can create a buffer design to meet the intent and purpose of the ordinance while following best management practices as per green industry standards.

Housing / Product

Currently the builders have not been chosen for the neighborhood. However, based on past neighborhoods development in the west metro, below are examples of the housing expected. The homes shown below are 50' wide homes. The preliminary plat application is anticipated to have some wider lots that will accommodate 60' wide homes.



4,414 Finished Sq. Ft.



3,515 – 4,529 Finished Sq. Ft.



5,007-5,259 Finished Sq. Ft.



4,335 Finished Sq. Ft.



2,885 - 4159 Finished Sq. Ft.



2,800 – 4,100 Finished Sq. Ft.



3375 – 4679 Finished Sq. Ft.



3,499 – 4,499 Finished Sq. Ft.



4,317 – 4,919 Finished Sq. Ft.



4,317 – 4,919 Finished Sq. Ft.



4,317 – 4,919 Finished Sq. Ft.

Most homes come with multiple front elevations and interior room options which allows for a greatly improved street scape.

Homeowner's Association and Restrictive Covenants

A Homeowners Association (HOA) will be created for this neighborhood. The Developer will prepare restrictive covenants and standards that will apply to the entire neighborhood.

The restrictive covenants will be tailored to the Developer's vision of the neighborhood. Each house will be required to meet the specifics of building types, varied front elevations, house colors, landscaping, and overall goals of the neighborhood.

All amenities: pool house and pool, entryway feature (if constructed), and landscaping not on individual lots will be owned and maintained by the homeowner's association.



To: Kevin Mattson, PE Public Works Director

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Woodland Hills Preliminary Plat Review

Date: February 29, 2024

Exhibits:

This Memorandum is based on a review of the following documents:

1. Preliminary Plat Woodland Hills of Corcoran, prepared by Sathre-Bernquist, Inc. 02/09/2023.

Comments:

General:

1. Consistent with the review process, a comment response letter shall be provided in response to the comments provided in this Memorandum. The applicant shall provide a written response to each item.
2. In addition to engineering related comments, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City of Corcoran.
3. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
4. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of County Road 116 or Hackamore Road without Hennepin County or City permission.
5. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.
6. At time of final plat include all applicable City of Corcoran standard detail plates in the construction plans.

Plat:

1. The applicant shall have all drainage and utility easements provided and shown and all platting requirements met per the City Code. Drainage and utility easements (5' – 10') shall be provided along property lines, as standard per City requirements.
2. All existing easements shall be vacated upon completion of final plat. Existing 75' utility easement and 25' drainage easement show on ALTA survey.
3. Provide easement of sufficient width between lots 10 & 11 to allow for 1:1 slope from all sanitary sewer pipe in easement.
4. The entirety of outlots shall be covered by a drainage & utility easements.
5. Reconfigure easements for lots 60 & 61 to fully encompass 100 yr. HWL.
6. Applicant is showing a 65' half ROW for County Road 116 which is consistent with Hennepin County requests. Hennepin County shall approve final ROW dedication.
7. Hennepin County may require ROW for sight triangles at the northeast corner of County Road 116 and Hackamore Road.
8. Dimension existing and proposed ROW on Hackamore Road.
9. The watermain alignment should be reviewed with the Hackamore Road plans at the time of final plat to ensure watermain alignment along Hackamore Road is in the reserved utility corridor.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.
2. Final erosion control plan including quantities to be provided for review at time of final plat.

Transportation

1. All 28' roads shall be signed no parking on one side of the roadway with no parking signs required within all cul-de-sacs.
2. A lighting, signage and pavement marking plan shall be provided for review at time of final plat.
3. Construction plans should reference Corcoran standard detail plates for all street, sidewalk, & trail sections.
4. Vertical and horizontal curves will be reviewed at time of final plat for conformity with design speed requirements.
5. Location of B618 and surmountable curb shall be reviewed at final plat. B618 curb is typical for catch basins and along green space, surmountable curb typically installed elsewhere.
6. Retaining wall along Hackamore Road curvature should be parallel from back of curve. Adjust retaining wall to provide space remains between wall and Hackamore Road trail.
7. Temporary turnarounds may be required at end of roadway stubs and are determined at final plat.
8. Emergency access is routed adjacent to wetlands and low areas. The structural section of the emergency access shall be determined at final plat. Subgrade improvements are anticipated to be necessary to ensure it can support emergency vehicle access.
9. No parking has been proposed adjacent to amenity center. Corcoran roadway standards would require no parking within the turnaround or on the south side of Street B as proposed.
10. The trail along Hackamore Road was reviewed vs the pedestrian crosswalk policy and no additional improvements are recommended at this time as it is a crossing of a local roadway and includes pedestrian ramps.

Grading /Stormwater

1. Include scale on grading plan sheets.
2. Reroute CB K9 and K8 to drain into pond and not discharge directly into wetland.
3. All pedestrian ramps shall be ADA compliant and detailed designs shall be provided for all landings showing elevations in compliance with those requirements at time of final plat.
4. Revise drainage easements on lot 20 to accommodate storm sewer.
5. Storm sewer structures within roadways should be relocated to lot lines as allowable to reduce conflicts with driveways.
6. Adjust FES A14 to be a catch basin and not rely on FES as inlet structure.
7. Sumps will be required in all storm structures with drops in of 18" or greater as well as the last accessible structures prior to stormwater basins.
8. Rational calculations shall be provided to confirm all pipe sizes and inlet capacity at the time of final plat.
9. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter unless approved by the city engineer. There are several slopes including but not limited to north of Street A, the northeast portion of the site and around wetlands/ponds which will need to be adjusted.

10. All walls higher than 4' shall be designed by a certified engineer and the design and certification of those walls shall be provided to the city.
11. Provide culvert in county ditch for drainage under emergency access.
12. Shift CBMH A11A to provide sufficient easement width on both sides of pipe run or expand easement.
13. Adjust CBMHs A16 & 15 to the end of the stub street to the north to capture street run-off and minimize drainage to adjacent property. Curb or a berm may be required at end of roadway to ensure roadway drainage is completely captured.
14. SWMP shall identify existing and proposed runoff rates offsite to the NW of lots 19 and 20 to ensure that additional runoff isn't directed onto adjacent yards.
15. Grading to the east of Street B turnaround shall be adjusted to capture runoff that is currently being trapped on shared lot line.
16. Include and identify on plans the safety bench per Corcoran standard detail in all ponds.
17. All pond accesses to be 12' wide and shown on plans. Revise access to Pond 2E to remain outside of pond footprint.
18. Provide detail drawings for OCSs.
19. Stormwater management plan is reliant on wetlands to be filled adjacent to Hackamore Road. If wetland impacts are not allowed, applicant will be required to adjust stormwater management plan and site plan to accommodate.
20. Cleanouts and drain pipes for sump connections shall be kept separate from street drain tile.
21. Final street drain tile and drain tile clean-outs to be reviewed at time of final plat.
22. 2x3 CB I2 is not installed and curb is poured. Coordinate with Hackamore Road project.
23. If existing trees along north and east perimeter of development are utilized as a buffer, the grading plan may need to be adjusted to ensure trees are not impacted.
24. Retaining walls should be natural stone if placed in City ROW or easements for overall development plan.
25. The Construction Plans shall identify if any existing vegetation is planned to be utilized with the buffer so they can be reviewed by the City for approval.
 - a. It is assumed that all wetland buffers will be established with the project.
 - b. A buffer establishment plan shall be provided noting the details on how and when the buffer will be planted as well as a plan and schedule for the maintenance to ensure they are properly established. The establishment plan shall identify specific seed mixes with the type and rates at which the mixes shall be applied.

Watermain/Sanitary Sewer

1. Plan and profiles for all utilities shall be provided at the time of final plat submittals.
2. Valve locations to be reviewed at time of final plat. Generally, valves shall be located at all intersections as one less valve than the number of legs. Valves should typically be located out from the end radius points unless specific circumstances don't allow.
3. Hydrant spacing to be reviewed by public safety at time of final plat.
4. Watermain adjacent to lot 27 shall be stubbed north to ensure it is beyond the necessary buffering for development.
5. Adjust location of MH19 south to ensure utilities in the development end with a manhole that is accessible for maintenance.

February 29, 2024

Woodland Hills

Kevin Mattson

Page 4 of 4

6. Install dead-end hydrant at end of stubbed street at north property boundary. Identify on plans where watermain will end with development.
7. Utility stubs shall be extended as far as possible north along Street A.
8. Applicant shall adjust sewer connections to align with recommendations of the utility feasibility study.
9. Sanitary Sewer crossing of CR116 to utilize jacked steel casing and shall be approved by Hennepin County.
10. Any sanitary sewer running parallel to the County Road shall be relocated to the development and out of the County ROW.
11. Storm crossings requiring insulation will be reviewed at time of final plat.
12. Additional details on watermain along Hackamore Road and connection to watermain at Steeple Chase Road shall be reviewed at final plat to clarify connection details and identify if any hydrants would be necessary.
13. Adjust plantings along County Road 116 to avoid conflicts with sanitary sewer near Manhole 2.

End of Comments



To:	Kevin Mattson, PE Public Works Director	From:	Kent Torve, PE, City Engineer Steve Hegland, PE
Project:	Woodland Hills Preliminary Plat – SWMP Review	Date:	February 28, 2024

Exhibits:

This Memorandum is based on a review of the following documents:

1. Preliminary Plat Woodland Hills of Corcoran, Prepared by Sathre-Bernquist, Inc., 02/08/2024.
2. Stormwater Management Plan, Prepared by AE2S, 02/09/2024.

Comments:

Plan Review Comments

1. Additional comments will be provided upon review of the information requested below, the already submitted information, and/or other updated information.
2. The SWMP acknowledges the incorporation of the stormwater requirements from the Hackamore Roadway project from this development. As changes to the SWMP are implemented, the project shall continue to incorporate the necessary treatment requirements as identified in the agreement for this development.
3. All drantile from sand filtration shall be connected to OCS or structure and should not discharge directly to ditch or wetland.

Grading /Stormwater

4. Identify the EOFs for Wetland 6, 7, and 9.
5. Show the ultimate EOF for the connected system of Wetland 7, Pond 2W, and Wetland 9.
6. Modify Pond 1SW to be a NURP pond with a shelf if feasible for WMC permitting.
7. Remove the isolated backyard sand basin. These basins are difficult for the HOA to maintain and it does not receive pretreated water from a NURP pond.
8. Add OCSs for Pond 2E and Sand Basin 2NE.
9. Revise the low opening for Lot 16 based on the HWL of 997.36 at FES A14.
10. Revise grading around Lots 39 and 40 for the drainage easement to contain the 100-year event.

Wetlands

11. Provide additional hydrology to Wetland 1 through rear yard swales for Lots 43, 44, 45, 56, 57, and 58.
12. To prevent dewatering of Wetland 7, modify the NWL of Pond 2W to match the NWL of Wetland 7 (or within 0.5 feet). The existing conditions delineated edge/NWL of Wetland 7 appears to be 992.10 (instead of the 991.6 shown on proposed conditions).
13. The outlet for Wetland 9 should bypass Pond 1SW.

February 2024

Woodland Hills

Kevin Mattson

Page 2 of 2

14. Add stormsewer and an FES at the delineated edge of Wetland 6 to maintain the NWL.

Model

15. Revise Existing and Proposed CNs for the following:
 - a. Use "Good" Hydrologic Condition.
 - b. Pasture, grassland, or range CNs are intended to be used for areas that are grazed. It appears like Meadow would be a more accurate representation of the site.
16. Revise the time of concentration calculation for EX-4 and PR-4 to only incorporate drainage within the subcatchment.
17. Update the proposed model for the following:
 - a. PR-17, PR-16 should have time of concentrations based on the proposed model.
 - b. Update all wetland time of concentrations based on the developed condition of the proposed subwatershed. Examples include PR-32 and PR-33.



CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - general@corcoranmn.gov / Web Site - www.corcoranmn.gov

Memo

To: Planning (Planners Lindahl and Davis McKeown)
From: Lieutenant Burns
Date: February 7, 2024
Re: City File 23-032 Woodland Hills Preliminary Plat

A Public Safety plan review meeting was held on February 7, 2024, to review the submitted industrial concept plans for the Oswald Farm site. The following were in attendance: Lieutenant Burns, Fire Chief Leuer, Fire Chief Farrens, Fire Chief Malewicki, Assistant Fire Chief Kodet, Building Official Geske, Planner Davis McKeown, and Construction Services Supervisor Pritchard.

An early rendition of this application was also reviewed on December 6, 2023. The following were in attendance at this earlier meeting: Fire Chief Leuer, Fire Chief Farrens, Building Official Geske, Construction Services Supervisor Pritchard, Police Chief Gottschalk, Sargeant Ekenberg, and Planner Davis McKeown.

The comments below are based on the preliminary review of the plans and are intended as initial feedback; further plan review will need to be completed as construction plans are finalized.

1. No parking in cul-de-sacs
2. The lack of parking for the amenity center/pool/pool house is concerning. This does not seem to consider where service staff will park vehicles.
3. The through-street is strongly preferred to the previous plan that showed two western cul-de-sacs as this will allow for looped circulation.
4. Emergency access must be 20' wide, 9-ton, and pass a roll-test.
5. Approach angle of the elevation change for the entrance to the right of Hackamore Road must meet City specifications.

HENNEPIN COUNTY
MINNESOTA

January 10, 2024

Mr. Dwight Klingbeil
City of Corcoran
8200 County Road 116
Corcoran, MN 55340

Re: Woodland Hills of Corcoran (Received 1/02/24)
Hennepin County Plat Review ID #4065 (Reviewed 12/12/2023)

Mr. Klingbeil:

Please consider the following county staff comments on the preliminary plat for the development of 60 single family homes in the northeast corner of County Road (CR) 116 and Hackamore Road.

Access: A primary access to Hackamore Road as shown in the preliminary plat is supported. A temporary emergency access to CR 116 will also be allowed with a barricade to prohibit access for non-emergency vehicles. No pond access should be directed to the temporary access, and closure of this temporary access will be required when the parcels to the north are developed.


Right-of-way: 65 feet half right-of-way is requested along CR 116 to accommodate the potential for future multi-modal, drainage and utility needs. In addition, staff requests a 25x25 sight triangle in the northeast quadrant of CR 116 and Hackamore Road.

Storm Water/Drainage: Discharge rates must remain less than existing flow rates. The county storm water system will not take water from new drainage areas. Additional treatments may be needed if flow rates cannot match existing. Also, please update the plans to reflect the following: locate Sand Basin #3SW outside of the county's proposed ROW, move the outlet for Pond #1SW so that it does not flow into the county ditch and add a culvert under the emergency access. *Contact: Jordan Labat at 612-596-0703 or Jordan.Labat@hennepin.us*

Permits: Please inform the developer that all construction within county right-of-way requires an approved county permit prior to beginning construction. This includes, but is not limited to, driveway and street access, drainage and utility construction, sidewalk/trail development, and landscaping. *Contact: Michael Olmstead, Permits Coordinator at 612-596-0336 or michael.olmstead@hennepin.us*

Please contact Ashley Morello: 612-596-0359, ashley.morello@hennepin.us with any questions.

Sincerely,



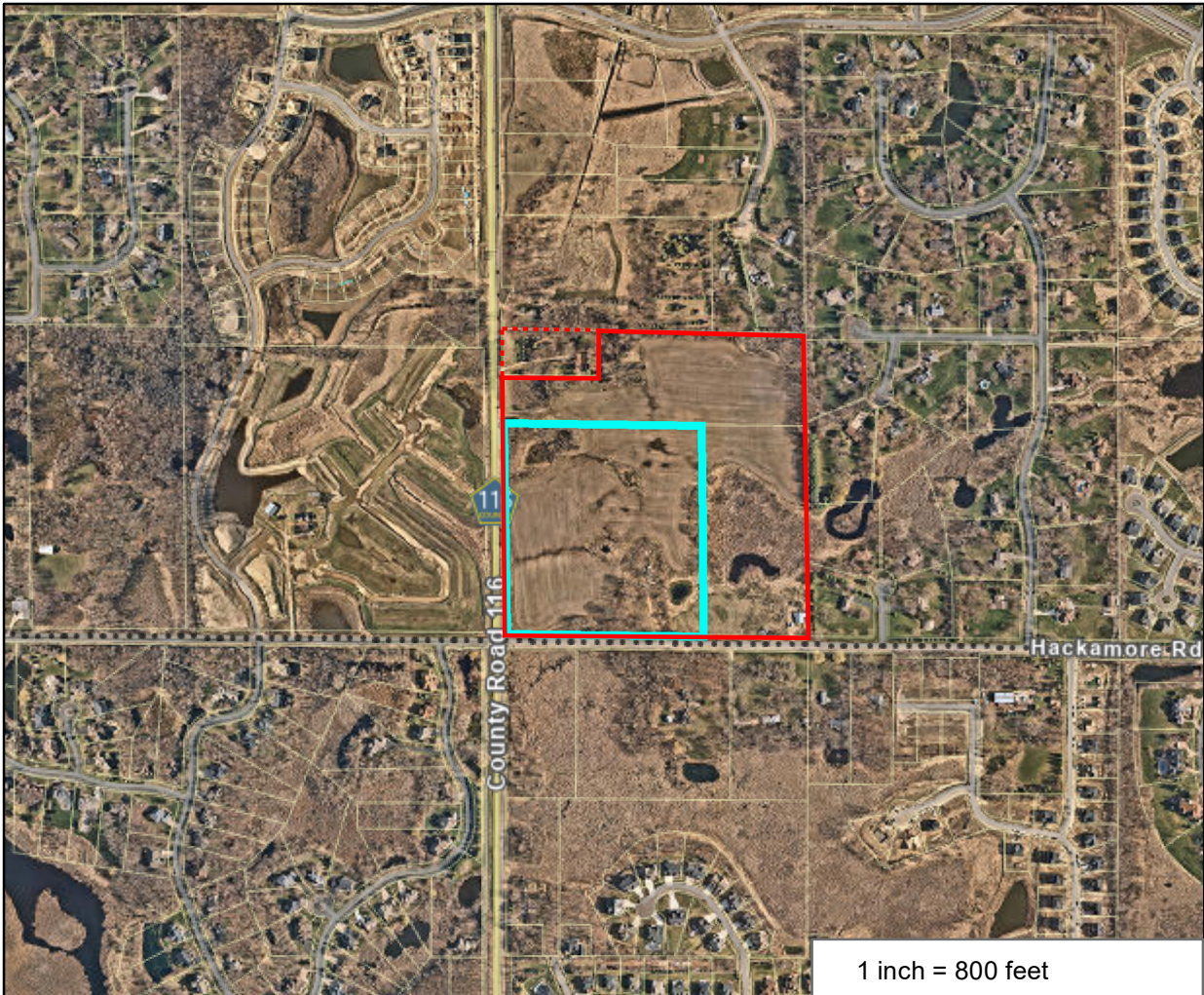
Carla Stueve, PE
County Highway Engineer





Woodland Hills of Cororan - Site Location - #4065

Date: 12/8/2023



PARCEL ID: 3611923330010

OWNER NAME: Lakeview Development Co Llc

PARCEL ADDRESS: 19800 Hackamore Rd, Corcoran MN 55340

PARCEL AREA: 17.44 acres, 759,845 sq ft

A-T-B: Abstract

SALE PRICE: \$1,800,000

SALE DATE: 02/2017

SALE CODE: Excluded From Ratio Studies

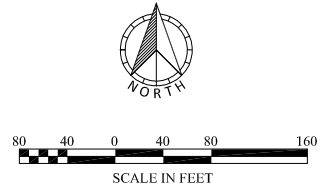
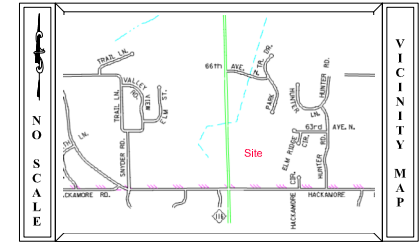
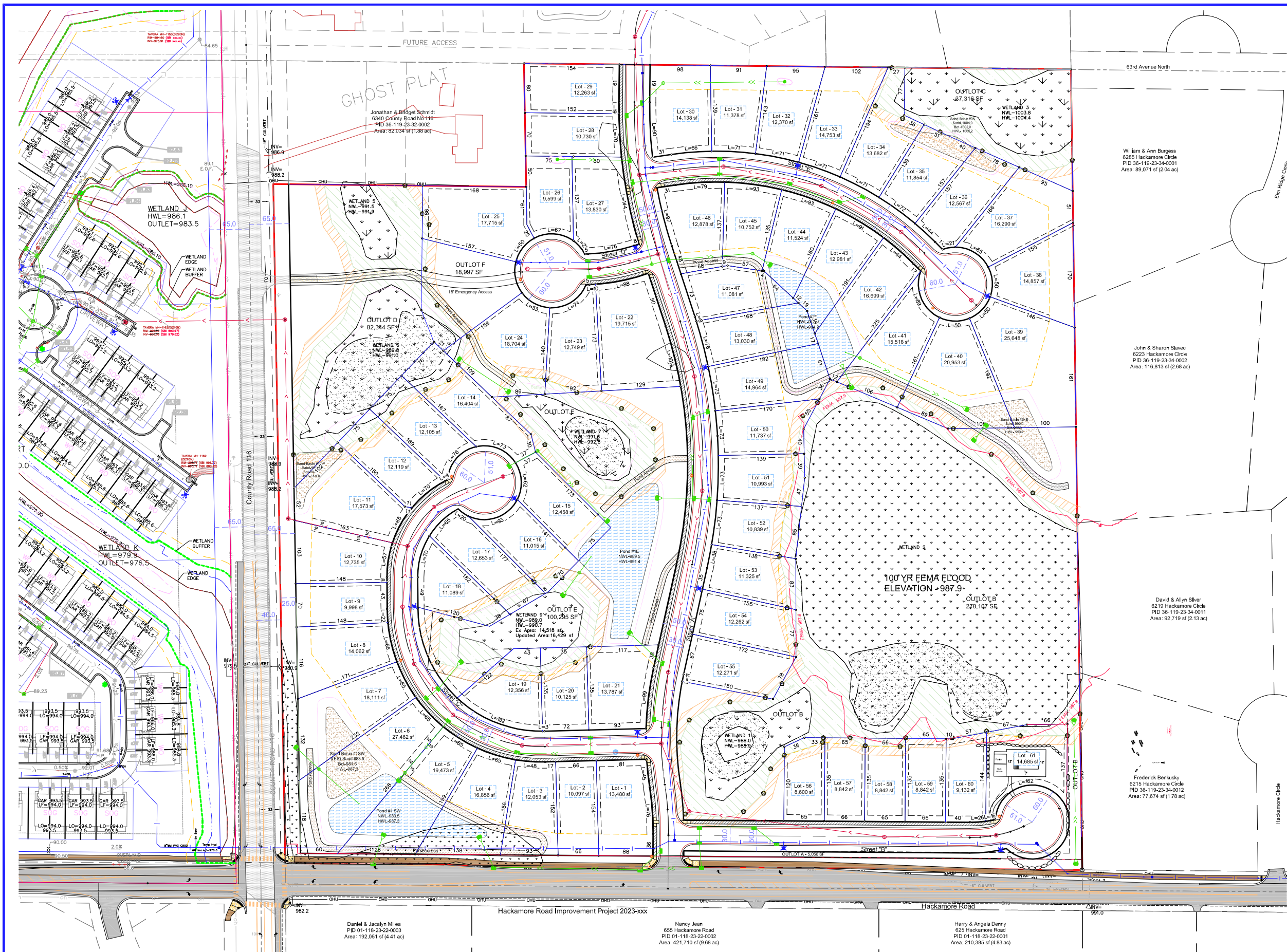
ASSESSED 2022, PAYABLE 2023
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$1,700,000
TAX TOTAL: \$25,725.28

ASSESSED 2023, PAYABLE 2024
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$1,700,400

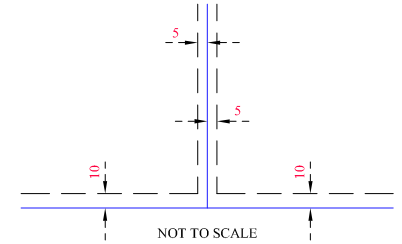
Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN COUNTY 2023



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

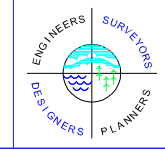


Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and 10 feet in width and adjoining right of way lines, unless otherwise indicated, as shown on the plat.

FIELD CREW	NO.	BY	DATE	REVISION
XXX				
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Dated this 27th day of September, 2023.
Daniel L. Schmidt
 Daniel L. Schmidt, PLS
 Minnesota License No. 26147
 schmidt@sathre.com

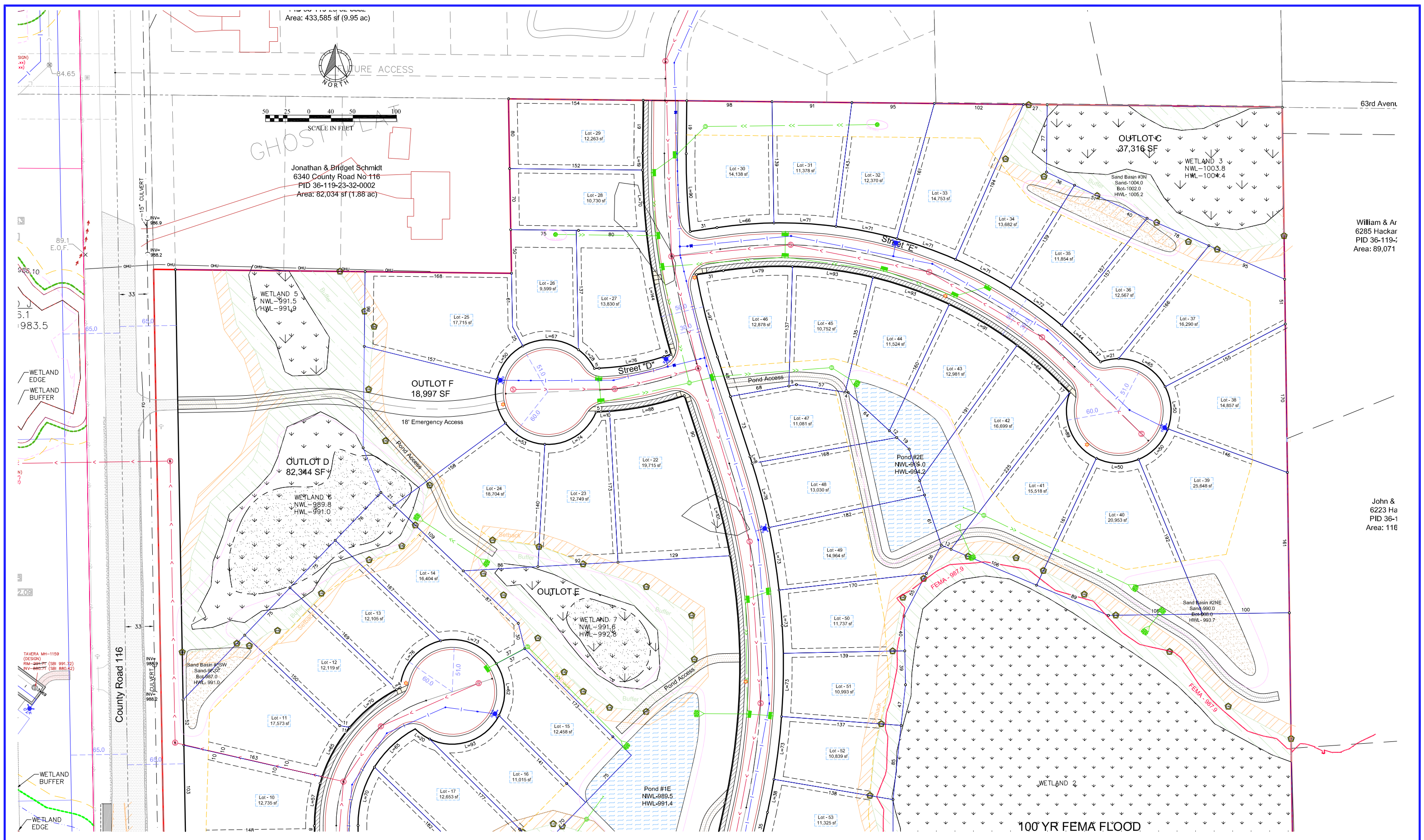


SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH, SUITE 120
 PLYMOUTH MN 55447 (952) 476-6000
 WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
 Hennepin County
CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
 LAKEVIEW DEVELOPMENT COMPANY, LLC.

FILE NO.
 3120-068
PP1
PP3



FIELD CREW	NO.	BY	DATE	REVISION
XXX				
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

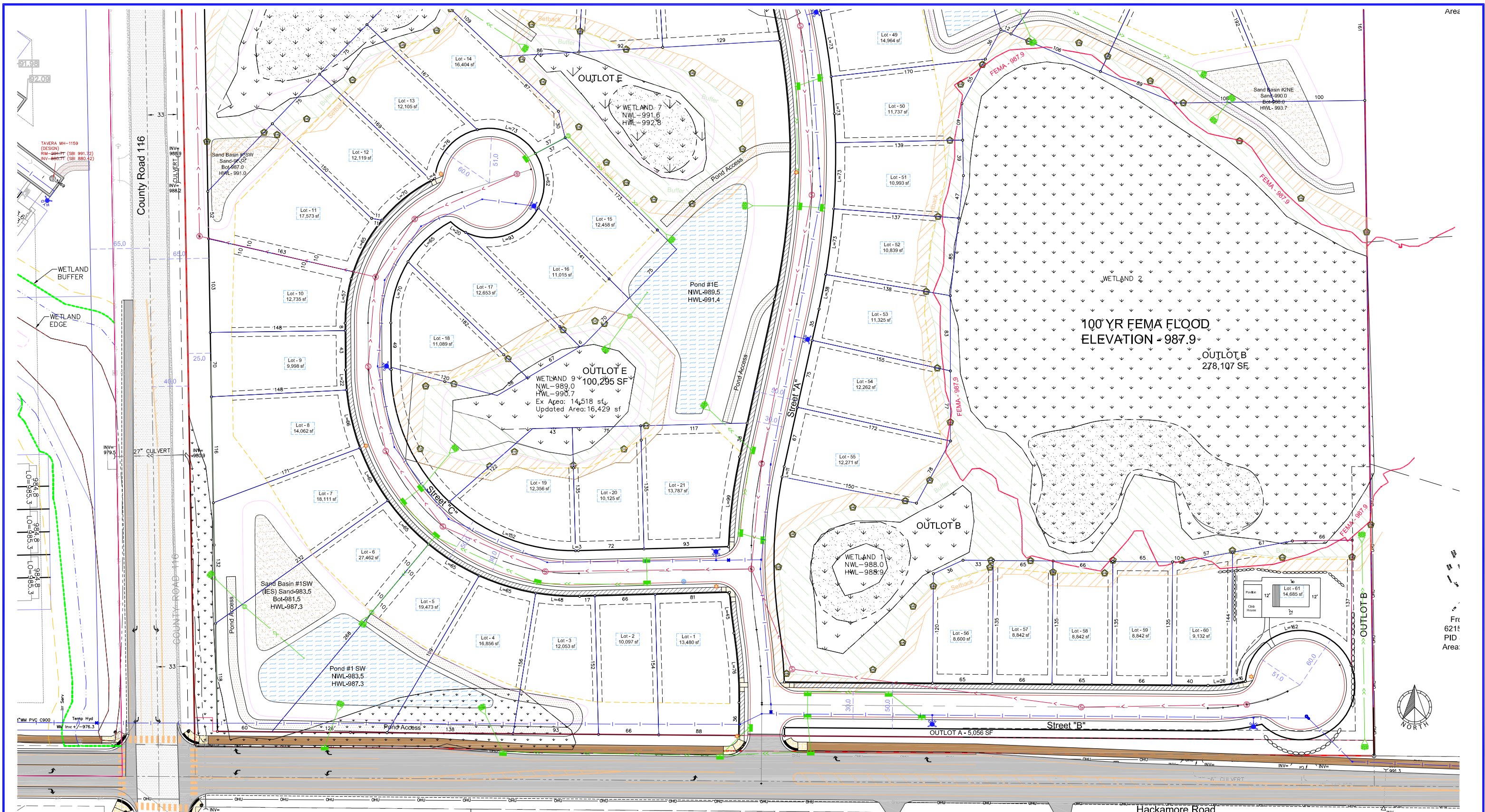
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Dated this 27 day of September, 2023.
 Daniel L. Schmidt, PLS
 schmidt@sathre.com
 Minnesota License No. 26147

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH, SUITE 120
 PLYMOUTH MN 55447 (952) 476-6000
 WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
 Hennepin County
CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
 LAKEVIEW DEVELOPMENT COMPANY, LLC.

FILE NO.
 3120-068
PP2
PP3



Hackamore Road Improvement Project 2023-xxx

Daniel & Jacalyn Millea
PID 01-118-23-22-0003
Area: 192,051 sf (4.41 ac)

Nancy Jean
655 Hackamore Road
PID 01-118-23-22-0002
Area: 421,710 sf (9.68 ac)

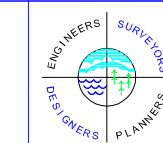
Harry & Angela Denny
625 Hackamore Road
PID 01-118-23-22-0001
Area: 210,385 sf (4.83 ac)



FIELD CREW	NO.	BY	DATE	REVISION
XXX				
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 27th day of September, 2023.
Daniel L. Schmidt, PLS
schmidt@sathre.com
Minnesota License No. 26147

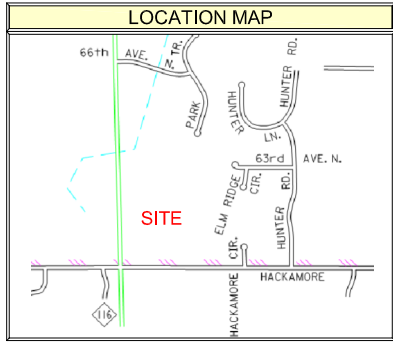


SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
Hennepin County
CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
LAKEVIEW DEVELOPMENT COMPANY, LLC.

FILE NO.
3120-068
PP3
PP3

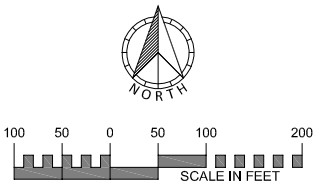


SHEET INDEX TABLE	
Sheet	Description
SP	Site Plan
AE	Aerial Plan
ALTA	ALTA Survey
PP	Preliminary Plat
S&W	Preliminary Sanitary & WM Plan
Storm	Preliminary Storm Sewer Plan
GP	Preliminary Grading Plan
EC	Preliminary Erosion Control Plan
TS	Tree Survey
LAND	Landscape Plan

PLAN DATA
75' Wide Single Family Lots - 42 Lots
65' Wide Single Family Lots - 18 Lots
Total - 60 Lots + 1 (Amenity)
PROPOSED ZONING: RSF-3
LOT WIDTH = 65 FT (MIN)
LOT AREA = 7,500 SF (MIN)
PUBLIC STREET ROW = 60 FT (30' B-B STREETS)
FRONT YARD SETBACK = 25 FT
SIDE YARD SETBACK = 7.5 FT / 7.5 FT. **
CORNER SETBACK = 25 FT.
MINIMUM REAR YARD SETBACK = 30 FT.
** - Variance Request

DENSITY
Overall Area = 36.74 Acres
Gross Density = 61 / 36.74 = 1.66 units/acre
Hackamore Road ROW Area = 0.49 Acres
CR 116 ROW Area = 0.63 Acres
Wetland Area = 6.88 Acres
(*Excludes proposed wetland fill area)
Wetland Buffer - 3.18 Acres
Net Area = 36.74 - 0.49 - 0.63 - 6.88 - 3.18 = 25.56 acres
Net Density = 61 / 25.56 = 2.39 units/acre

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, PE EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER LAKESHORE DEVELOPMENT COMPANY, LLC 6885 SYCAMORE LANE NORTH SUITE 110 MAPLE GROVE, MN 55369 CONTACT: STEVE JUETTEN PHONE: (612) 269-2531 EMAIL: STEVE@GONYEACOMPANY.COM



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE				
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 26728

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

CORCORAN, MINNESOTA

SITE PLAN
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
 3120-068
 SP

Agenda Attachment Item: 8b14.

From: [Dwight Klingbeil](#)
To: [Natalie Davis](#)
Subject: Fw: March 12th planning meeting
Date: Wednesday, February 28, 2024 1:07:15 PM
Attachments: [Outlook-o254e2fh.png](#)

Natalie,

Please see the Public Comment from Sam Kuphal, 6450 Park Trail Road, regarding Woodland Hills.

This comment has been save in the project folder in the H:Drive.

Thanks,

Dwight Klingbeil
Planning Technician
Direct: 763-338-9290



From: Sam Kuphal <samuelkuphal@hotmail.com>
Sent: Tuesday, February 27, 2024 11:32 AM
To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Subject: Re: March 12th planning meeting

Yes it can be included in public discussion

Address is
6450 Park Trail Rd
Corcoran MN 55340

Thank you

Sent from my iPhone

On Feb 27, 2024, at 10:30 AM, Dwight Klingbeil
<DKlingbeil@corcoranmn.gov> wrote:

Good morning Sam,

I'm reaching out to ask if you'd like your comment regarding Woodland Hills to be included in the public record. If so, could you please confirm and provide your

address?

Thank you,
Dwight Klingbeil
Planning Technician
Direct: 763-338-9290
<Outlook-yjzy2oeb.png>

From: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Sent: Friday, February 23, 2024 9:28 AM
To: Sam Kuphal <samuelkuphal@hotmail.com>
Subject: Re: March 12th planning meeting

Good morning Sam,

Thank you for your input on the Woodland Hills application. I will see to it that this information is forwarded to the members of the Planning Commission ahead of the March 12th meeting.

Thanks,
Dwight Klingbeil
Planning Technician
Direct: 763-338-9290
<Outlook-ggqkixk0.png>

From: Sam Kuphal <samuelkuphal@hotmail.com>
Sent: Friday, February 23, 2024 8:51 AM
To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Subject: March 12th planning meeting

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Hello

We live at 6450 park trail road and would like to express concern with this project. Cookie cutter developments have popped up on every side of us since moving here about 6 years ago (and this development butts up to the south side of our property). Corcoran is slowly turning from a rural oasis into just another cookie cutter suburb.

We understand continued development is inevitable, but at the very least it would be

nice to see bigger lot size requirements per house to preserve some of the “Corcoran charm”.

Thank you for your consideration.

Sam Kuphal
952-393-8628

Sent from my iPhone

From: [sue olson](#)
To: [Dwight Klingbeil](#)
Subject: Re: Woodland Hills Development
Date: Monday, March 11, 2024 11:53:34 AM
Attachments: [Outlook-pztm1piu.png](#)

Yes, We would like this to go in the public record.

Thank You!
Sent from my iPhone

On Mar 11, 2024, at 10:21 AM, Dwight Klingbeil
<DKlingbeil@corcoranmn.gov> wrote:

Susan,

Thank you for your comments regarding the Woodland Hills application. In order for me to forward this to the Planning Commission, it will need to be added into the public record. Could you confirm that you'd like this to be included into the public record?

Thanks,
Dwight Klingbeil
Planning Technician
Direct: 763-338-9290



From: Susan Olson <smstolson@gmail.com>
Sent: Sunday, March 10, 2024 2:39 PM
To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Subject: Woodland Hills Development

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

To whom it may concern, We are John and Susan Olson at 6440 Park Trail Road Corcoran Mn 55340. We are concerned about the Woodland Hills development as our southern boundary of our lot is on the north side of this development. We are concerned about the final topography and placement and use of runoff ponds. Currently we have a small pond on our southeast corner of our lot which is partially on our lot

and partially on Woodland Hills side. At times in the spring or after rain days our se corner is saturated and water run off flows into our neighbors to the east and downhill to our neighbors to our ne on our culdesac through their yard keeping all areas saturated for a good portion of time. We would like to have this runoff issue addressed and corrected to improve and reduce runoff .

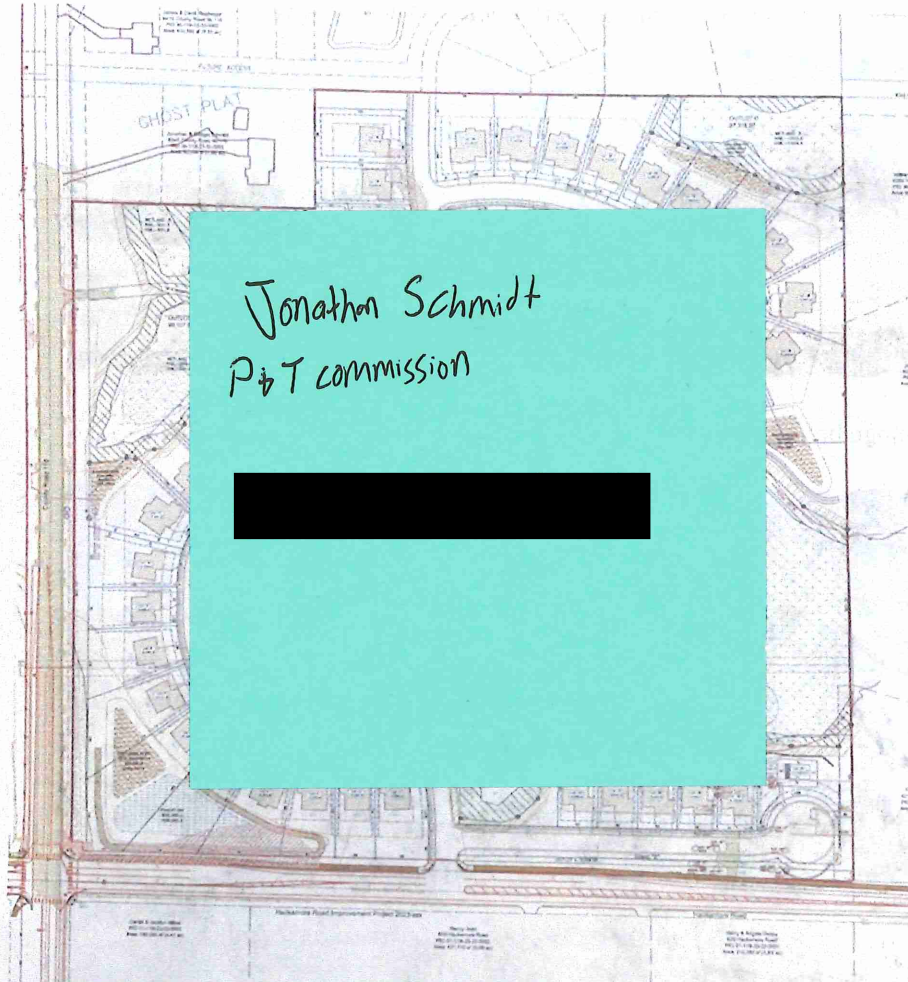
The original plat for Woodland Hills appeared to have larger lots of the Houses bordering us. We would rather have larger lots there to keep the rural feel in the area.

As the development expands we would be interested in connecting to city water and sewer. If these items can be acted upon we would appreciate your help in these matters. Thank you, Best Regards. John & Susan Olson 612-749-1900. 3/9/2024
Sent from my iPad

Woodland Hills Development Public Hearing - 12 Mar 2024

Jonathan & Bridget Schmidt - 6340 County Road 116

1. Reason for not wanting to use our plat for development?



2. Initial Concerns for Adjacencies

a. North part of development lot adjacent to our east lot line.

i. Runoff drainage goes down 40 feet. Drainage tiles below from farmland.

Taken from center of development looking north towards our property.



Taken from drainage behind our lot looking west uphill towards our property.



1. Will this all be filled in and leveled with our yard?
2. How will it affect our drainage and drainage towards the neighbor?
3. Will there be any other alterations to the natural drainage patterns that could affect water flow onto my property I should be aware of?

ii. Large trees cut down?

1. If so, any other adjacent privacy landscaping plans from the development?

Applicable to both adjacencies.

- b. North part of development adjacent to our south lot line.
 - i. Take down of dead trees hanging over our power lines?
 - ii. Able to keep greenery along lot line?



- c. Other Property boundary questions
 - i. Will there be any changes to property boundaries or easements that I should be aware of?

3. Other general questions

a. Construction process

- i. What measures will be taken to mitigate noise and dust during construction?
- ii. Are there any potential environmental hazards during construction (such as hazardous materials or unstable terrain) that could impact my land?
- iii. How will the developer address any concerns or disputes that may arise during or after construction?

b. Environmental Impacts

- i. Ground/Well water impact from construction and future neighborhood?
- ii. How will the development affect the natural landscape and environment?
- iii. What measures will be taken to preserve existing vegetation or wildlife habitats?

Taken from center of development looking west



c. Future Impact

- i. Will there be any changes to utilities or infrastructure that could affect my property?
- ii. When would the future access road be targeted to begin?
- iii. How will you address concerns about privacy for neighboring properties?
- iv. Will there be any shared amenities or infrastructure improvements for the surrounding area?
- v. Are there any additional potential impacts on property values that I should be aware of?



1



2



3



4



5



6



7



8



9



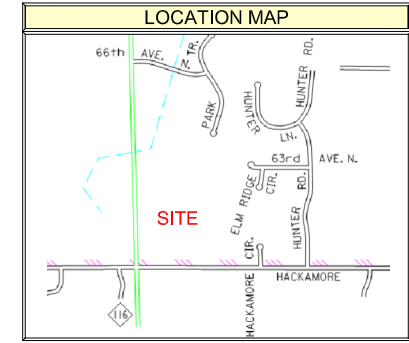
10



11



Agenda Attachment Item: 8b16.

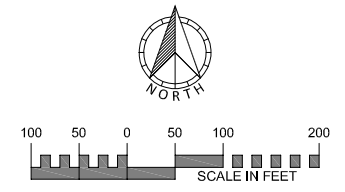


SHEET INDEX TABLE	
Sheet	Description
SP	Site Plan
AE	Aerial Plan
ALTA	ALTA Survey
PP	Preliminary Plat
S&W	Preliminary Sanitary & WM Plan
Storm	Preliminary Storm Sewer Plan
GP	Preliminary Grading Plan
EC	Preliminary Erosion Control Plan
TS	Tree Survey
LAND	Landscape Plan

PLAN DATA
75' Wide Single Family Lots - 42 Lots
65' Wide Single Family Lots - 18 Lots
Total - 60 Lots + 1 (Amenity)
PROPOSED ZONING: RSF-3
LOT WIDTH = 65 FT (MIN)
LOT AREA = 7,500 SF (MIN)
PUBLIC STREET ROW = 60 FT (30' B-B STREETS)
FRONT YARD SETBACK = 25 FT
SIDE YARD SETBACK = 7.5 FT / 7.5 FT. **
CORNER SETBACK = 25 FT.
MINIMUM REAR YARD SETBACK = 30 FT.
** - Variance Request

DENSITY
Overall Area = 36.74 Acres
Gross Density = 61 / 36.74 = 1.66 units/acre
Hackamore Road ROW Area = 0.49 Acres
CR 116 ROW Area = 0.63 Acres
Wetland Area = 6.88 Acres
(*Excludes proposed wetland fill area)
Wetland Buffer - 3.18 Acres
Net Area = 36.74 - 0.49 - 0.63 - 6.88 - 3.18 = 25.56 acres
Net Density = 61 / 25.56 = 2.39 units/acre

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 14000 25TH AVENUE N SUITE 120 PLYMOUTH, MINNESOTA 55447 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, PE EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER WOODLAND HILLS DEVELOPMENT COMPANY, LLC 6885 SYCAMORE LANE NORTH SUITE 110 MAPLE GROVE, MN 55369 CONTACT: STEVE JUETTEN PHONE: (612) 269-2531 EMAIL: STEVE@GONYEACOMPANY.COM



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

Daniel & Jacalyn Miller
PID 01-18-23-22-0033
Area: 192,051 sf (4.41 ac)

Hackamore Road Improvement Project (W&B - 015661-000)
Wetland 8 Impacts Approved = 8.522 SF
Wetland Outline Updated to show remaining wetland

Nancy Jean
655 Hackamore Road
PID 01-18-23-22-0002
Area: 421,710 sf (9.69 ac)

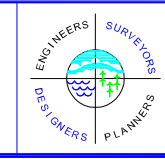
Herry & Angela Denny
625 Hackamore Circle
PID 01-18-23-22-0001
Area: 210,355 sf (4.83 ac)

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 26728



SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

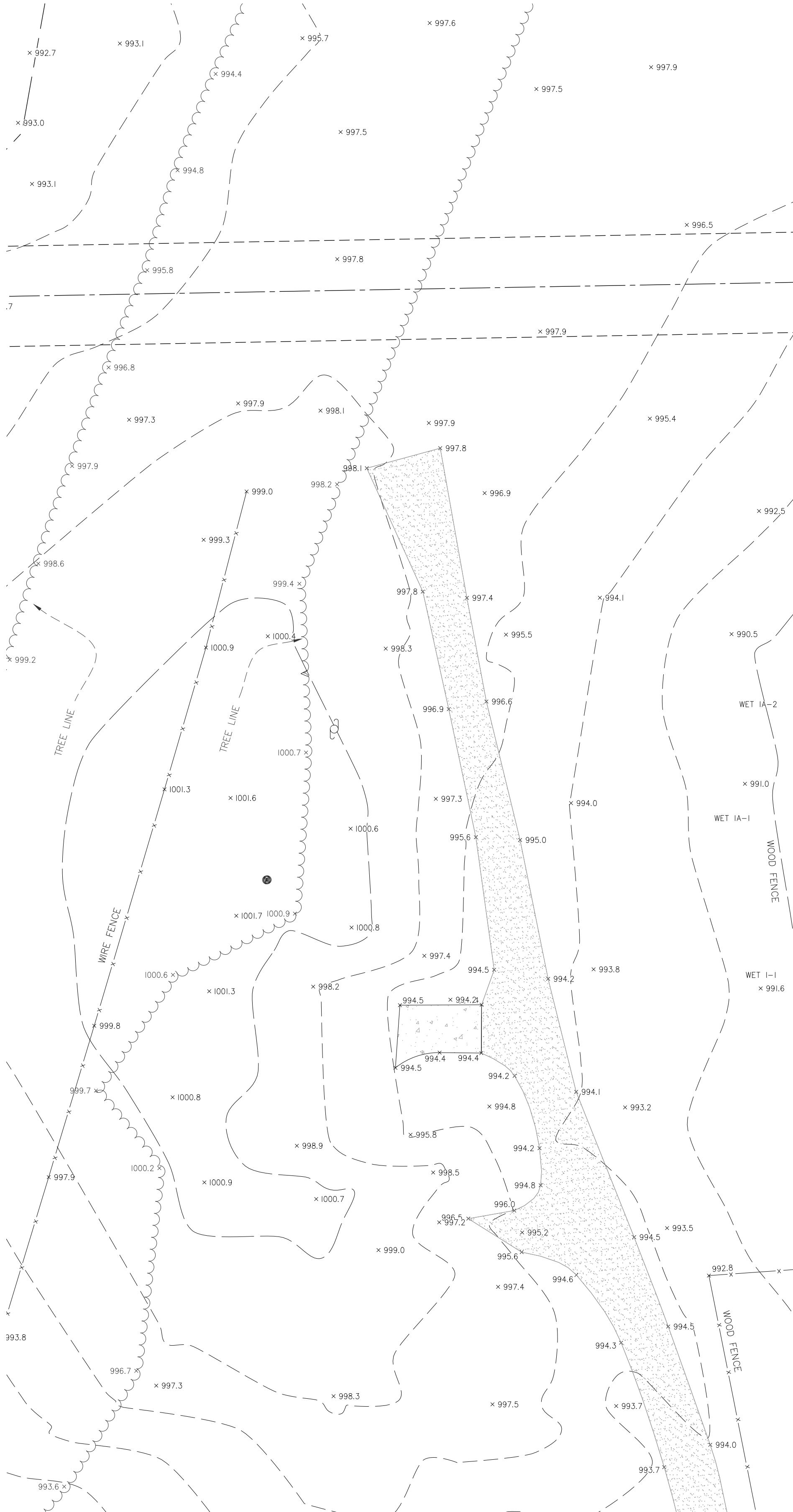
CITY PROJECT NO.

CORCORAN, MINNESOTA

SITE PLAN
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
 3120-068
 SP

DETAIL A



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Parcel 1:
The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW 1/4 of SW 1/4) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:
The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW 1/4 of SW 1/4) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof, except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract Property.

Parcel 3:
That part of the Southwest Quarter of the Southwest Quarter (SW 1/4 of SW 1/4), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items reference Table A optional survey responsibilities and specifications)

- 2) **Site Address:** PARCEL 1 - PID: 3611923330009 - 19710 Hackamore Road, Corcoran, Minnesota 55340
PARCEL 2 - PID: 3611923330010 - 19800 Hackamore Road, Corcoran, Minnesota 55340
PARCEL 3 - PID: 3611923330007 - 6320 County Road No. 116, Corcoran, Minnesota 55340
- 3) **Flood Zone Information:** This property appears to lie in Zone X (areas determined to be outside the 0.2% annual chance floodplain), Zone X (Areas of 0.2% annual chance flood, areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood), and Zone A (No Base Flood Elevations Determined) per Flood Insurance Rate Map, Community Panel No. 27053C0158F, effective date of November 4th, 2016.

4) **Parcel Area Information:**

Parcel 1:	Gross Area: 405,457 s.f. ~ 9.308 acres Wet Area: 182,495 s.f. ~ 4.190 acres Net Area: 222,962 s.f. ~ 5.119 acres
Parcel 2:	Gross Area: 759,749 s.f. ~ 17.441 acres Wet Area: 99,391 s.f. ~ 2.282 acres Net Area: 660,358 s.f. ~ 15.160 acres
Parcel 3:	Gross Area: 435,407 s.f. ~ 9.996 acres Wet Area: 39,211 s.f. ~ 0.900 acres Net Area: 396,196 s.f. ~ 9.095 acres
Totals:	Gross Area: 1,600,613 s.f. ~ 36.745 acres Wet Area: 321,097 s.f. ~ 7.371 acres Net Area: 1,279,516 s.f. ~ 29.374 acres

- 5) **Benchmark:** Elevations are based on Hennepin County Control Point Name: HACK which has an elevation of: 970.69 feet (NAVD88).
- 6) **Zoning Information:** The current Zoning for the subject property is RSF-2 (Single Family Residential 2) per the City of Corcoran's zoning map dated September 2020. The setback, height, and floor space area restrictions for said zoning designation were obtained from the City of Corcoran found on their web site on the date of December 28, 2020 and are as follows:

Principal Structure Setbacks -

- Front: 100 feet (County Road No. 116)
- Front: 20 feet (Hackamore Road)
- Front Porch (≤ 120 sq. ft.): 15 feet
- Side (Living): 10 feet
- Side (Garage): 5 feet
- Rear: 30 feet
- Maximum Principal Building Height: 35 feet

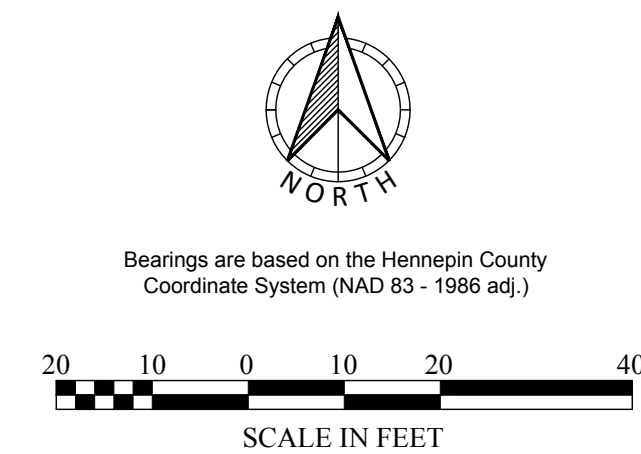
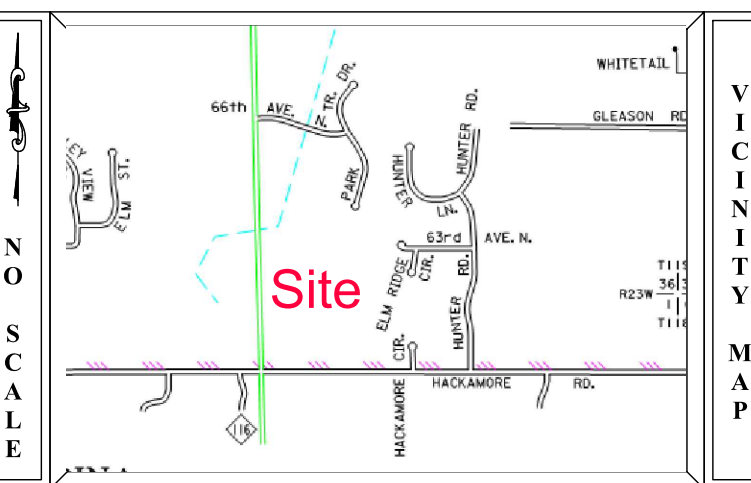
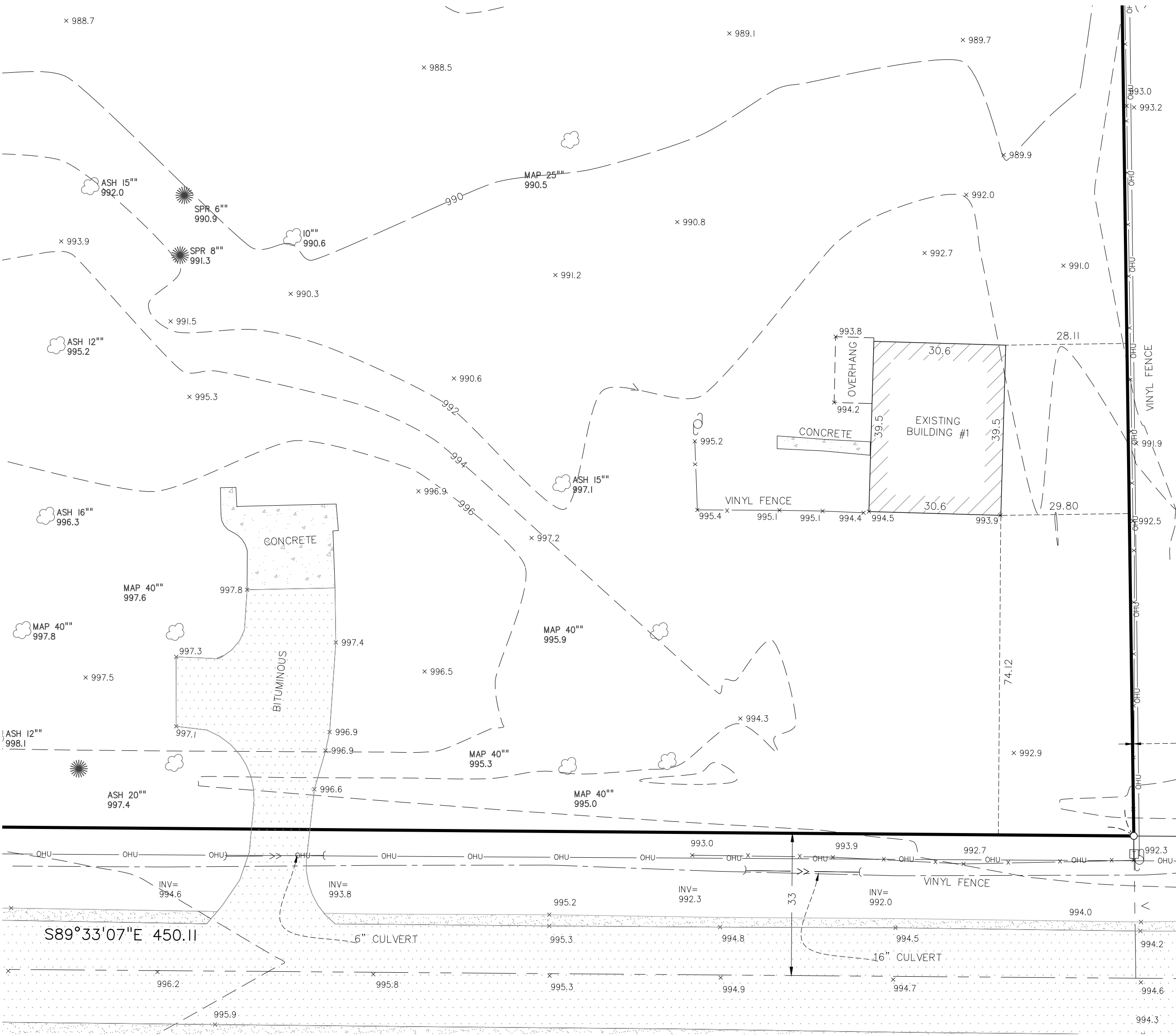
Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

We have not received the current zoning classification and building setback requirements from the insurer.

- 11) **Utilities:** We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. A Gopher State One Call was submitted for this survey. Please reference Ticket No. 203451879 for a list of utility operators in this area.

- 18) **Wetland Delineation:** The wetland delineation was performed by Kjolhaug Environmental Services Company and was flagged on 10/10/2020. Sathre-Bergquist located the wetland flags on 12/15/2020.

DETAIL B



SURVEY LEGEND

● CAST IRON MONUMENT	⊕ PIEZOMETER	⊖ WOE WALKOUT ELEVATION
○ IRON PIPE MONUMENT SET	⊖ POWER POLE	FFE FIRST FLOOR ELEVATION
● IRON PIPE MONUMENT FOUND	⊖ GUY WIRE	GFE GARAGE FLOOR ELEVATION
● DRILL HOLE FOUND	⊖ ROOF DRAIN	TOF TOP OF FOUNDATION ELEV.
⊗ CHISELED "X" MONUMENT SET	⊖ LIFT STATION	LOE LOWEST OPENING ELEV.
⊗ CHISELED "X" MONUMENT FOUND	⊖ SANITARY MANHOLE	CONCRETE
⊗ REBAR MONUMENT FOUND	⊖ SANITARY CLEANOUT	BITUMINOUS
⊗ PK NAIL MONUMENT SET	⊖ STORM MANHOLE	BUILDING SETBACK LINE
⊗ PK NAIL MONUMENT FOUND	⊖ STORM DRAIN	CABLE TV
⊗ PK NAIL W/ ALUMINUM DISC	⊖ CATCH BASIN	CONCRETE CURB
⊗ SURVEY CONTROL POINT	⊖ FLARED END SECTION	CONTOUR EXISTING
⊖ A/C UNIT	⊖ TREE CONIFEROUS	CONTOUR PROPOSED
⊖ CABLE TV PEDESTAL	⊖ TREE DECIDUOUS	GUARD RAIL
⊖ ELECTRIC TRANSFORMER	⊖ TREE CONIFEROUS REMOVED	DT DRAIN TILE
⊖ ELECTRIC MANHOLE	⊖ TREE DECIDUOUS REMOVED	ELC ELECTRIC UNDERGROUND
⊖ ELECTRIC METER	⊖ TELEPHONE MANHOLE	FENCE
⊖ ELECTRIC OUTLET	⊖ TELEPHONE PEDESTAL	FO FIBER OPTIC UNDERGROUND
⊖ YARD LIGHT	⊖ UTILITY PEDESTAL	GAS GAS UNDERGROUND
⊖ LIGHT POLE	⊖ UTILITY VAULT	OHU OVERHEAD UTILITY
⊖ FIBER OPTIC MANHOLE	⊖ UTILITY VAULT	TREE LINE
⊖ FIRE DEPT. HOOK UP	⊖ WATERMAIN MANHOLE	STORM SEWER
⊖ FLAG POLE	⊖ WATER METER	TEL TELEPHONE UNDERGROUND
⊖ FUEL PUMP	⊖ WATER SPIGOT	RETAINING WALL
⊖ FUEL TANK	⊖ WELL	UTL UTILITY UNDERGROUND
⊖ PROPANE TANK	⊖ MONITORING WELL	WATERMAIN
⊖ GAS METER	⊖ CURB STOP	TRAFFIC SIGNAL
⊖ GAS VALVE	⊖ GATE VALVE	RAILROAD TRACKS
⊖ GAS MANHOLE	⊖ HYDRANT	RAILROAD SIGNAL
⊖ GENERATOR	⊖ IRRIGATION VALVE	RAILROAD SWITCH
⊖ GUARD POST	⊖ POST INDICATOR VALVE	SATELLITE DISH
⊖ HAND HOLE	⊖ SIGN	WETLAND BUFFER SIGN
⊖ MAIL BOX	⊖ SOIL BORING	

FIELD CREW	NO.	BY	DATE	REVISION
All	1	CMT	3/3/2023	TOPO, UPDATE SURFACE, REMOVE BARN
DRAWN	2	ERJ	2/8/2023	UPDATE EG
CMT				
CHECKED				
DLS				
DATE				
12/28/2020				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

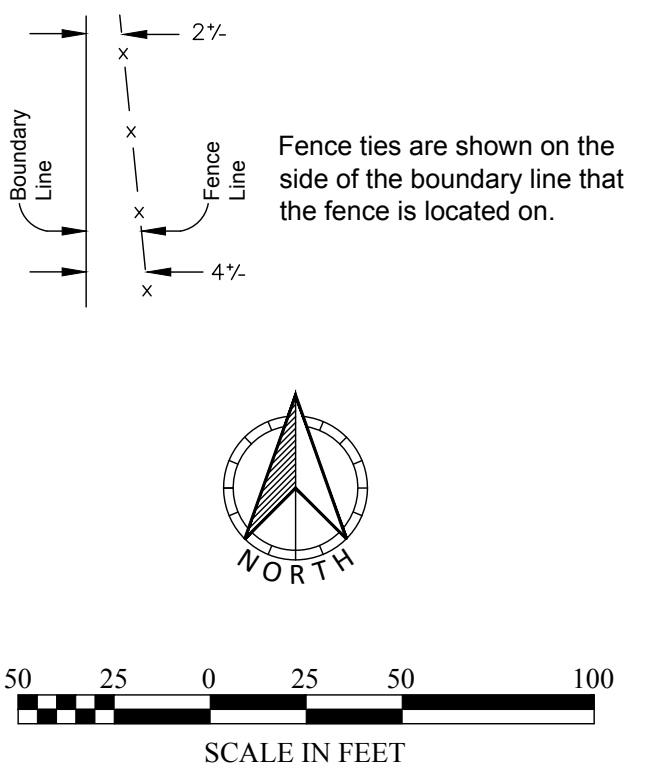
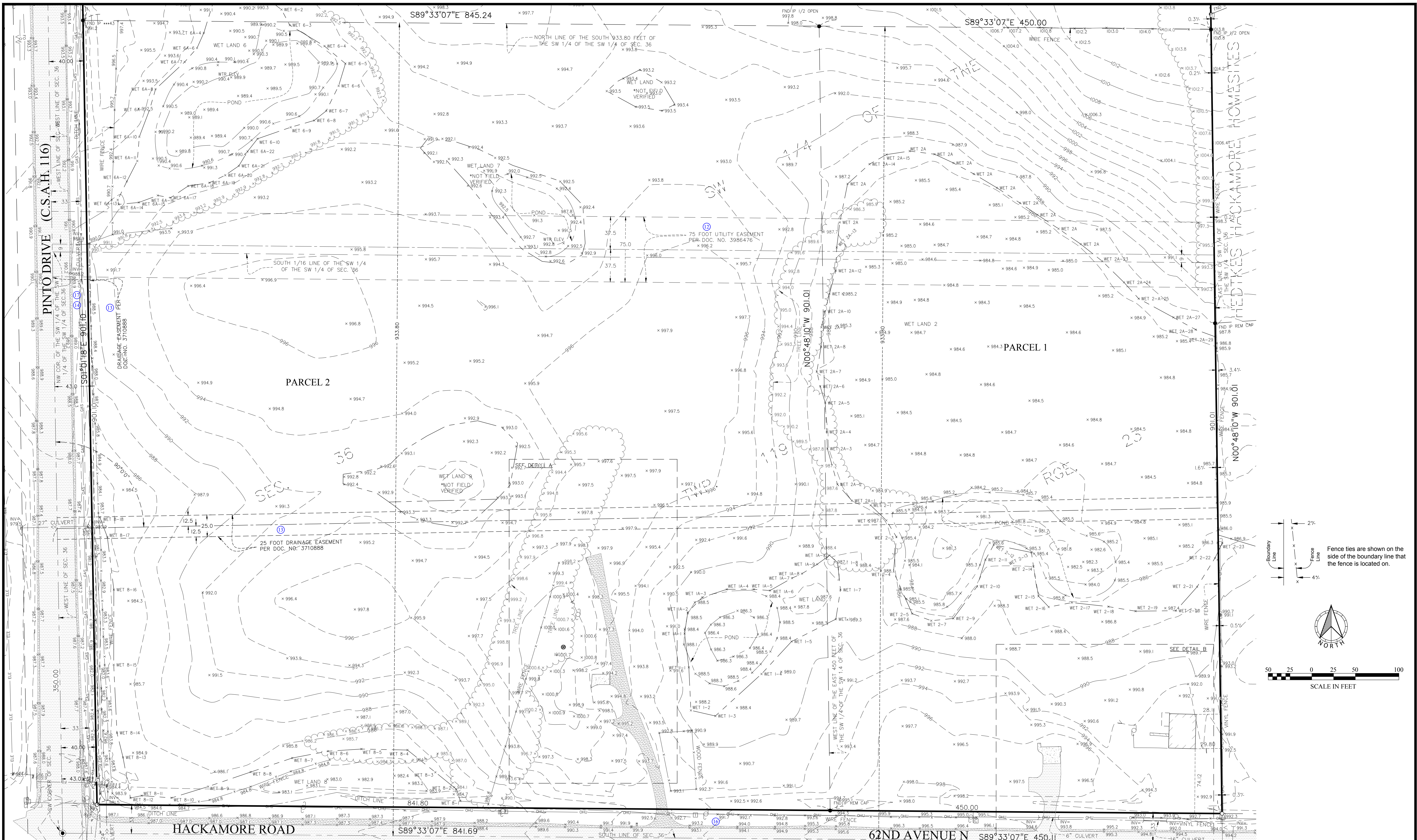
To: Lakeview Development Company, LLC, Custom Home Builders Title, LLC, and Old Republic National Title Insurance Company:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 4, 6a, 7a, 8, 9, 11 and 18 of Table A thereof. The field work was completed on December 15th, 2020.
Date of Plat or Map: January 11, 2021
Daniel L. Schmidt, PLS
Minnesota License No. 26147

SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

TWP:119-RGE:23-SEC:36
Hennepin County
CORCORAN, MINNESOTA

CERTIFICATE OF SURVEY
PREPARED FOR:
Lakeview Development Company, LLC

FILE NO.
3120-068
1
3



FIELD CREW	NO.	BY	DATE	REVISION
ALL				
DRAWN				
CMT				
CHECKED				
DLS				
DATE				
2/28/2020				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

ENGINEERS SURVEYORS
DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH, SUITE 120
 PLYMOUTH MN 55447 (952) 476-6000
 WWW.SATHRE.COM

TWP-119-RGE 23-SEC.36
 Hennepin County

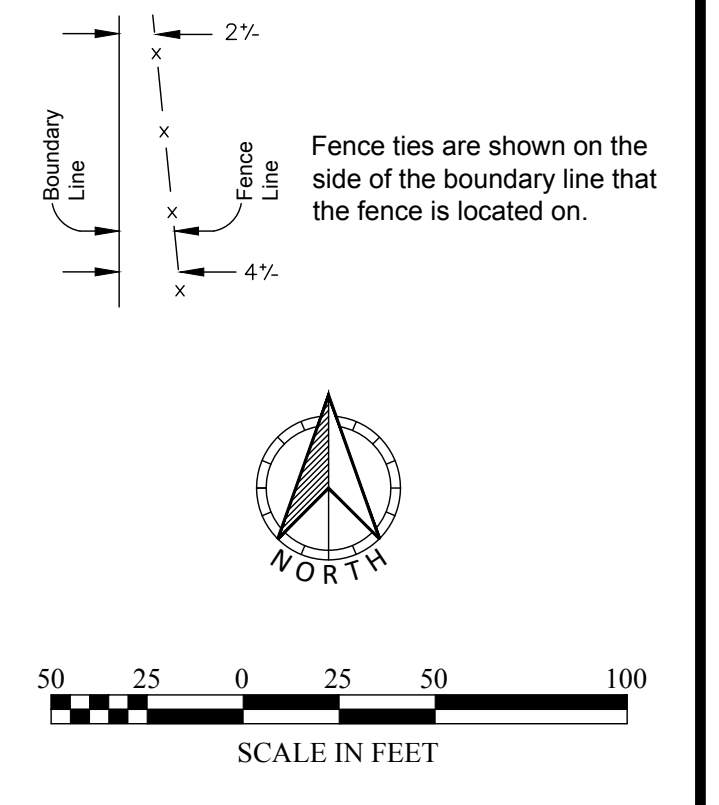
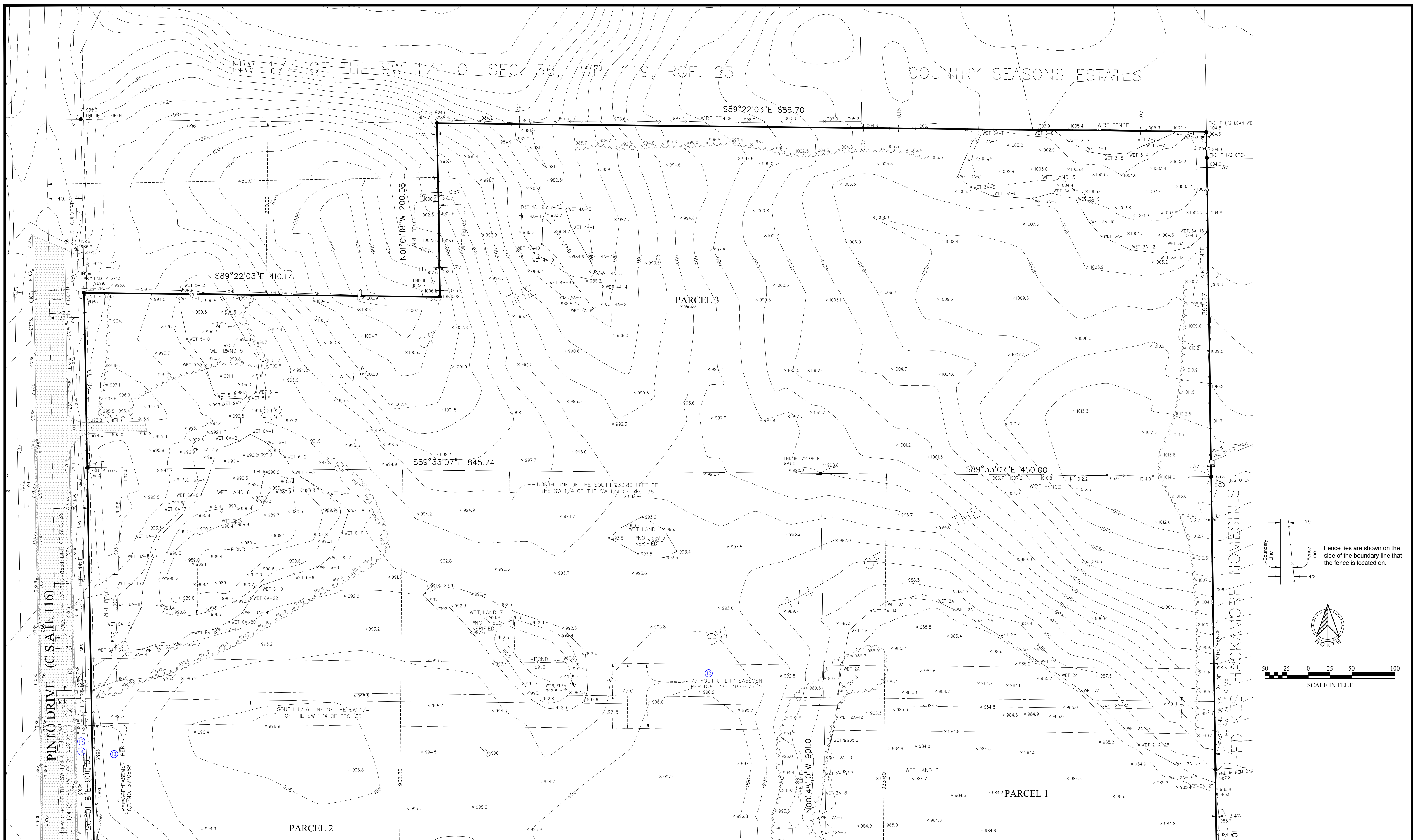
CORCORAN, MINNESOTA

CERTIFICATE OF SURVEY

PREPARED FOR:
 Lakeview Development Company, LLC

FILE NO. 3120-068
2
3

N 1/4 OF THE SW 1/4 OF SEC. 36, TWP. 119, RGE. 23 COUNTRY SEASONS ESTATES



FIELD CREW	NO.	BY	DATE	REVISION
ALL				
DRAWN				
CMT				
CHECKED				
DLS				
DATE				
2/28/2020				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

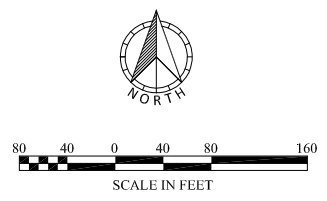
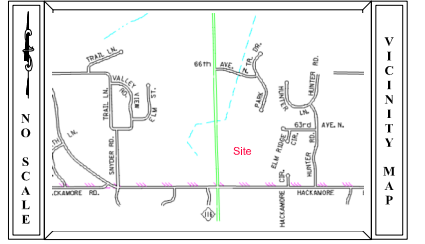
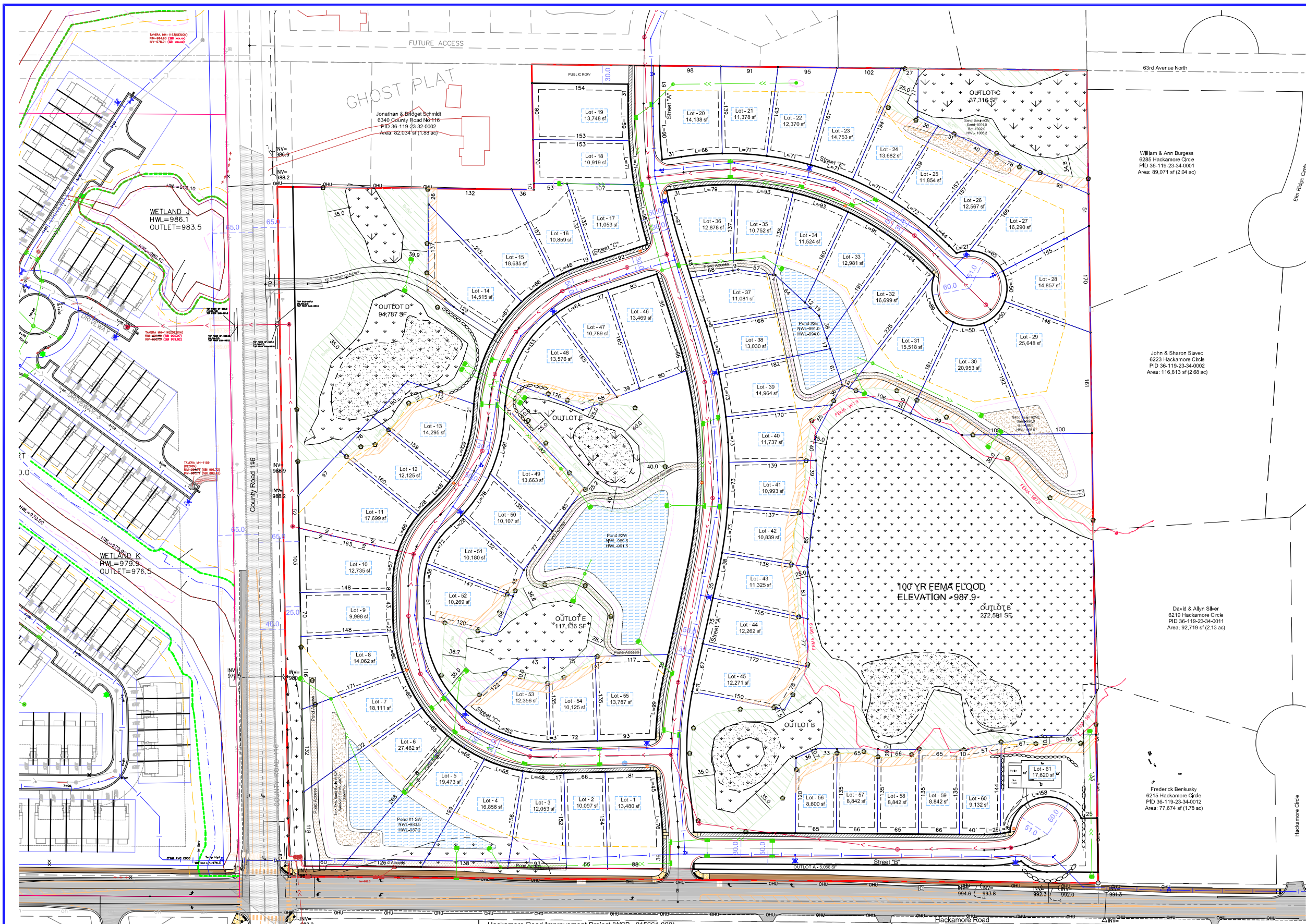
ENGINEERS SURVEYORS
DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH, SUITE 120
 PLYMOUTH MN 55447 (952) 476-6000
 WWW.SATHRE.COM

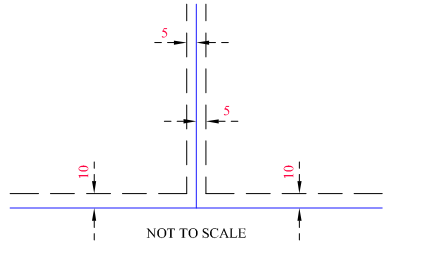
TWP.119-RGE.23-SEC.36
 Hennepin County
CORCORAN, MINNESOTA

CERTIFICATE OF SURVEY
 PREPARED FOR:
 Lakeview Development Company, LLC

FILE NO.
 3120-068
3
3



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and 10 feet in width and adjoining right of way lines, unless otherwise indicated, as shown on the plat.

Jonathan & Brigitte Schmitt
6340 County Road No 116
PID 36-119-23-32-0002
Area: 12,124 sf (1.38 ac)

WETLAND J
HWL=986.1
OUTLET=983.5

WETLAND K
HWL=979.9
OUTLET=976.5

William & Ann Burgess
6285 Hackamore Circle
PID 36-119-23-34-0001
Area: 89,071 sf (2.04 ac)

John & Sharon Slavec
6223 Hackamore Circle
PID 36-119-23-34-0002
Area: 116,813 sf (2.68 ac)

David & Allyn Silver
6219 Hackamore Circle
PID 36-119-23-34-0011
Area: 92,719 sf (2.13 ac)

Frederick Benkusky
6215 Hackamore Circle
PID 36-119-23-34-0012
Area: 77,674 sf (1.78 ac)

Daniel & Jacalyn Milka
PID 01-118-23-22-0003
Area: 192,051 sf (4.41 ac)

Nancy Jean
655 Hackamore Road
PID 01-118-23-22-0002
Area: 421,710 sf (9.66 ac)

Harry & Angela Derry
625 Hackamore Road
PID 01-118-23-22-0001
Area: 210,385 sf (4.83 ac)

Hackamore Road Improvement Project (WSB - 015661-000)
Wetland 8 Impacts Approved = 8,522 SF
Wetland Outline Updated to show remaining wetland

FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	DLS	2/8/2024	City Comments - Thru Street
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 27th day of September, 2023.

Daniel L. Schmitt
Daniel L. Schmitt, PLS
schmidt@sathre.com
Minnesota License No. 26147

ENGINEERS SURVEYORS DESIGNERS PLANNERS

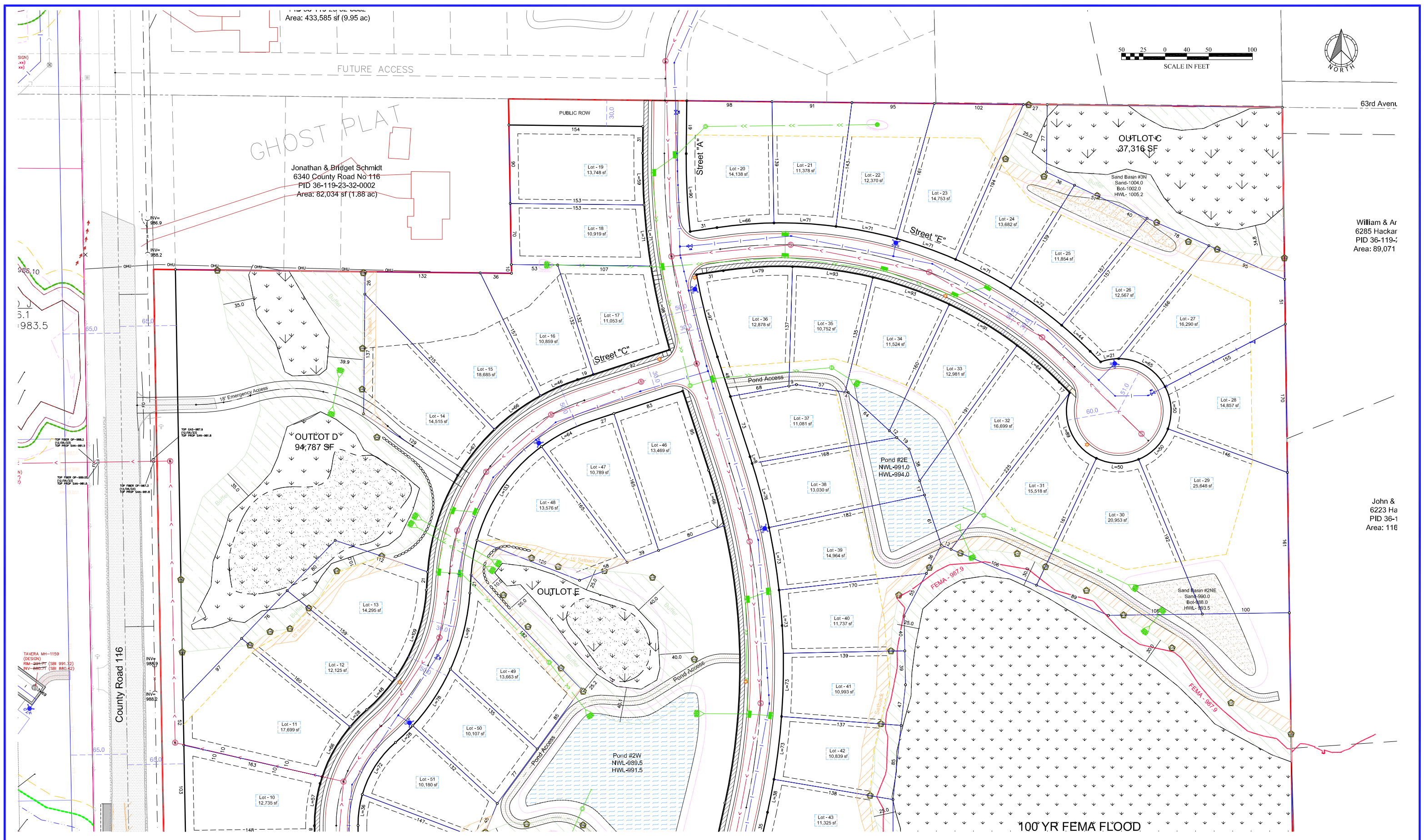
SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
Hennepin County

CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068
PP1
PP3



Area: 433,585 sf (9.95 ac)

Jonathan & Bridget Schmidt
6340 County Road No 116
PID 36-119-23-32-0002
Area: 82,034 sf (1.88 ac)

63rd Avenue

William & Ar
6285 Hacker
PID 36-119-
Area: 89,071

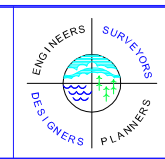
John &
6223 Ha
PID 36-1
Area: 116

TAVERA MH-1159
(DESIGN)
RM-99177 (SBI 991.22)
NV-88077 (SBI 880.42)

FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	DLS	2/8/2024	City Comments - Thru Street
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 27 day of September, 2023.
Daniel L. Schmidt, PLS
schmidt@sathre.com
Minnesota License No. 26147

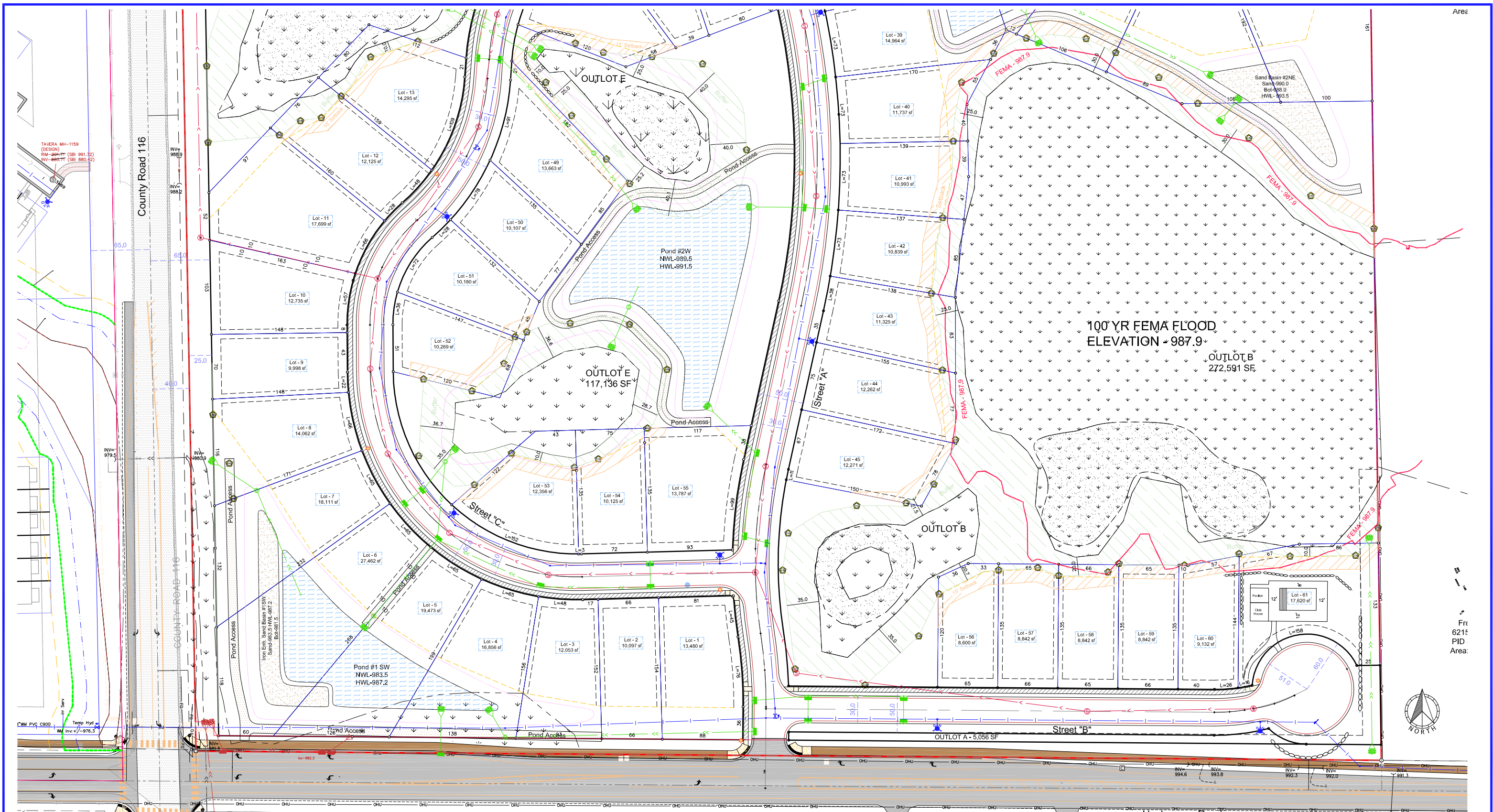


SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH, SUITE 120
PLYMOUTH MN 55447 (952) 476-6000
WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
Hennepin County
CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068
PP2
PP3



Daniel & Jacalyn Millea
 PID 01-118-23-22-0003
 Area: 192,051 sf (4.41 ac)

Hackamore Road Improvement Project (WSB - 015661-000)
 Wetland 8 Impacts Approved = 8,522 SF
 Wetland Outline Updated to show remaining wetland

Nancy Jean
 655 Hackamore Road
 PID 01-118-23-22-0002
 Area: 421,710 sf (9.68 ac)

Harry & Angela Denny
 625 Hackamore Road
 PID 01-118-23-22-0001
 Area: 210,385 sf (4.83 ac)

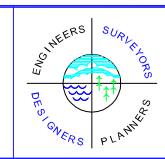


FIELD CREW	NO.	BY	DATE	REVISION
XXX	1	DLS	2/8/2024	City Comments - Thru Street
DRAWN				
RSM				
CHECKED				
DLS				
DATE				
03-02-23				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Dated this 27 day of September, 2023.

Daniel L. Schmidt, PLS
 schmidt@sathre.com
 Minnesota License No. 26147

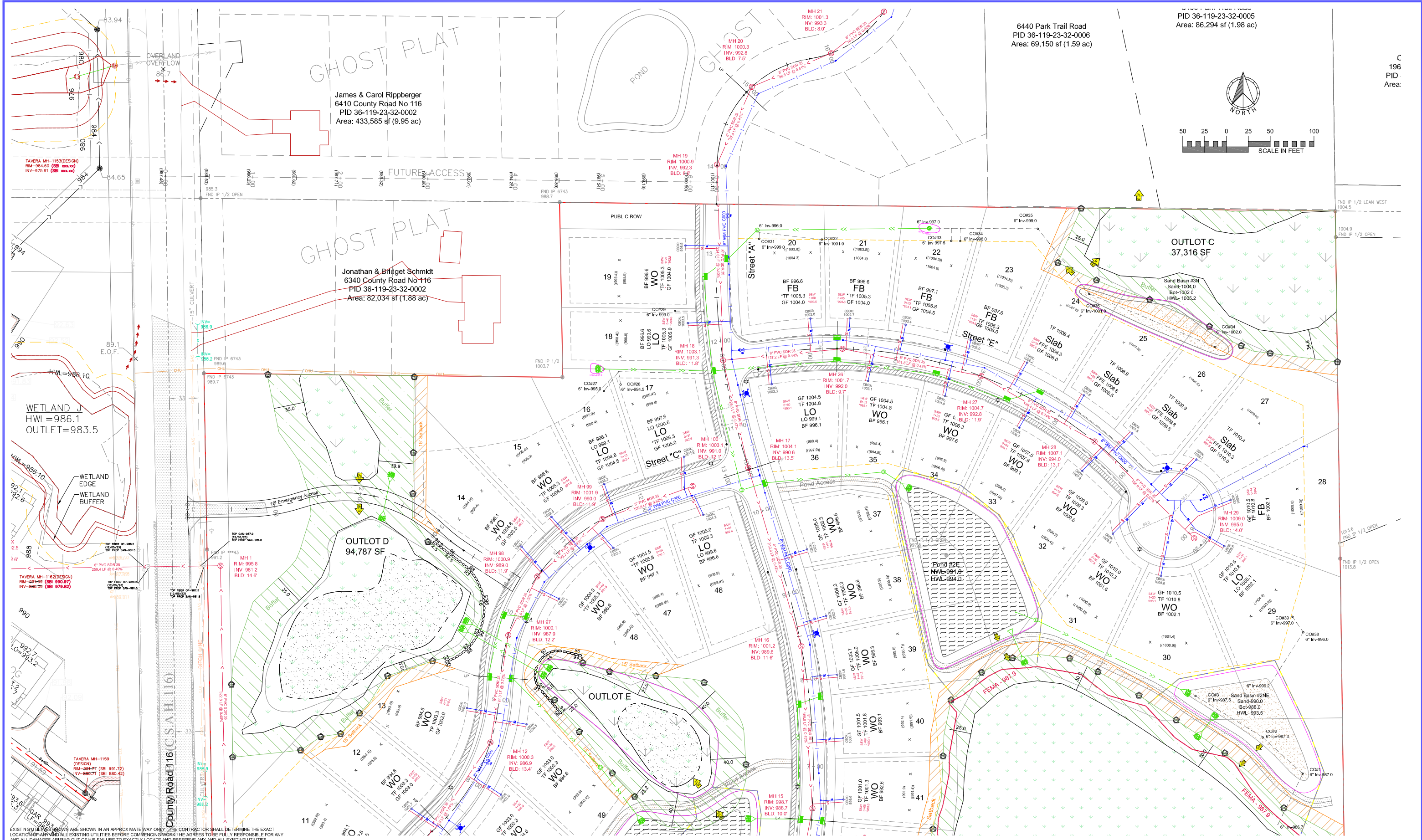


SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH, SUITE 120
 PLYMOUTH MN 55447 (952) 476-6000
 WWW.SATHRE.COM

SEC:36 TWP:119 RGE:23
 Hennepin County
CORCORAN, MINNESOTA

PRELIMINARY PLAT
WOODLAND HILLS OF CORCORAN
 WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
 3120-068
PP3
PP3



DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN		ERJ		
CHECKED		RSM		
DATE			09/27/2023	

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 24728

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

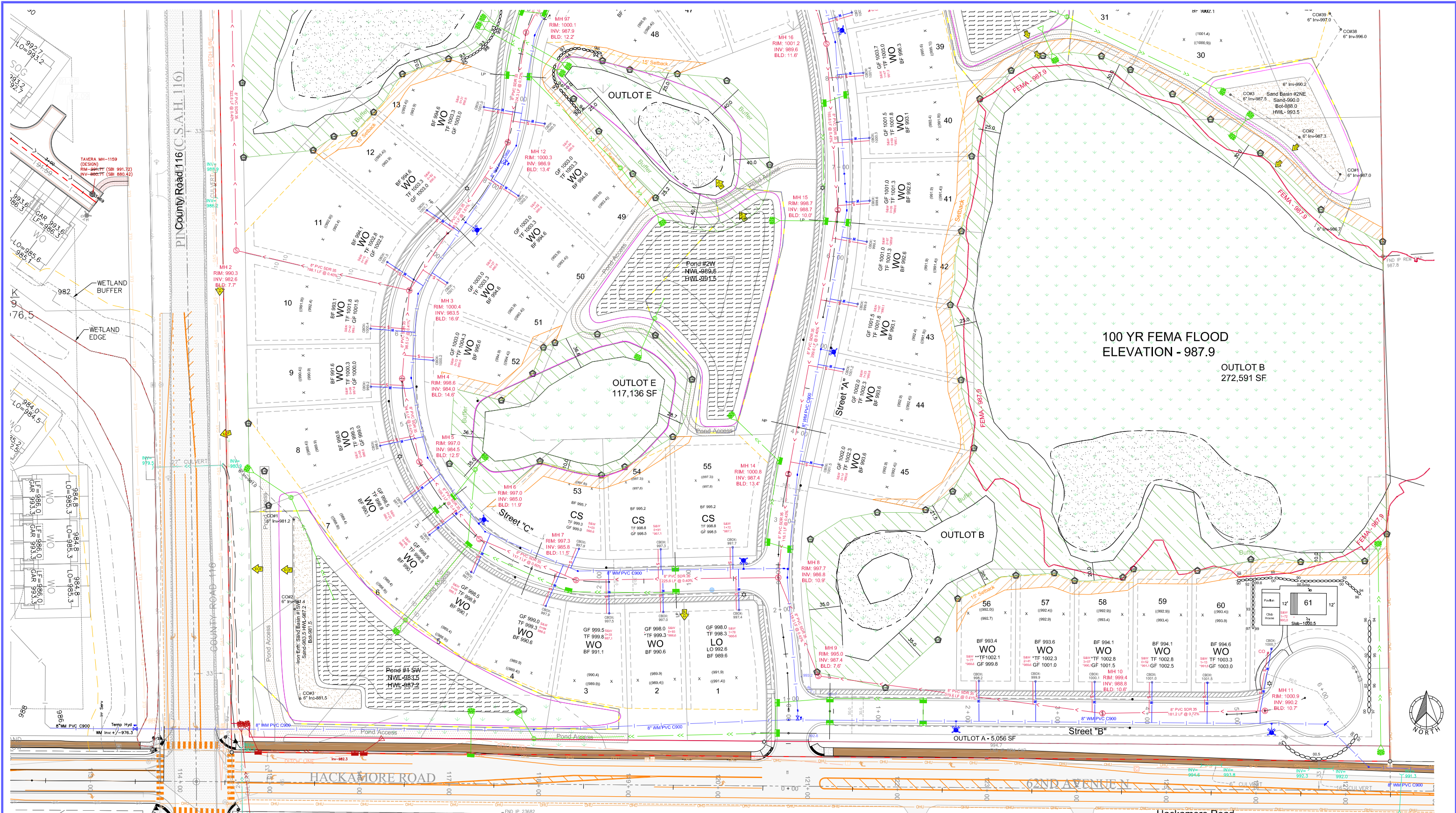
CITY PROJECT NO. ---

CORCORAN, MINNESOTA

PRELIMINARY S&W PLAN (NORTH)
WOODLAND HILLS OF CORCORAN
 WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068

S&W-N

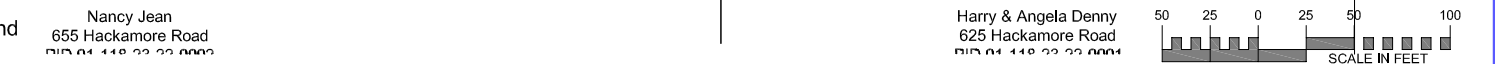


Hackamore Road Improvement Project (WSB - 015661-000)
 Wetland 8 Impacts Approved = 8,522 SF
 Wetland Outline Updated to show remaining wetland

Daniel & Jacalyn Millea
 PID 01-118-23-22-0003

Nancy Jean
 655 Hackamore Road
 PID 01-118-23-22-0003

Harry & Angela Denny
 625 Hackamore Road
 PID 01-118-23-22-0004



DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN		ERJ		
CHECKED		RSM		
DATE			09/27/2023	

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 24728

ENGINEERS SURVEYORS DESIGNERS PLANNERS

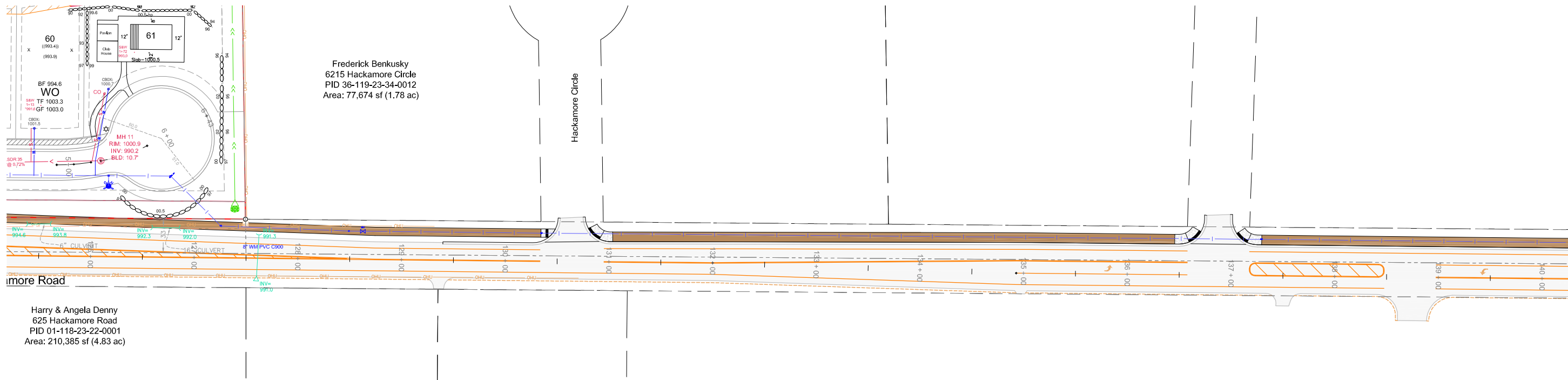
SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO. ---

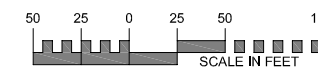
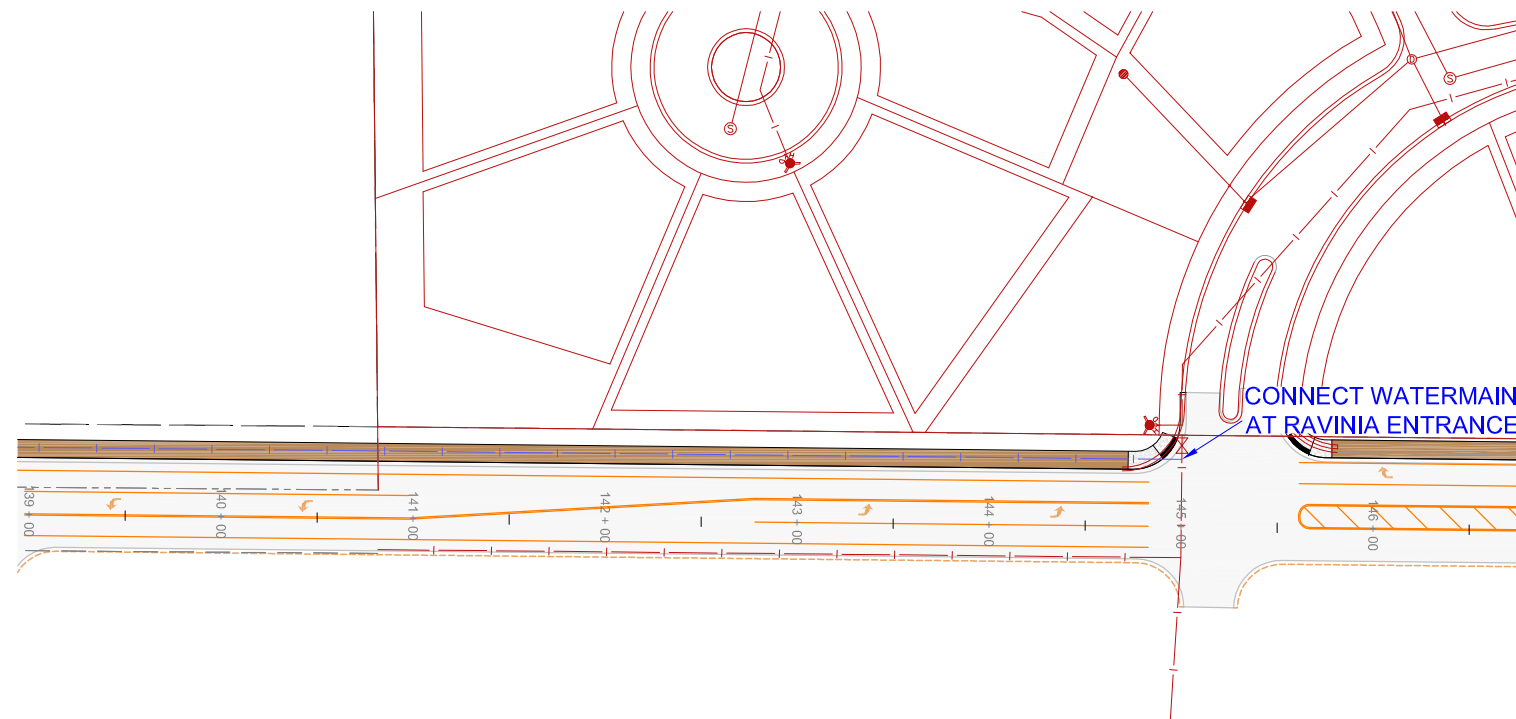
CORCORAN, MINNESOTA

PRELIMINARY S&W PLAN (SOUTH)
WOODLAND HILLS OF CORCORAN
 WOODLAND HILLS OF CORCORAN, INC.

FILE NO. 3120-068
 S&W-S



SEE ABOVE



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

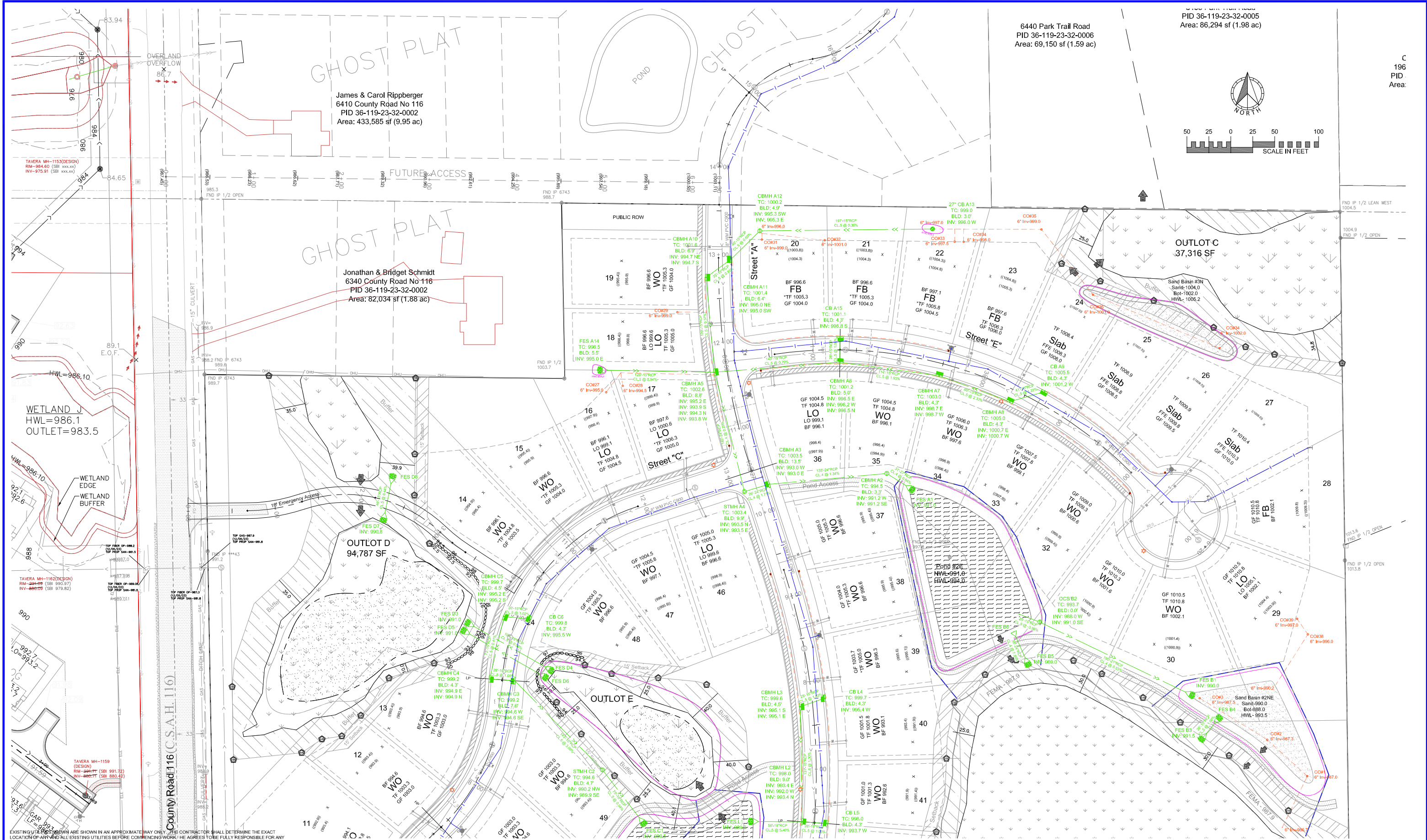
I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 09/27/23 Lic. No. 2628

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH SUITE 120
PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.	PRELIMINARY WATERMAIN CONNECTION	FILE NO.
---	WOODLAND HILLS OF CORCORAN	3120-068
CORCORAN, MINNESOTA	WOODLAND HILLS OF CORCORAN, INC.	WM

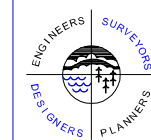


DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN		ERJ		
CHECKED		RSM		
DATE				
			09/27/2023	

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 26728

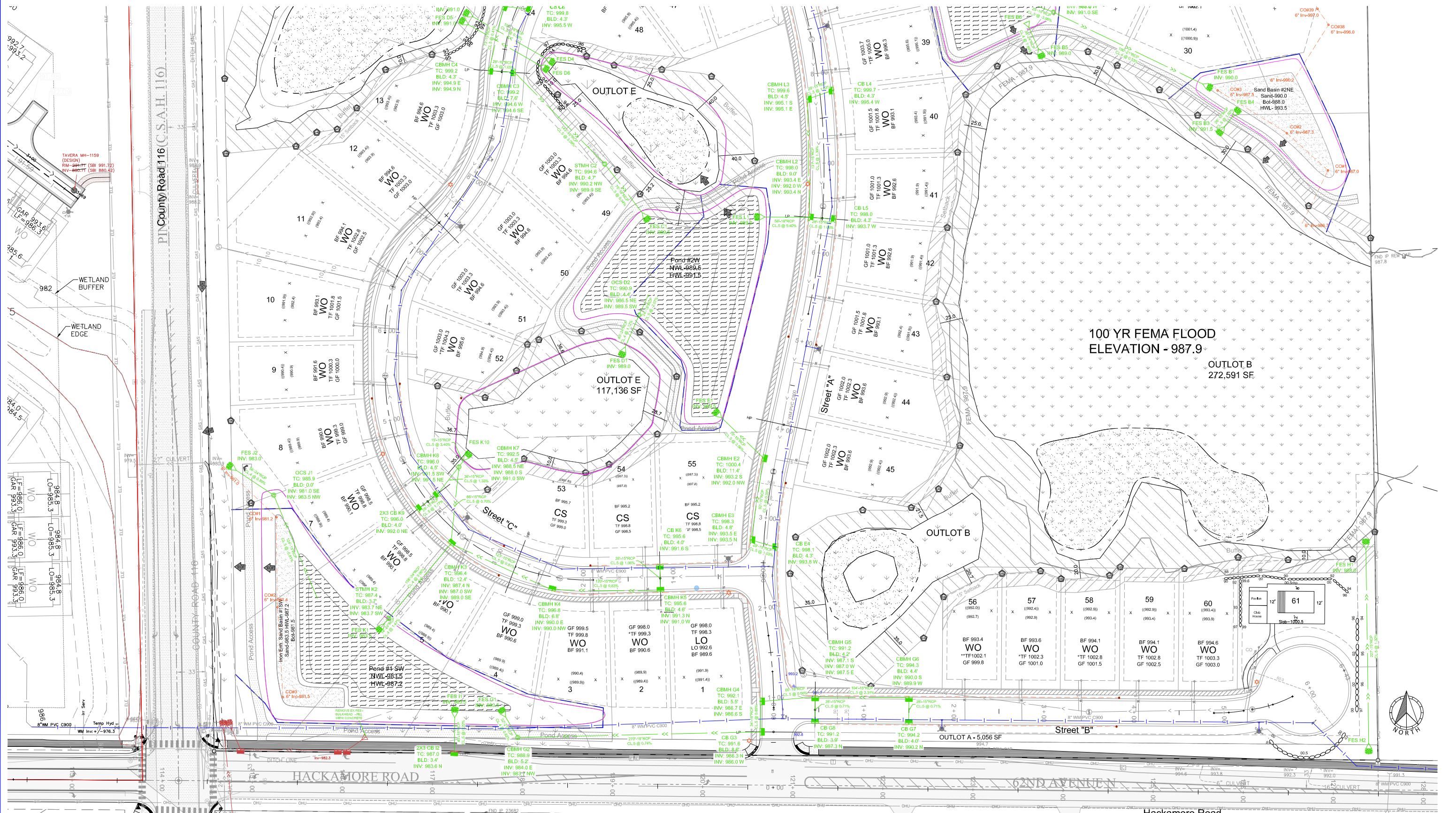


SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO. ---
CORCORAN, MINNESOTA

PRELIMINARY STORM SEWER (NORTH)
WOODLAND HILLS OF CORCORAN
 WOODLAND HILLS OF CORCORAN, INC.

FILE NO. 3120-068
STORM-N

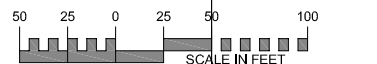


Hackamore Road Improvement Project (WSB - 015661-000)
 Wetland 8 Impacts Approved = 8,522 SF
 Wetland Outline Updated to show remaining wetland

Daniel & Jacalyn Millea
 PID 01-118-23-22-0003
 Area: 192,051 sf (4.41 ac)

Nancy Jean
 655 Hackamore Road
 PID 01-118-23-22-0002

Harry & Angela Denny
 625 Hackamore Road
 PID 01-118-23-22-0001



DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

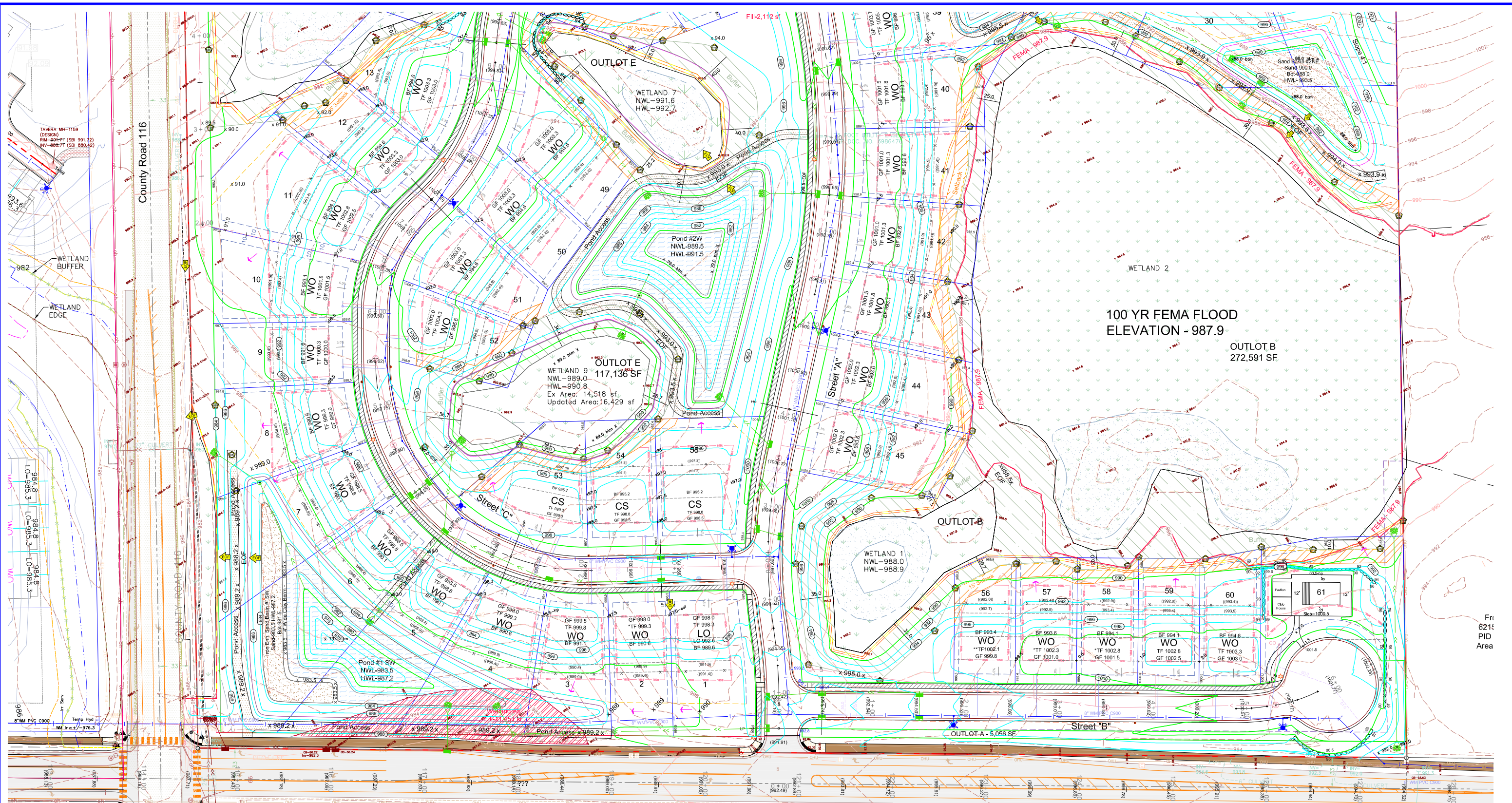
Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 26728

SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO. ---
CORCORAN, MINNESOTA

PRELIMINARY STORM SEWER (SOUTH)
WOODLAND HILLS OF CORCORAN
 WOODLAND HILLS OF CORCORAN, INC.

FILE NO. 3120-068
 STORM-S



Daniel & Jacalyn Millea
PID 01-118-23-22-0003
Area: 192,051 sf (4.41 ac)

Hackamore Road Improvement Project (WSB - 015661-000)
Wetland 8 Impacts Approved = 8,522 SF
Wetland Outline Updated to show remaining wetland

Nancy Jean
655 Hackamore Road
PID 01-118-23-22-0002
Area: 421,710 sf (9.68 ac)

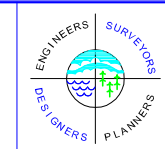
Harry & Angela Denny
625 Hackamore Road
PID 01-118-23-22-0001
Area: 210,385 sf (4.83 ac)

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 09/27/23 Lic. No. 24728











SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH SUITE 120
PLYMOUTH, MN. 55447 (952) 476-6000

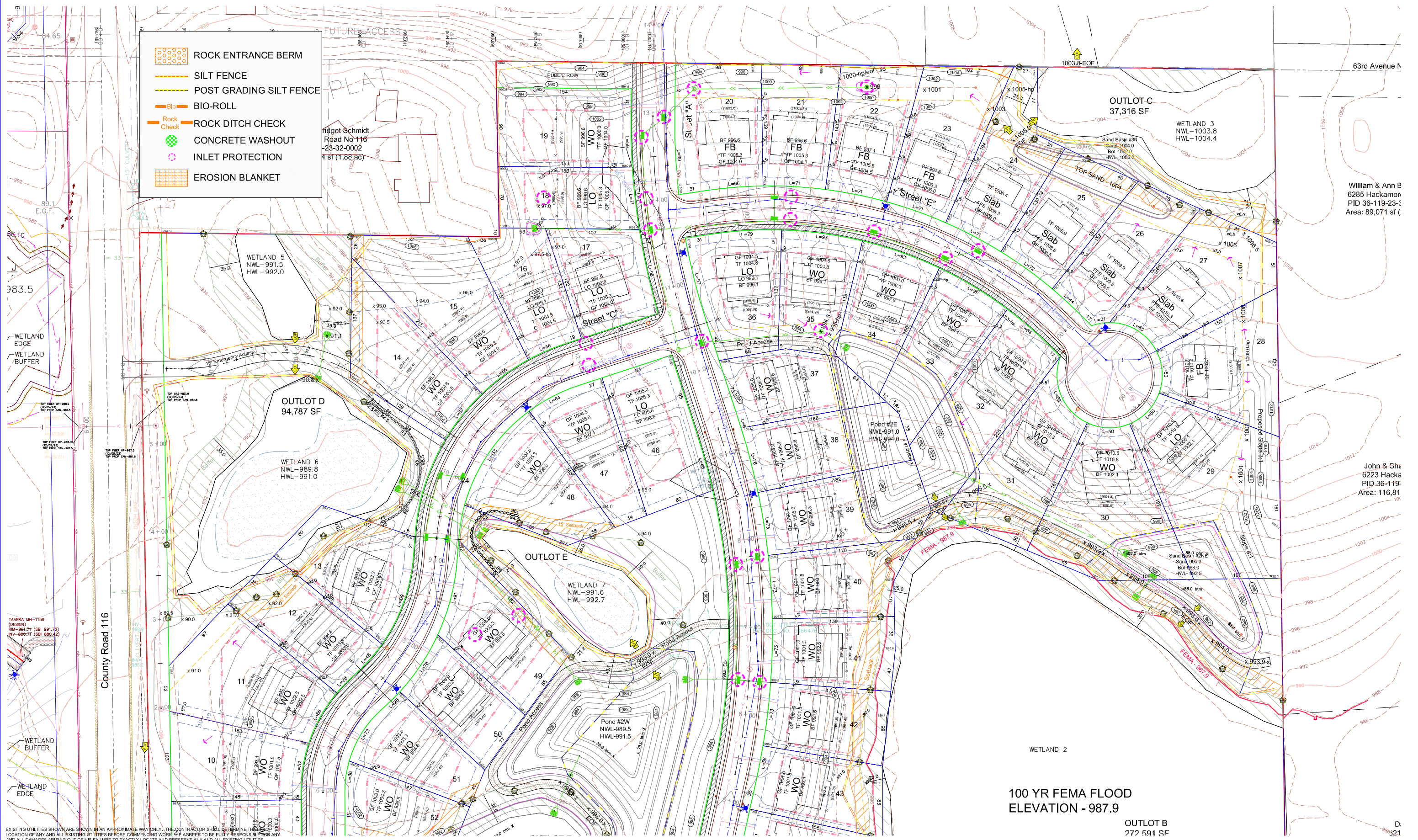
CITY PROJECT NO.
CORCORAN, MINNESOTA

PRELIMINARY GRADING PLAN (SOUTH)
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068
GP2-S

-  ROCK ENTRANCE BERM
-  SILT FENCE
-  POST GRADING SILT FENCE
-  BIO-ROLL
-  ROCK DITCH CHECK
-  CONCRETE WASHOUT
-  INLET PROTECTION
-  EROSION BLANKET

Richard Schmidt
Road No 116
-23-32-0002
1.88 ac



63rd Avenue N
OUTLOT C
37,316 SF
WETLAND 3
NWL-1003.8
HWL-1004.4
Sand Basin #3N
Silt-1004.0
Bot-1002.0
HWL-1006.2

William & Ann B
6285 Hackamom
PID 36-119-23-3
Area: 89,071 sf (

John & She
6223 Hacka
PID 36-119-
Area: 116,81

100 YR FEMA FLOOD
ELEVATION - 987.9

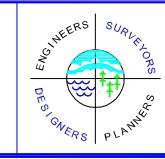
OUTLOT B
277,591 SF

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 09/27/23 Lic. No. 24728

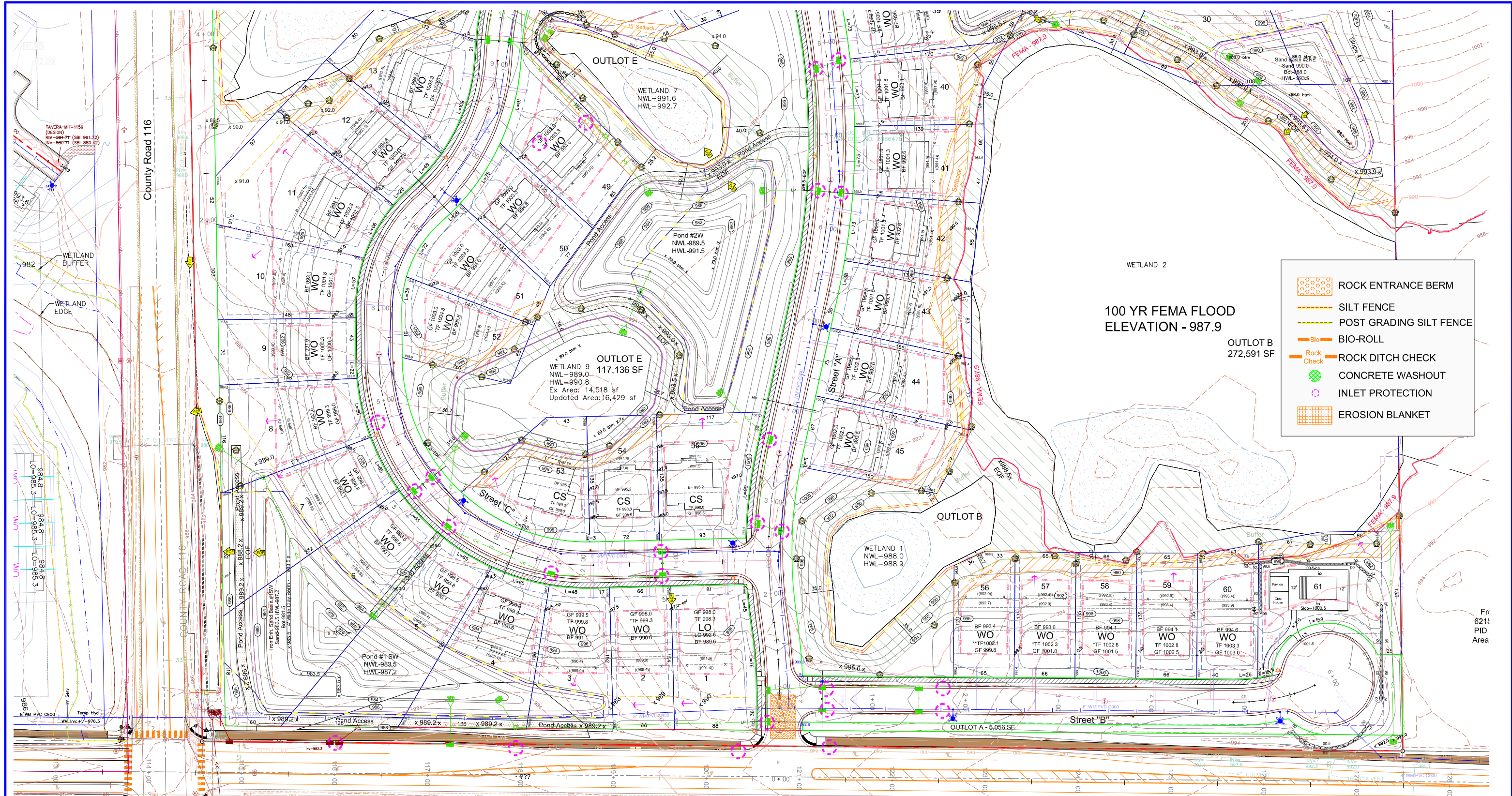


SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH SUITE 120
PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
CORCORAN,
MINNESOTA

PRELIMINARY EROSION CONTROL PLAN
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068
EC1



- ROCK ENTRANCE BERM
- SILT FENCE
- POST GRADING SILT FENCE
- BIO-ROLL
- ROCK DITCH CHECK
- CONCRETE WASHOUT
- INLET PROTECTION
- EROSION BLANKET

100 YR FEMA FLOOD
ELEVATION - 987.9

OUTLOT B
272,591 SF

Hackamore Road Improvement Project (WSB - 015661-000)

Wetland 8 Impacts Approved = 8,522 SF

Wetland Outline Updated to show remaining wetland

Daniel & Jacalyn Millea
PID 01-118-23-22-0003
Area: 192,051 sf (4.41 ac)

Nancy Jean
655 Hackamore Road
PID 01-118-23-22-0002
Area: 421,710 sf (9.68 ac)

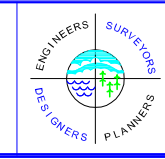
Harry & Angela Denny
625 Hackamore Road
PID 01-118-23-22-0001
Area: 210,385 sf (4.83 ac)

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 09/27/23 Lic. No. 26728



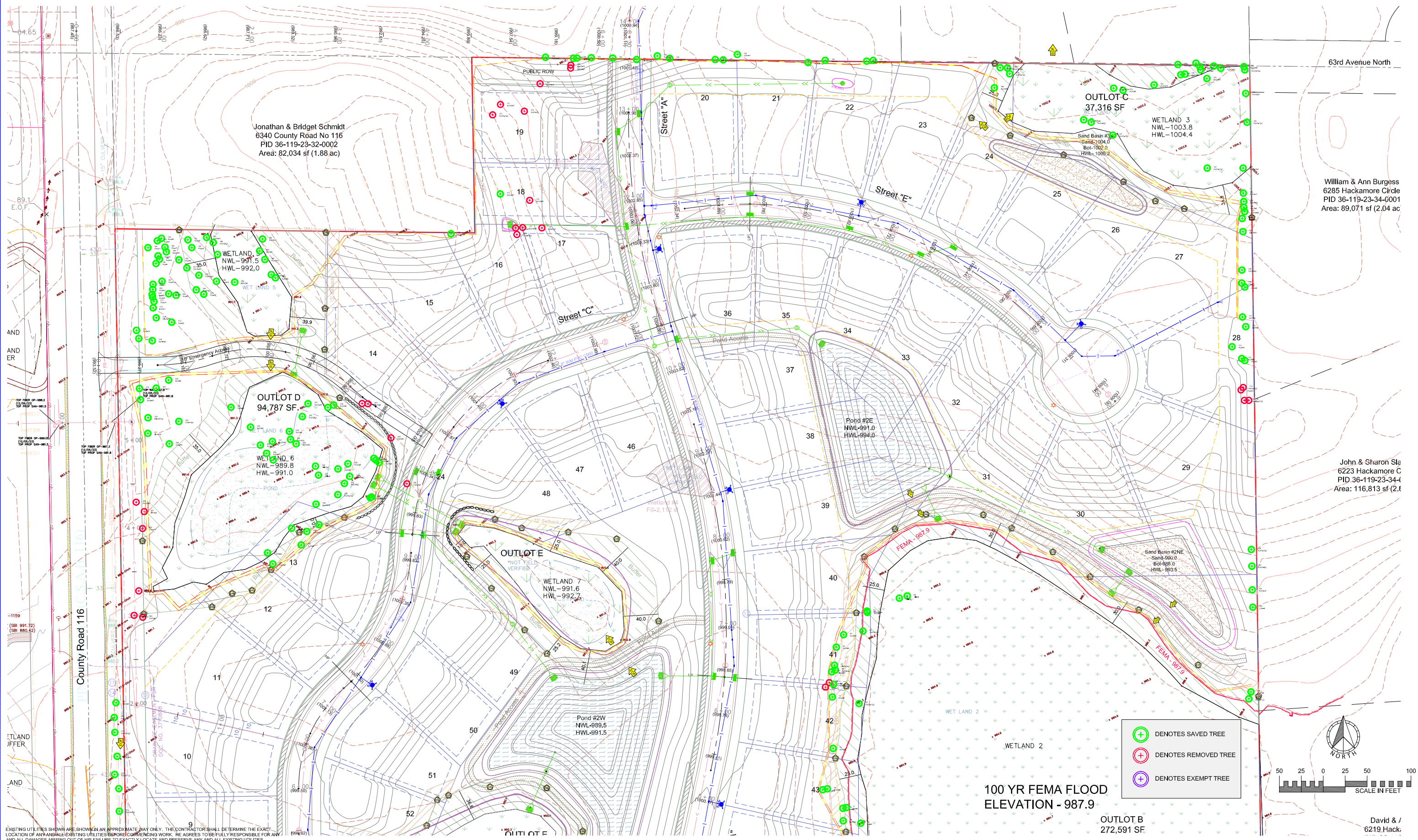
SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH SUITE 120
PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
CORCORAN,
MINNESOTA

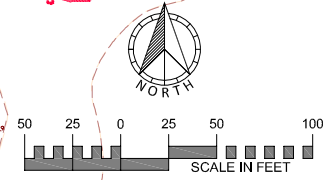
PRELIMINARY EROSION CONTROL PLAN
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
3120-068
EC2

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.



- ⊕ DENOTES SAVED TREE
- ⊕ DENOTES REMOVED TREE
- ⊕ DENOTES EXEMPT TREE



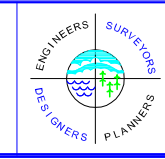
100 YR FEMA FLOOD
ELEVATION - 987.9

DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 09/27/23 Lic. No. 26728



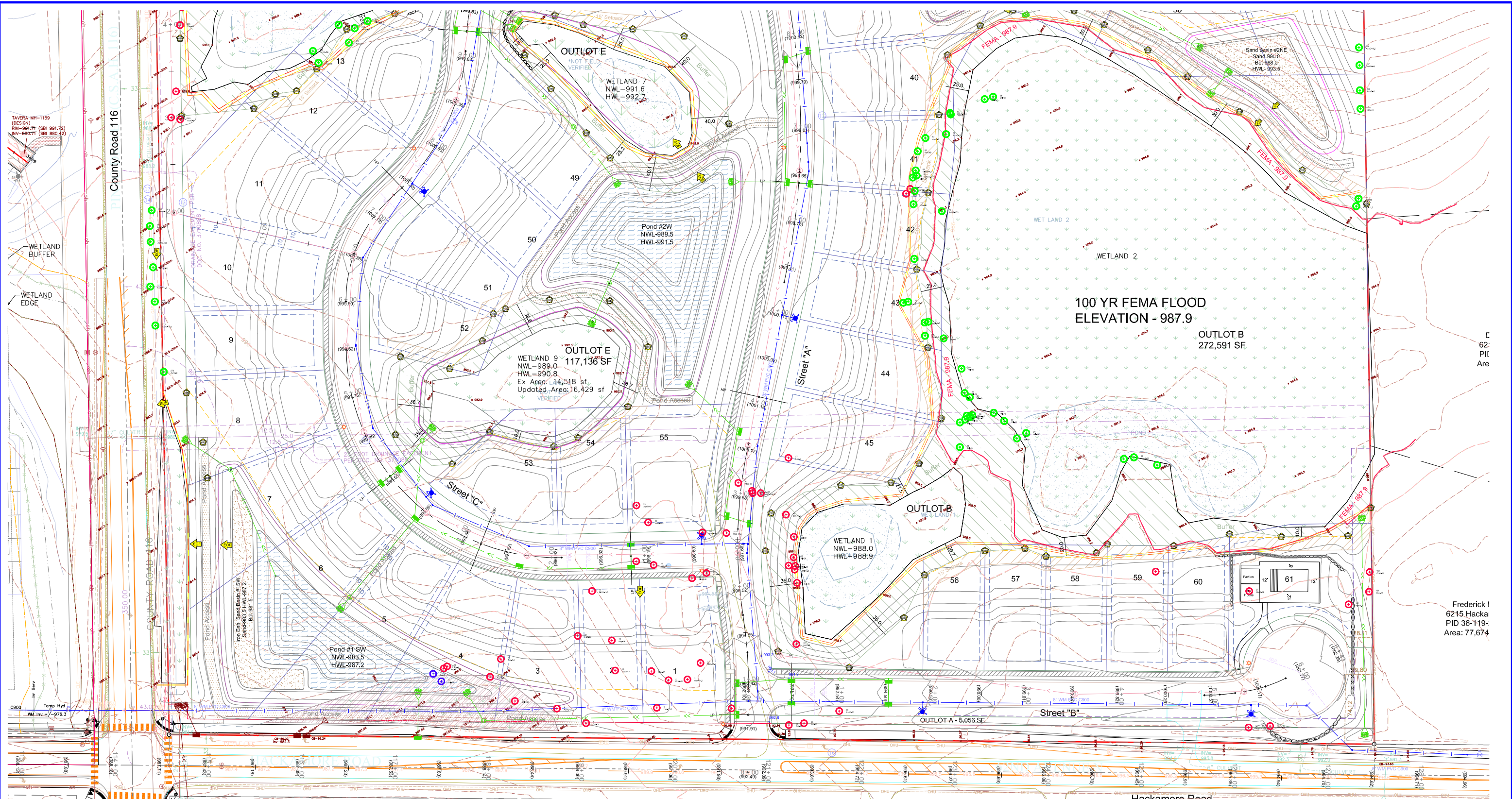
SATHRE-BERGQUIST, INC.
 14000 25TH AVENUE NORTH SUITE 120
 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

**CORCORAN,
 MINNESOTA**

TREE SURVEY
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

FILE NO.
 3120-068
 TS1



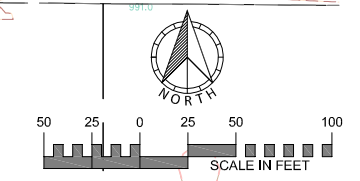
Daniel & Jacalyn Millea
PID 01-118-23-22-0003
Area: 192,051 sf (4.41 ac)

Hackamore Road Improvement Project (WSB - 015661-000)
Wetland 8 Impacts Approved = 8,522 SF
Wetland Outline Updated to show remaining wetland

Nancy Jean
655 Hackamore Road
PID 01-118-23-22-0002
Area: 421,710 sf (9.68 ac)

Harry & Angela Denny
625 Hackamore Road
PID 01-118-23-22-0001
Area: 210,385 sf (4.83 ac)

- + DENOTES SAVED TREE
- + DENOTES REMOVED TREE
- + DENOTES EXEMPT TREE

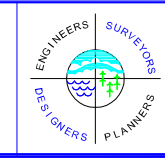


DRAWING NAME	NO.	BY	DATE	REVISION
HACKAMORE	1	RSM	2/8/2024	CITY COMMENTS - THRU STREET REVISIONS
DRAWN				
ERJ				
CHECKED				
RSM				
DATE				
09/27/2023				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 09/27/23 Lic. No. 24728



SATHRE-BERGQUIST, INC.
14000 25TH AVENUE NORTH SUITE 120
PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
CORCORAN, MINNESOTA

TREE SURVEY
WOODLAND HILLS OF CORCORAN
WOODLAND HILLS OF CORCORAN, INC.

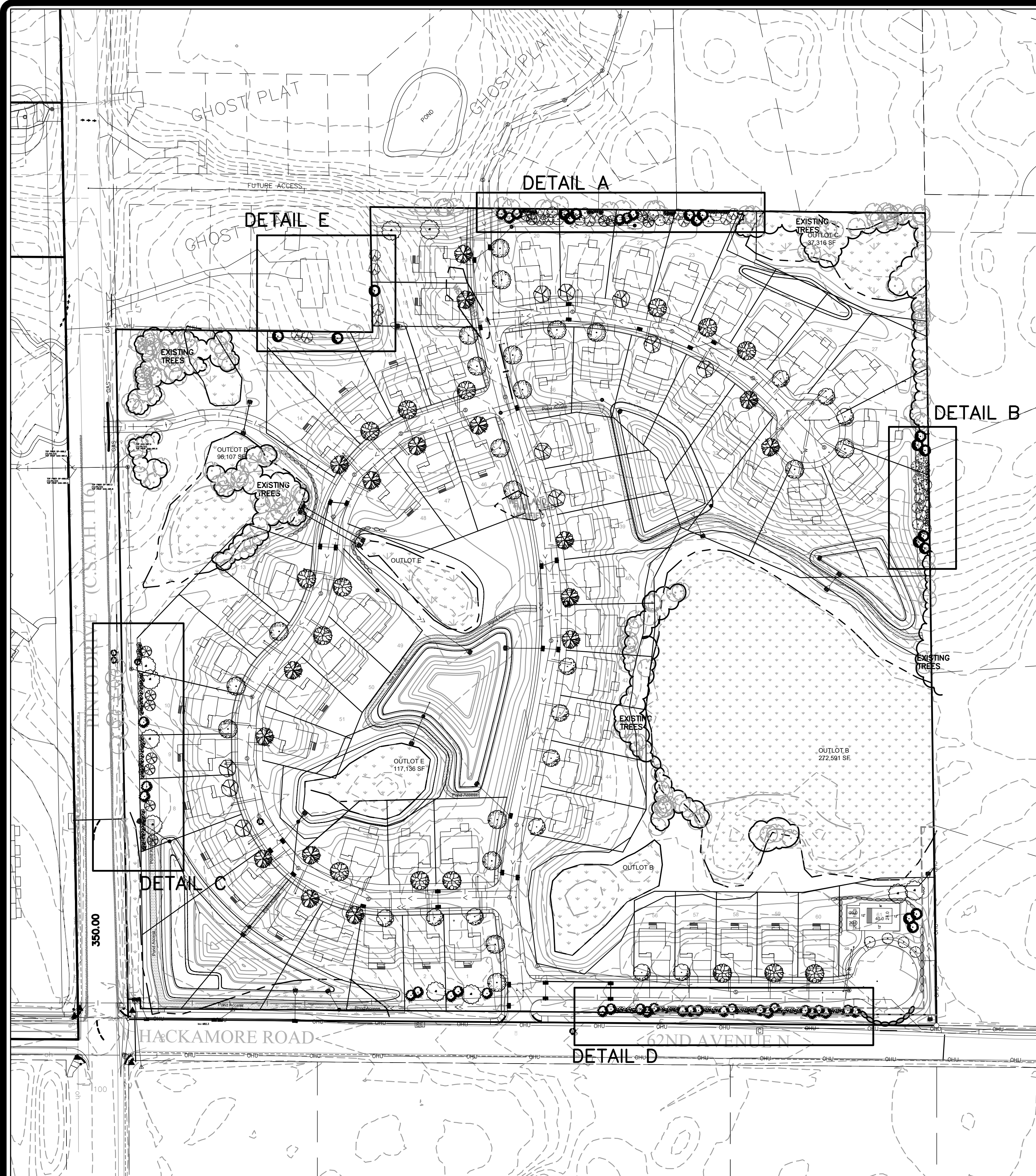
FILE NO.
3120-068
TS2

Tree #	Species	DBH	Saved	Removed	Exempt
1	Honeylocust	20.5	20.5		
2	Maple, sugar	26.5	26.5		
3	Oak, bur	31.5	31.5		
4	Crabapple	10.0	10.0		
5	Maple, sugar	17.0	17.0		
6	Honeylocust	15.5	15.5		
7	Oak, bur	31.0	31.0		
8	Ash, green	17.0	17.0		
9	Willow	18.5	18.5		
10	Aspen	9.5	9.5		
11	Willow	70.0			70.0
12	Aspen	9.0			9.0
13	Aspen	8.0	8.0		
14	Aspen	8.0	8.0		
15	Aspen	9.5	9.5		
16	Hickory, bitternut	24.0	24.0		
17	Elm, Siberian	11.5	11.5		
18	Maple, sugar	38.0	38.0		
19	Oak, white	37.0	37.0		
20	Maple, sugar	28.0	28.0		
21	Maple, sugar	24.5	24.5		
22	Maple, sugar	32.5	32.5		
23	Ash, green	10.0	10.0		
24	Elm, American	16.0	16.0		
25	Crabapple	25.0	25.0		
26	Boxelder	13.5	13.5		
42	Maple, sugar	29.0	29.0		
43	Ash, green	9.5	9.5		
44	Ash, green	8.5	8.5		
45	Ash, green	19.0	19.0		
46	Boxelder	11.5	11.5		
47	Willow	22.0	22.0		
48	Willow	26.0	26.0		
49	Willow	22.0	22.0		
50	Willow	13.5	13.5		
51	Elm, American	18.0	18.0		
52	Willow	40.0	40.0		
53	Ash, green	8.0	8.0		
54	Ash, green	21.0	21.0		
55	Arborvitae	27.0	27.0		
56	Arborvitae	35.0	35.0		
57	Boxelder	34.0	34.0		
58	Willow	40.0	40.0		
59	Willow	56.0	56.0		
60	Ash, green	9.0	9.0		
61	Ash, green	10.5	10.5		
62	Ash, green	12.5	12.5		
63	Ash, green	9.0	9.0		
64	Ash, green	9.0	9.0		
65	Elm, American	14.5	14.5		
66	Ash, green	9.5	9.5		
67	Elm, American	21.0	21.0		
68	Cherry, black	8.5		8.5	
69	Cherry, black	9.0	9.0		
70	Cherry, black	10.0			10.0
71	Cherry, black	8.0	8.0		
72	Ash, green	10.5	10.5		
73	Ash, green	8.0	8.0		
74	Boxelder	38.0	38.0		
75	Ash, green	8.0	8.0		
76	Boxelder	9.0	9.0		
77	Boxelder	8.0	8.0		
78	Boxelder	8.5	8.5		
79	Boxelder	9.0	9.0		
80	Willow	47.0	47.0		
81	Willow	36.0	36.0		
82	Willow	40.0	40.0		
83	Willow	23.0	23.0		
84	Willow	17.0	17.0		
85	Boxelder	12.0	12.0		
86	Willow	25.0	25.0		
87	Willow	22.0	22.0		
88	Willow	43.0	43.0		
89	Willow	15.0	15.0		
90	Willow	40.0	40.0		
91	Willow	14.0	14.0		
92	Willow	20.0	20.0		
93	Willow	30.0	30.0		
94	Maple, silver	21.0	21.0		
95	Maple, silver	19.0	19.0		
96	Oak, bur	36.0		36.0	
97	Maple, silver	28.0	28.0		
98	Maple, silver	40.5	40.5		
99	Maple, silver	39.0	39.0		
100	Willow	16.5	16.5		

Tree #	Species	DBH	Saved	Removed	Exempt
101	Cherry, black	15.0		15.0	
102	Crabapple	10.0		10.0	
103	Ash, green	11.5	11.5		
104	Ash, green	8.0	8.0		
105	Cherry, black	8.0	8.0		
106	Ash, green	10.0	10.0		
107	Ash, green	8.5	8.5		
108	Ash, green	10.5	10.5		
109	Aspen	12.0			12.0
110	Aspen	13.5			13.5
111	Aspen	12.0			12.0
112	Aspen	12.5			12.5
113	Aspen	13.0	13.0		
114	Ash, green	8.0	8.0		
115	Aspen	10.0	10.0		
116	Elm, red	9.0	9.0		
117	Ash, green	8.0	8.0		
118	Cherry, black	8.0	8.0		
119	Cherry, black	11.0	11.0		
120	Ash, green	8.5	8.5		
121	Elm, American	14.0	14.0		
122	Elm, American	8.5	8.5		
123	Ash, green	8.5	8.5		
124	Ash, green	8.0	8.0		
125	Ash, green	10.0	10.0		
126	Ash, green	11.0	11.0		
127	Ash, green	11.5	11.5		
128	Ash, green	14.5	14.5		
129	Ash, green	12.5	12.5		
130	Ash, green	13.0	13.0		
131	Ash, green	10.5	10.5		
132	Ash, green	20.0	20.0		
133	Ash, green	8.5	8.5		
134	Ash, green	17.0	17.0		
135	Ash, green	12.0	12.0		
136	Ash, green	9.0	9.0		
137	Ash, green	8.5	8.5		
138	Ash, green	9.0	9.0		
139	Ash, green	10.0	10.0		
140	Ash, green	15.0	15.0		
141	Ash, green	11.0	11.0		
142	Ash, green	10.0	10.0		
143	Ash, green	8.0	8.0		
144	Ash, green	12.5	12.5		
145	Ash, green	10.0	10.0		
146	Ash, green	8.5	8.5		
147	Ash, green	10.5	10.5		
148	Ash, green	10.0	10.0		
149	Ash, green	13.5	13.5		
150	Ash, green	16.5	16.5		
151	Boxelder	14.5	14.5		
152	Cherry, black	38.0	38.0		
153	Cherry, black	13.5	13.5		
154	Boxelder	45.0	45.0		
155	Ash, green	11.5	11.5		
156	Cherry, black	11.0	11.0		
157	Ash, green	17.0	17.0		
158	Elm, American	8.5	8.5		
159	Ash, green	20.5	20.5		
160	Ash, green	9.5	9.5		
161	Elm, American	14.5	14.5		
162	Ash, green	14.5	14.5		
163	Basswood	52.0	52.0		
164	Ash, green	9.0	9.0		
165	Ash, green	10.0	10.0		
166	Ash, green	10.0			10.0
167	Elm, American	8.5			8.5
168	Ash, green	14.0	14.0		
169	Ash, green	16.0			16.0
170	Ash, green	12.0			12.0
171	Ash, green	13.0			13.0
172	Ash, green	10.5			10.5
173	Ash, green	27.0	27.0		
174	Ash, green	29.0			29.0
175	Ash, green	12.0			12.0
176	Crabapple	10.5			10.5
177	Ash, green	28.0			28.0
178	Boxelder	13.5			13.5
179	Spruce, white	12.0	12.0		
180	Ash, green	8.0	8.0		
181	Ash, green	8.0	8.0		
182	Ash, green	11.0	11.0		
183	Ash, green	9.0	9.0		
184	Ash, green	12.0	12.0		
185	Ash, green	8.0	8.0		

Tree #	Species	DBH	Saved	Removed	Exempt
186	Aspen	15.0	15.0		
187	Ash, green	8.5	8.5		
188	Ash, green	9.5	9.5		
189	Oak, red	13.0	13.0		
190	Aspen	14.0	14.0		
191	Aspen	16.0	16.0		
192	Aspen	16.0	16.0		
193	Aspen	14.0	14.0		
194	Aspen	11.0	11.0		
195	Aspen	9.0	9.0		
196	Aspen	14.0	14.0		
197	Aspen	12.0	12.0		
198	Basswood	26.0	26.0		
199	Aspen	13.0	13.0		
200	Aspen	14.0	14.0		
201	Oak, red	15.0	15.0		
202	Oak, red	9.5	9.5		
203	Aspen	12.0	12.0		
204	Aspen	14.5	14.5		
205	Aspen	27.0	27.0		
206	Aspen	13.0	13.0		
207	Aspen	21.5	21.5		
208	Aspen	11.0	11.0		
209	Aspen	15.0	15.0		
210	Aspen	22.0	22.0		
211	Aspen	20.0	20.0		
212	Aspen	15.0	15.0		
213	Ironwood	11.0	11.0		
214	Elm, American	10.5	10.5		
215	Aspen	22.0	22.0		
216	Spruce, blue	10.0	10.0		
217	Spruce, blue	14.0	14.0		
218	Spruce, blue	9.5	9.5		
219	Spruce, blue	9.5	9.5		
220	Spruce, blue	10.0	10.0		
221	Elm, American	10.0	10.0		
222	Elm, American	17.5	17.5		
223	Spruce, blue	11.0	11.0		
224	Spruce, blue	8.0	8.0		
225	Cherry, black	14.5	14.5		
226	Crabapple	15.0	15.0		
227	Oak, bur	8.5	8.5		
228	Ash, green	8.0	8.0		
229	Ash, green	11.0	11.0		
230	Ash, green	10.5	10.5		
231	Ash, green	10.0	10.0		
232	Ash, green	9.0	9.0		
233	Ash, green	9.0	9.0		
234	Ash, green	10.0	10.0		
235	Ash, green	10.0	10.0		
236	Ash, green	8.5	8.5		
237	Ash, green	14.0	14.0		
238	Ash, green	8.0	8.0		
239	Ash, green	9.0	9.0		
240	Ash, green	14.0			14.0
241	Ash, green	8.0			8.0
242	Oak, bur	28.0			28.0
243	Ash, green	8.0	8.0		
244	Ash, green	9.0	9.0		
245	Ash, green	8.0	8.0		
246	Oak, bur	24.5			24.5
247	Cottonwood	9.0	9.0		
248	Cottonwood	20.0	20.0		
249	Ash, green	8.5	8.5		
250	Ash, green	8.0	8.0		
251	Ash, green	9.0	9.0		
252	Ash, green	8.5	8.5		
253	Ash, green	10.5	10.5		
254	Willow	19.5	19.5		
255	Willow	26.0	26.0		
256	Ash, green	16.0	16.0		
257	Elm, American	12.5	12.5		
258	Ash, green	14.0	14.0		
259	Elm, American	14.0	14.0		
260	Ash, green	8.0	8.0		
261	Ash, green	8.0	8.0		
262	Ash, green	8.5	8.5		
263	Ash, green	9.0			9.0
264	Ash, green	9.5			9.5
265	Ash, green	11.5			11.5
266	Cherry, black	16.0			16.0
267	Elm, American	9.0			9.0
268	Ash, green	8.5			8.5
269	Ash, green	9.0	9.0		
270	Ash, green	18.0	18.0		

Tree #	Species	DBH	Saved	Removed	Exempt
271	Ash, green	10.5	10.5		
272	Ash, green	10.0	10.0		
273	Ash, green	17.5	17.5		
274	Ash, green	8.5	8.5		
275	Ash, green	12.5	12.5		
276	Ash, green				



CITY LANDSCAPE REQUIREMENTS

ONE TREE/DWELLING UNIT (60 LOTS): 60 TREES

BUFFER REQUIREMENTS:

- LANDSCAPE BUFFER ALONG COUNTY ROAD 116 (FOR SETBACK REDUCTION AREAS):
A MINIMUM OF 1 OVERSTORY TREE, 1 CONIFEROUS TREE, 2 ORNAMENTAL TREES,
AND 10 SHRUBS PER 100'
350 LF OF BUFFER PROPOSED ALONG COUNTY ROAD 116
REQUIRED TREES:
3.5 OVERSTORY TREE
3.5 CONIFER TREE
7 UNDERSTORY TREES
35 SHRUBS
- LANDSCAPE BUFFER B* ALONG NORTH (500') AND EAST (200') PROPERTY LINES
A 20' WIDE BUFFER REQUIRES 6 UNDERSTORY, 3 OVERSTORY, AND 9 SHRUBS PER
100 LINEAR FEET:
42 UNDERSTORY (30 ALONG NORTH, 12 ALONG EAST)
21 OVERSTORY (15 ALONG NORTH, 6 ALONG EAST)
63 SHRUBS (45 ALONG NORTH, 18 ALONG EAST)
- LANDSCAPE BUFFER A ALONG SOUTH AND EAST BOUNDARY (300') OF EXCEPTION
PROPERTY IN THE NORTHWEST CORNER. A 10' WIDE BUFFER REQUIRES 2
UNDERSTORY AND 1 OVERSTORY PER 100 LINEAR FEET:
6 UNDERSTORY
3 OVERSTORY

*NOTE TO CONTRACTOR: THESE BUFFER QUANTITIES ARE REQUIRED BY CITY ORDINANCE AND IT SHOULD BE NOTED THEY ARE NOT RECOMMENDED BY THE LANDSCAPE ARCHITECT. THE QUANTITY AND SPACING MAY BE IN CONFLICT WITH BEST MANAGEMENT PRACTICES (BMP'S).

- LANDSCAPE BUFFER A ALONG SOUTH AND EAST BOUNDARY (300') OF EXCEPTION
PROPERTY IN THE NORTHWEST CORNER. A 10' WIDE BUFFER REQUIRES 2
UNDERSTORY AND 1 OVERSTORY PER 100 LINEAR FEET:
6 UNDERSTORY
3 OVERSTORY

TOTAL REQUIRED TREES: 137
OVERSTORY (CONIFER AND DECIDUOUS): 88
UNDERSTORY: 49
TOTAL REQUIRED SHRUBS: 89

TOTAL PROPOSED TREES: 188
OVERSTORY: 84
CONIFER: 51
UNDERSTORY: 53
TOTAL PROPOSED SHRUBS: 121

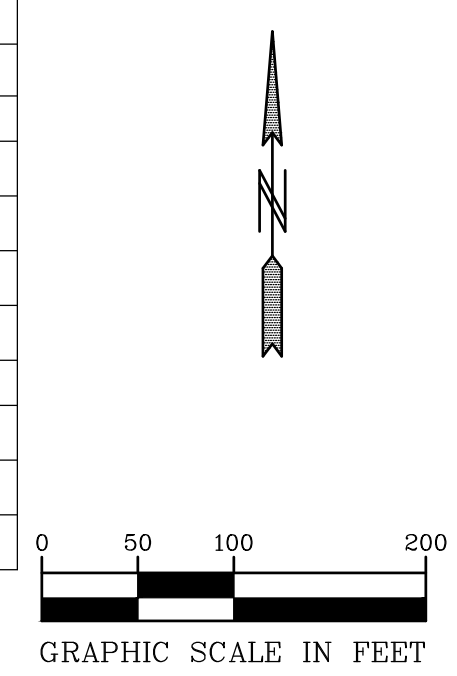
TREE LOCATIONS MAY BE ADJUSTED TO TO ACCOMMODATE FINAL HOME DESIGNS AND DRIVEWAY LOCATIONS.

IRRIGATION AND LANDSCAPING MAINTENANCE IS THE RESPONSIBILITY OF THE HOA INCLUDING CUL DE SAC ISLANDS, COMMON AREAS, SIDEWALKS, AND WETLAND/POND BUFFER AREAS WHERE APPLICABLE.

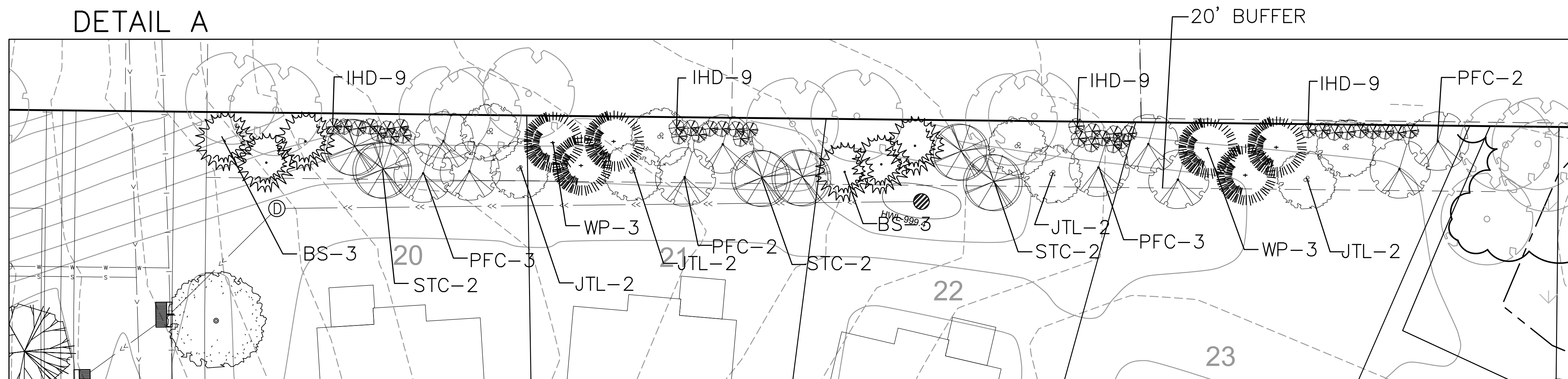
PLANT SCHEDULE

KEY	COMMON NAME/Scientific name	ROOT	TOTAL	DETAIL A	DETAIL B	DETAIL C	DETAIL D	DETAIL E	YARD&STREET TREES
OVERSTORY TREES									
	NORTHWOODS RED MAPLE/Acer rubrum 'Northwoods'	2.5" B&B	15	--	--	--	--	--	15
	AUTUMN BLAZE MAPLE/Acer x freemanii 'Jeffersred'	2.5" B&B	19	--	--	--	--	--	19
RB	HERITAGE RIVER BIRCH/Betula nigra 'Cully'	12" B&B	11	--	--	4	--	--	7
	SENTRY LINDEN/Tilia americana 'Sentry'	2.5" B&B	12	--	--	--	--	--	12
	HONEYLOCUST/Gleditsia triacanthos var. enermis	2.5" B&B	10	--	--	--	--	--	10
	NORTHERN PIN OAK/Quercus ellipsoildalis	2.5" B&B	17	--	--	--	--	--	17
EVERGREEN TREES									
BHS	BLACK HILLS SPRUCE/Picea glauca densata	6' B&B	33	6	--	3	19	--	5
WP	WHITE PINE/Pinus strobus	6' B&B	18	6	6	--	--	3	3
ORNAMENTAL TREES									
JTL	JAPANESE TREE LILAC/Syringa reticulata	8' B&B	14	8	2	--	--	--	4
STC	SUGAR TYME CRAB/Malus 'Sugar Tyme'	1.5" B&B	13	6	--	7	--	--	--
PFC	PRAIRIEFIRE CRAB/Malus 'Prairiefire'	1.5" B&B	20	10	4	--	--	6	--
SB	SERVICEBERRY/Amelanchier laevis	8' B&B	6	--	6	--	--	--	--
SHRUBS									
RTD	RED TWIGGED DOGWOOD/Cornus baileyi	#5 POT	67	--	--	35	32	--	--
CL	COMMON LILAC/Syringa vulgaris	#5 POT	18	--	18	--	--	--	--
IHD	IVORY HALO DOGWOOD/Cornus alba 'Bailhato'	#5 POT	36	36	--	--	--	--	--

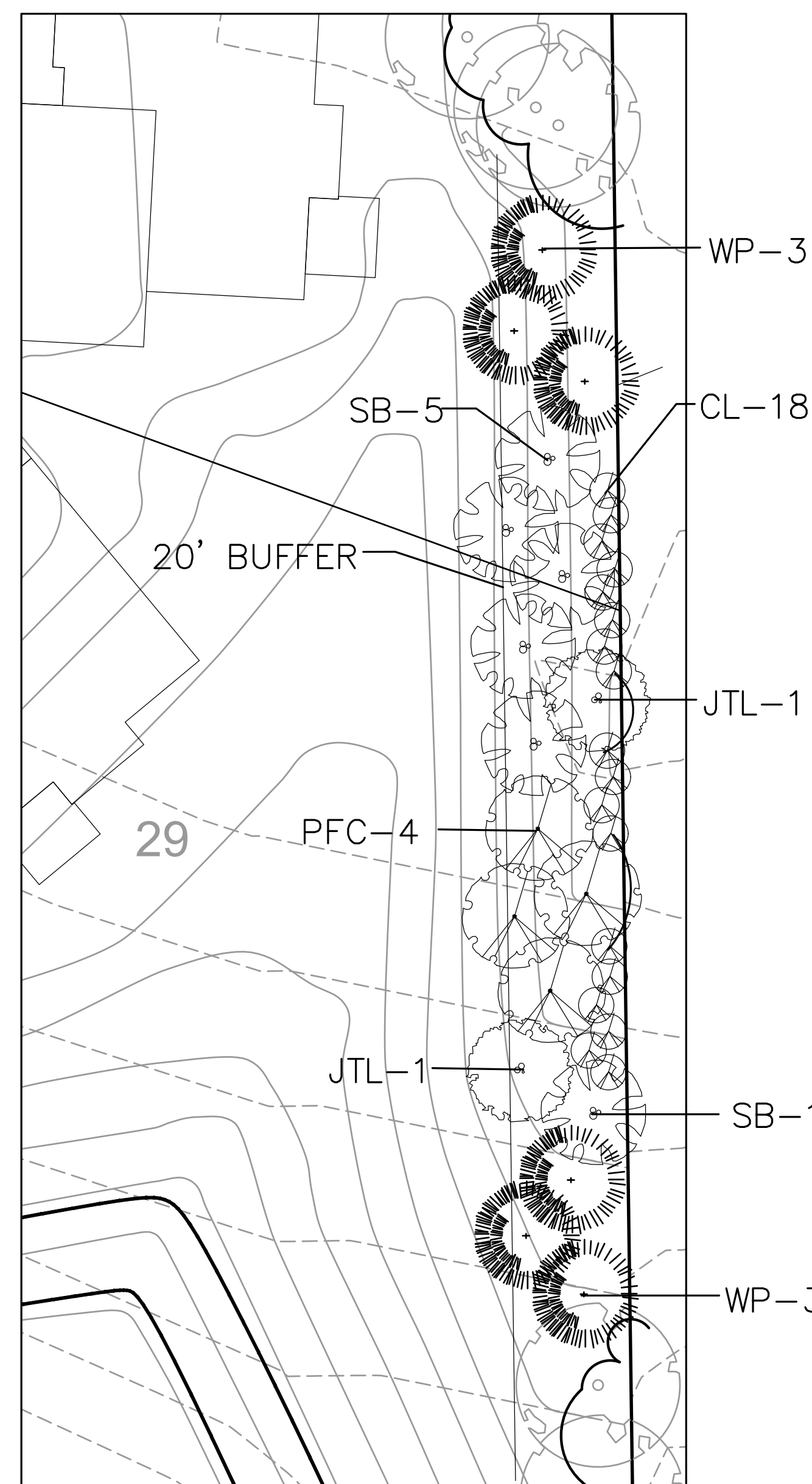
EXISTING LOCATED SIGNIFICANT TREES TO BE SAVED



DETAIL A

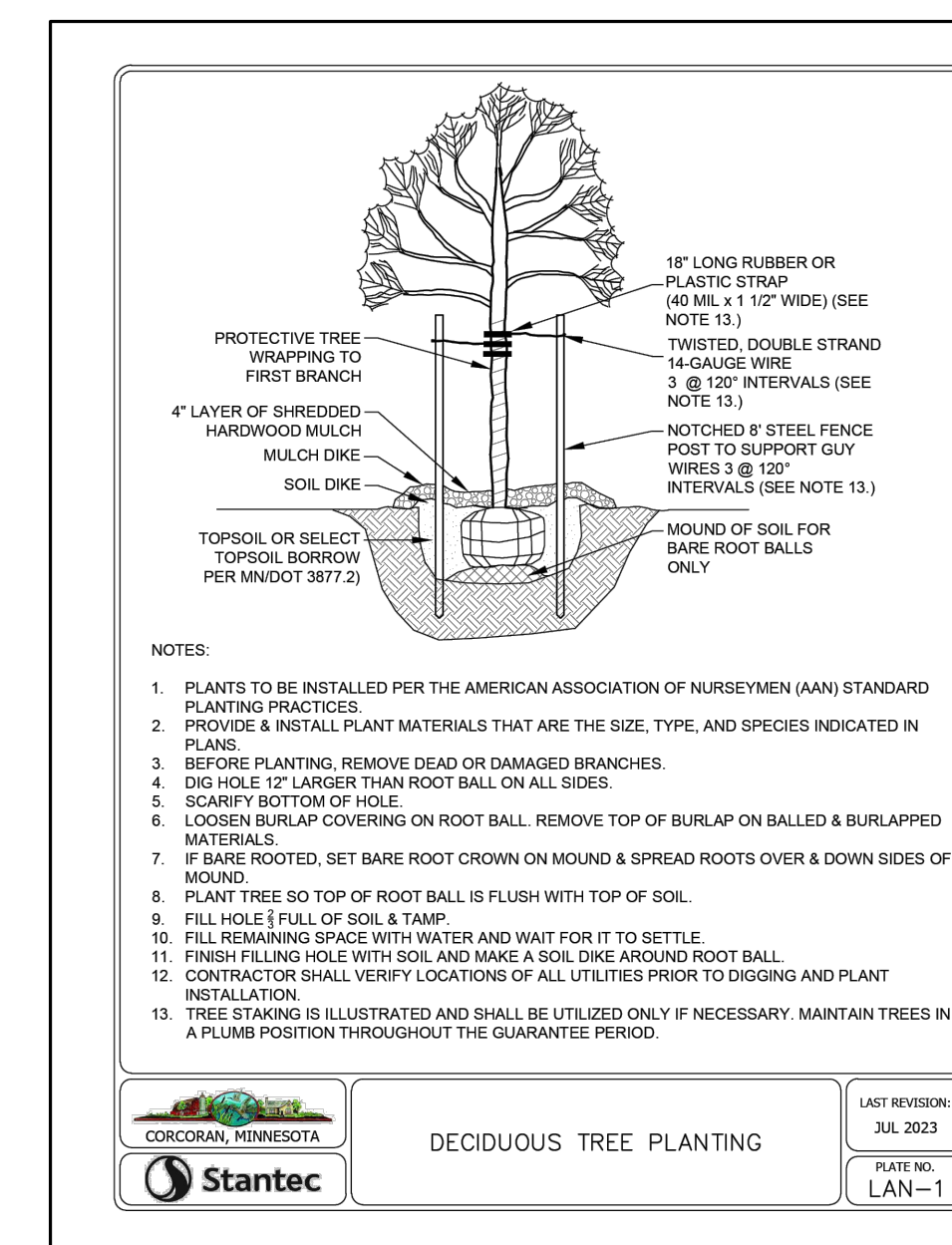
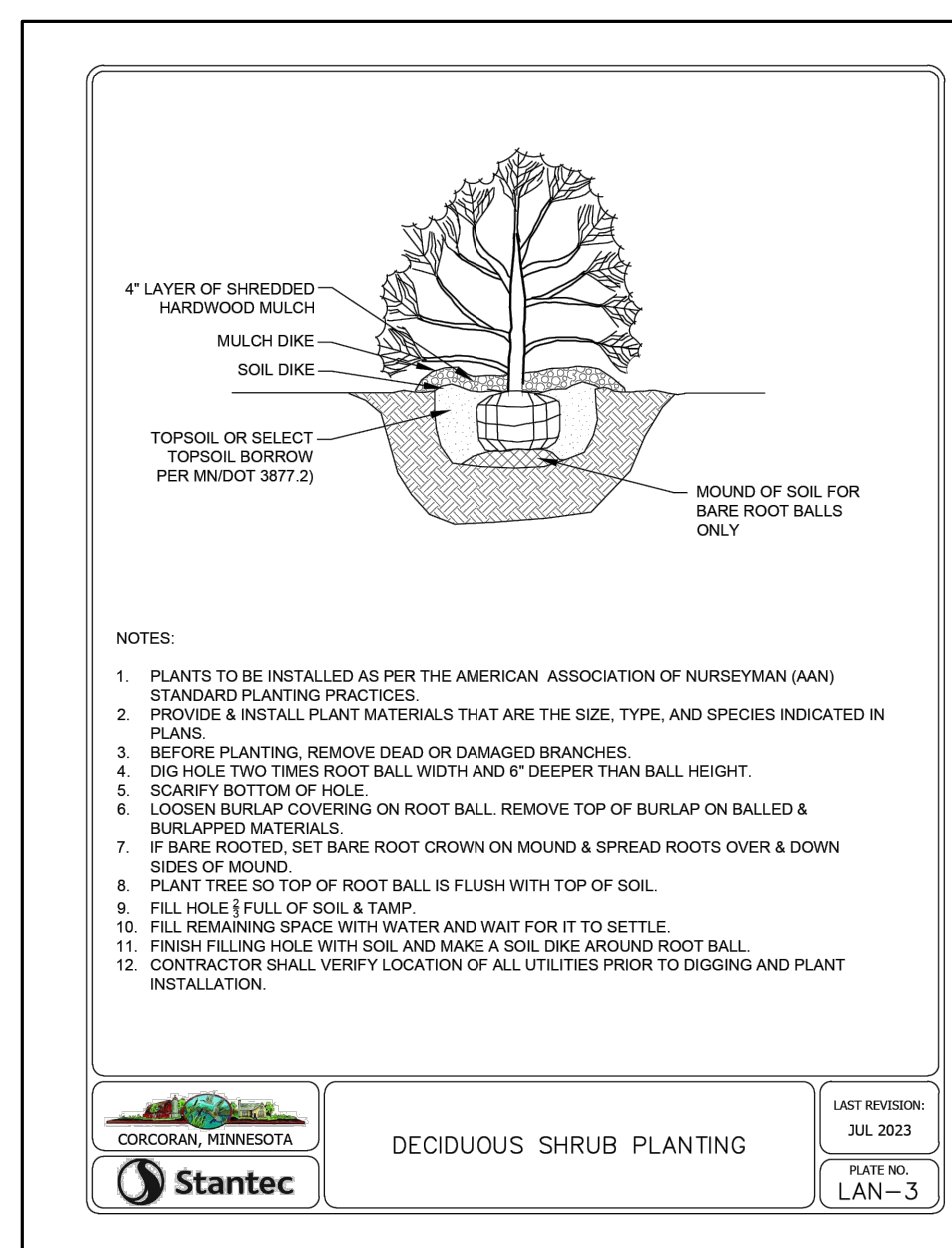
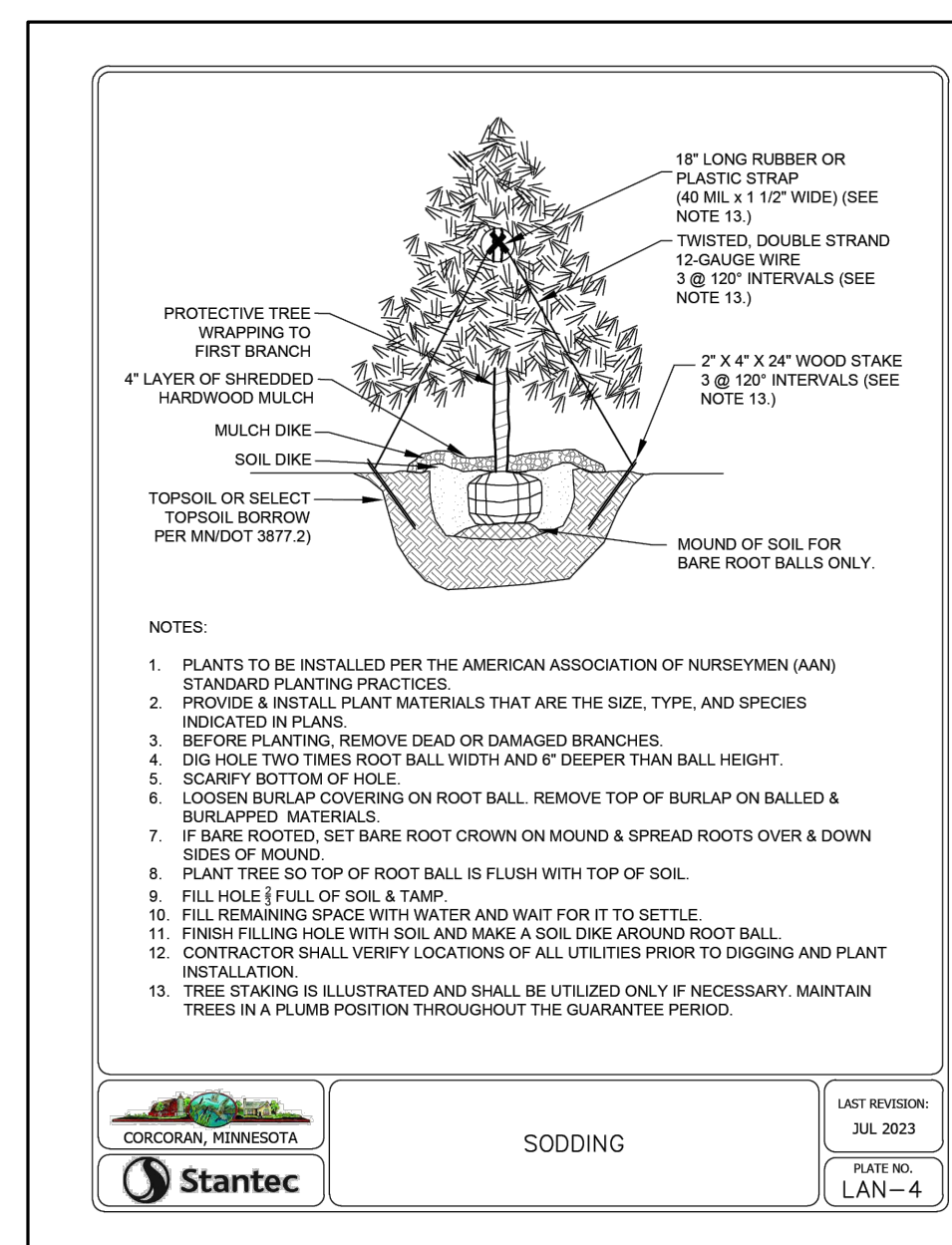


DETAIL B



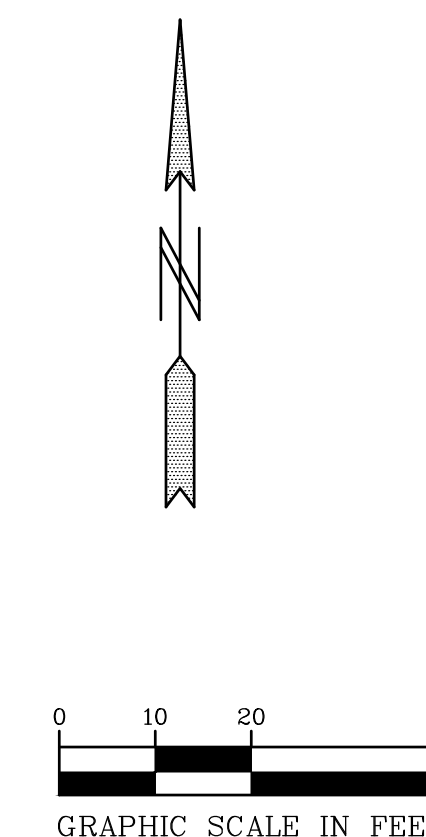
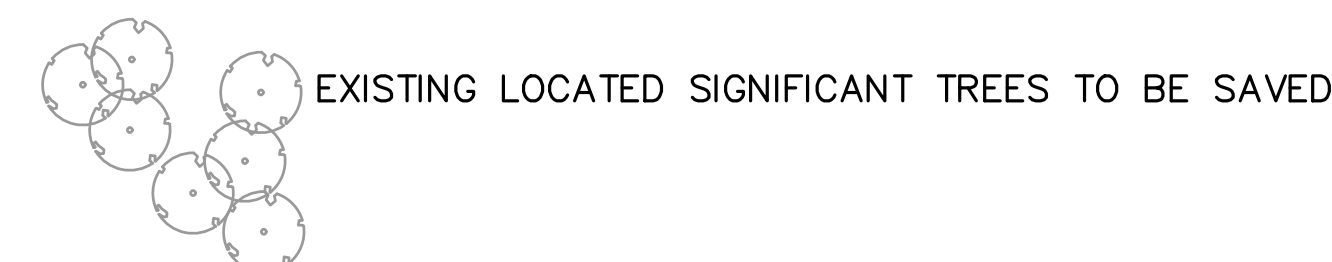
LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH GOPHER STATE ONE CALL 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSEYMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROPERLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

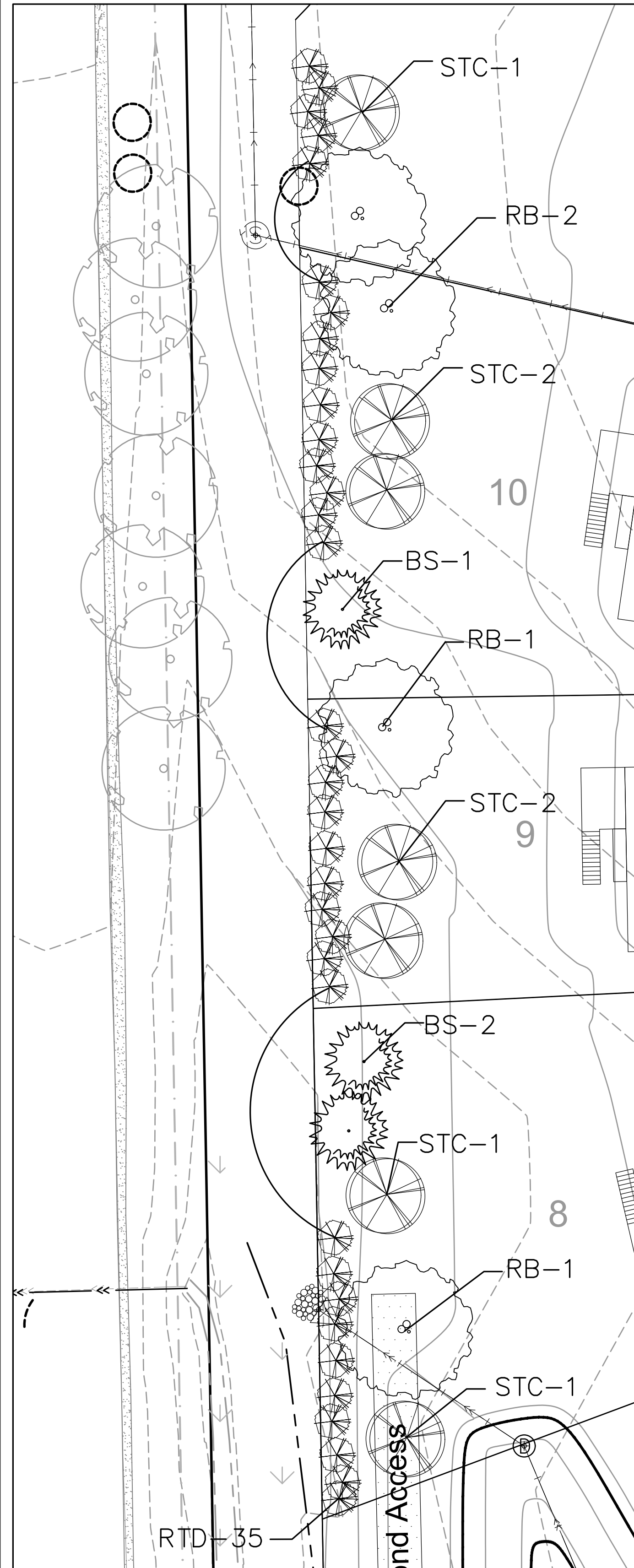


		PLANT SCHEDULE								
KEY	COMMON NAME/Scientific name	ROOT	TOTAL	DETAIL A	DETAIL B	DETAIL C	DETAIL D	DETAIL E	YARD&STREET TREES	
OVERSTORY TREES										
	NORTHWOODS RED MAPLE/Acer rubrum 'Northwoods'	2.5" B&B	15	--	--	--	--	--	15	
	AUTUMN BLAZE MAPLE/Acer x freemanii 'Jeffersred'	2.5" B&B	19	--	--	--	--	--	19	
RB	HERITAGE RIVER BIRCH/Betula nigra 'Cully'	12" B&B	11	--	--	4	--	--	7	
	SENTRY LINDEN/Tilia americana 'Sentry'	2.5" B&B	12	--	--	--	--	--	12	
	HONEYLOCUST/Gleditsia triacanthos var. enermis	2.5" B&B	10	--	--	--	--	--	10	
	NORTHERN PIN OAK/Quercus ellipsoidalis	2.5" B&B	17	--	--	--	--	--	17	
EVERGREEN TREES										
BHS	BLACK HILLS SPRUCE/Picea glauca densata	6" B&B	33	6	--	3	19	--	5	
WP	WHITE PINE/Pinus strobus	6" B&B	18	6	6	--	--	3	3	
ORNAMENTAL TREES										
JTL	JAPANESE TREE LILAC/Syringa reticulata	8" B&B	14	8	2	--	--	--	4	
STC	SUGAR TYME CRAB/Malus 'Sugar Tyme'	1.5" B&B	13	6	--	7	--	--	--	
PFC	PRAIRIEFIRE CRAB/Malus 'Prairiefire'	1.5" B&B	20	10	4	--	--	6	--	
SB	SERVICEBERRY/Amelanchier laevis	8" B&B	6	--	6	--	--	--	--	
SHRUBS										
RTD	RED TWIGGED DOGWOOD/Cornus baileyi	#5 POT	67	--	--	35	32	--	--	
CL	COMMON LILAC/Syringa vulgaris	#5 POT	18	--	18	--	--	--	--	
IHD	IVORY HALO DOGWOOD/Cornus alba 'Bailhalo'	#5 POT	36	36	--	--	--	--	--	

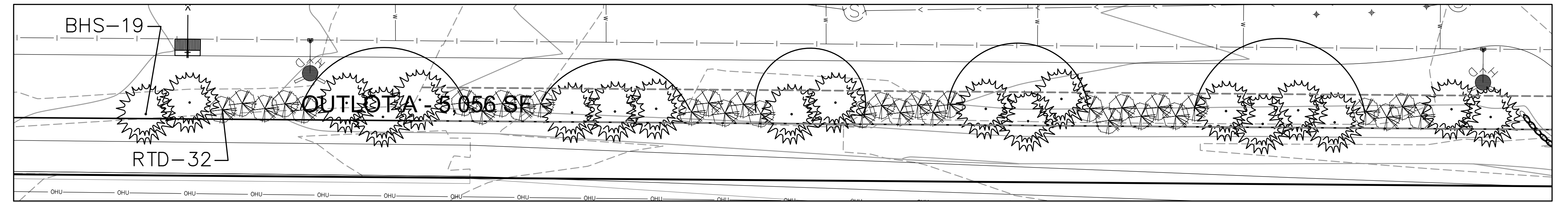
NOTES:
SHRUB BEDS IN BUFFER AREAS TO BE MULCHED WITH SHREDDED HARDWOOD TO A DEPTH OF 3"
NO WEED BARRIER USED IN SHRUB BEDS
NO EDGER AROUND BUFFER SHRUB BEDS



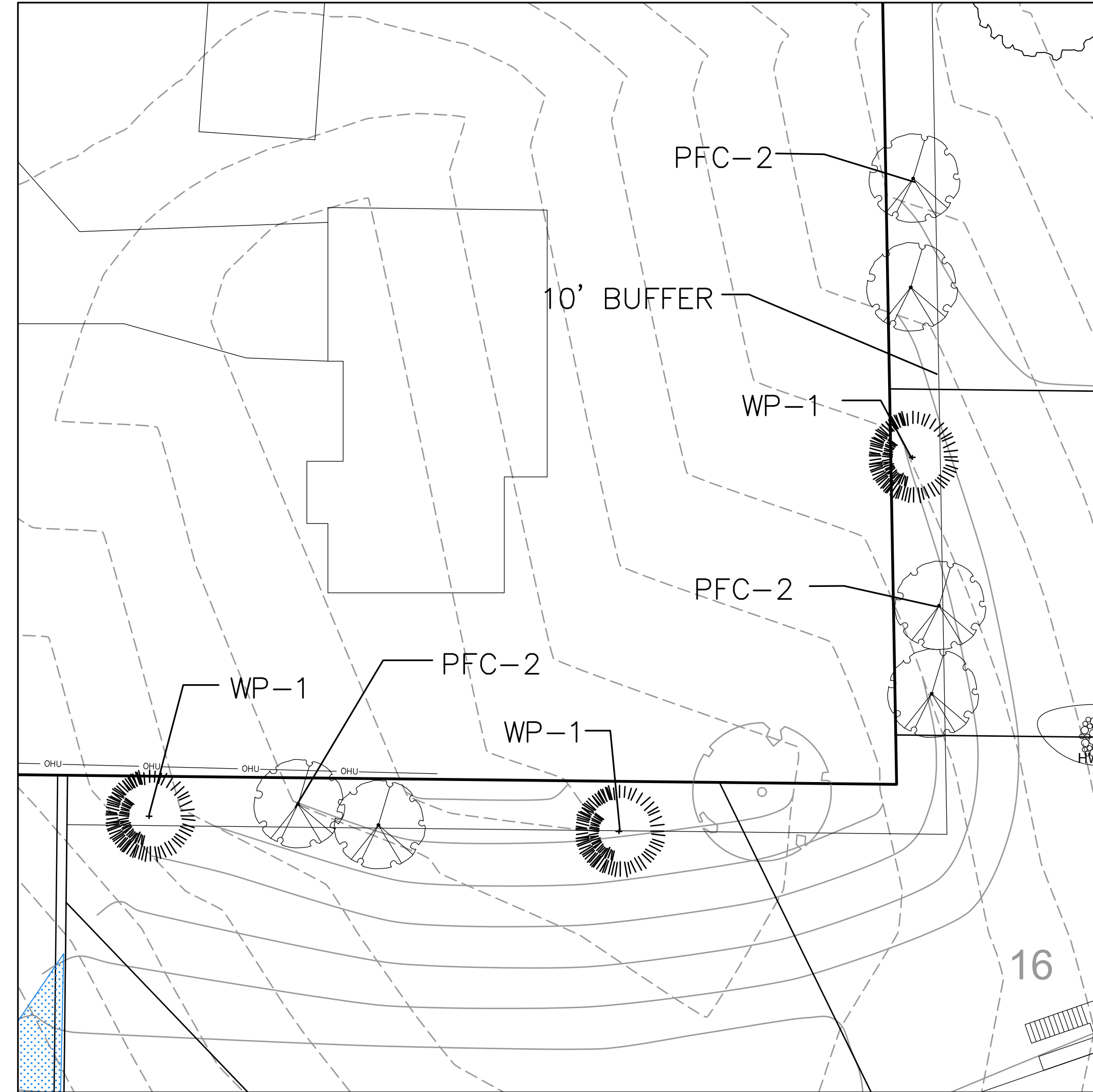
DETAIL C



DETAIL D



DETAIL E



PLANT SCHEDULE										
KEY	COMMON NAME/Scientific name	ROOT	TOTAL	DETAIL A	DETAIL B	DETAIL C	DETAIL D	DETAIL E	YARD&STREET	TREES
OVERSTORY TREES										
	NORTHWOODS RED MAPLE/Acer rubrum 'Northwoods'	2.5" B&B	15	--	--	--	--	--	--	15
	AUTUMN BLAZE MAPLE/Acer x freemanii 'Jeffersred'	2.5" B&B	19	--	--	--	--	--	--	19
RB	HERITAGE RIVER BIRCH/Betula nigra 'Cully'	12" B&B	11	--	--	4	--	--	--	7
	SENTRY LINDEN/Tilia americana 'Sentry'	2.5" B&B	12	--	--	--	--	--	--	12
	HONEYLOCUST/Gleditsia triacanthos var. enermis	2.5" B&B	10	--	--	--	--	--	--	10
	NORTHERN PIN OAK/Quercus ellipsoidalis	2.5" B&B	17	--	--	--	--	--	--	17
EVERGREEN TREES										
BHS	BLACK HILLS SPRUCE/Picea glauca densata	6' B&B	33	6	--	3	19	--	--	5
WP	WHITE PINE/Pinus strobus	6' B&B	18	6	6	--	--	3	3	3
ORNAMENTAL TREES										
JTL	JAPANESE TREE LILAC/Syringa reticulata	8' B&B	14	8	2	--	--	--	--	4
STC	SUGAR TYME CRAB/Malus 'Sugar Tyme'	1.5" B&B	13	6	--	7	--	--	--	--
PFC	PRAIRIEFIRE CRAB/Malus 'Prairiefire'	1.5" B&B	20	10	4	--	--	6	--	--
SB	SERVICEBERRY/Amelanchier laevis	8' B&B	6	--	6	--	--	--	--	--
SHRUBS										
RTD	RED TWIGGED DOGWOOD/Cornus baileyi	#5 POT	67	--	--	35	32	--	--	--
CL	COMMON LILAC/Syringa vulgaris	#5 POT	18	--	18	--	--	--	--	--
IHD	IVORY HALO DOGWOOD/Cornus alba 'Bailhalo'	#5 POT	36	36	--	--	--	--	--	--

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH CORNER STATE ONE CALL 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERYMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

NOTES:
 SHRUB BEDS IN BUFFER AREAS TO BE MULCHED WITH SHREDDED HARDWOOD TO A DEPTH OF 3"
 NO WEED BARRIER USED IN SHRUB BEDS
 NO EDGER AROUND BUFFER SHRUB BEDS
 SEE SHEET L2 FOR PLANTING DETAILS



2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Name: *Amber L. Thompson*
 Reg. No.: 44765
 Date: 2-13-2024

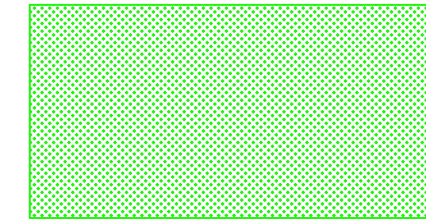
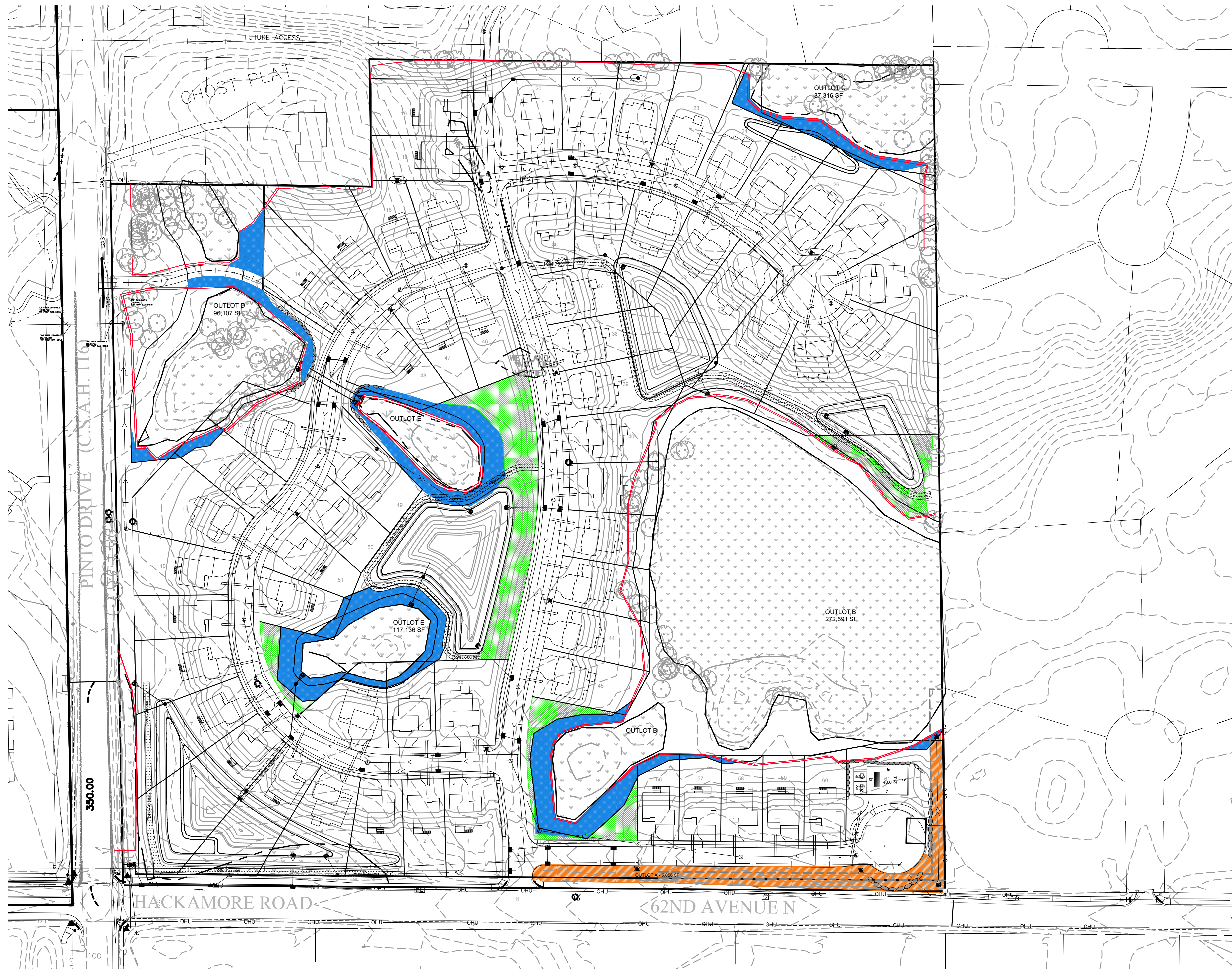
Revisions:
 10-10-2023 site plan revisions
 1-25-2024 buffer ordinance
 2-13-2024 site plan revisions

Date: 9-13-2023
 Designed: JLT
 Drawn: JLT

LANDSCAPE PLAN

GONYEA COMPANY

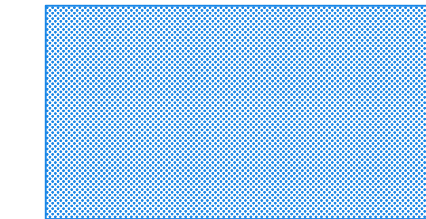
WOODLAND HILLS OF CORCORAN
 CORCORAN, MINNESOTA



NATIVE DRY PRAIRIE SOUTHEAST
(STATE SEED MIX 35-621 FORMERLY U6)

35-621		Dry Prairie Southeast				
Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/ sq ft	
side-oats grama	<i>Bouteloua curtipendula</i>	1.27	1.13	10.23%	2.48	
blue grama	<i>Bouteloua gracilis</i>	0.76	0.68	6.19%	10.00	
kalm's brome	<i>Bromus kalmii</i>	0.35	0.31	2.78%	0.90	
nodding wild rye	<i>Elymus canadensis</i>	1.88	1.50	13.61%	2.86	
slender wheatgrass	<i>Elymus trachycaulus</i>	1.32	1.18	10.76%	3.00	
junegrass	<i>Koeleria macrantha</i>	0.46	0.41	3.71%	30.00	
little bluestem	<i>Schizachyrium scoparium</i>	1.89	1.51	13.70%	3.30	
sand dropseed	<i>Sporobolus cryptandrus</i>	0.25	0.22	1.98%	16.00	
prairie dropseed	<i>Sporobolus heterolepis</i>	0.29	0.26	2.32%	1.50	
Total Grasses		8.07	7.20	65.28%	75.04	
butterfly milkweed	<i>Asclepias tuberosa</i>	0.07	0.06	0.52%	0.09	
whorled milkweed	<i>Asclepias verticillata</i>	0.01	0.01	0.11%	0.05	
bird's foot coreopsis	<i>Coreopsis palmata</i>	0.06	0.05	0.50%	0.20	
white prairie clover	<i>Dalea candida</i>	0.10	0.09	0.78%	0.60	
purple prairie clover	<i>Dalea purpurea</i>	0.07	0.15	1.32%	0.80	
cat's eye	<i>Helicopsis helianthoides</i>	0.17	0.08	0.51%	0.13	
round-headed bush clover	<i>Lespedeza capitata</i>	0.03	0.03	0.31%	0.10	
rough blazing star	<i>Liatris aspera</i>	0.02	0.02	0.17%	0.11	
dotted blazing star	<i>Liatris punctata</i>	0.02	0.02	0.23%	0.06	
wild bergamot	<i>Monarda fistulosa</i>	0.03	0.03	0.30%	0.85	
horsemint	<i>Monarda punctata</i>	0.02	0.02	0.22%	0.80	
stiff goldenrod	<i>Oligoneuron rigidum</i>	0.07	0.06	0.59%	0.98	
large-flowered beard tongue	<i>Penstemon grandiflorus</i>	0.04	0.04	0.35%	0.20	
black-eyed susan	<i>Rudbeckia hirta</i>	0.10	0.09	0.86%	3.20	
gray goldenrod	<i>Solidago nemoralis</i>	0.01	0.01	0.14%	1.65	
skyblue aster	<i>Symphoricarum colontangense</i>	0.01	0.01	0.06%	0.20	
silky aster	<i>Symphoricarum sericeum</i>	0.02	0.02	0.19%	0.20	
bracted spiderwort	<i>Tradescantia bracteata</i>	0.01	0.01	0.12%	0.05	
heart-leaved alexanders	<i>Zizia aurea</i>	0.02	0.02	0.21%	0.10	
Total Forbs		0.90	0.80	7.49%	10.37	
Oats or winter wheat (see note at beginning of list for recommended dates)		3.36	3.00	27.23%	1.33	
Total Cover Crop		3.36	3.00	27.23%	1.33	
Totals		12.33	11.00	100.00%	86.75	

Purpose: Regional dry prairie reconstruction for wetland mitigation, ecological restoration, or conservation program plantings.
Planting Area: Eastern Broadleaf Forest Province excluding Hardwood Hills subsection. Mn/DOT Districts Metro & 6



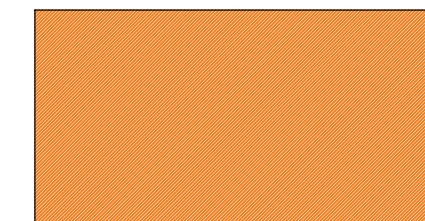
WET PRAIRIE FOR WETLAND BUFFERS
(STATE SEED MIX 34-262 FORMERLY BWSR W3)

34-262		Wet Prairie				
Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/ sq ft	
big bluestem	<i>Andropogon gerardii</i>	1.12	1.00	6.89%	3.67	
fringed brome	<i>Bromus ciliatus</i>	1.68	1.50	10.38%	6.08	
bluejoint	<i>Calamagrostis canadensis</i>	0.04	0.04	0.27%	4.00	
Virginia wild rye	<i>Elymus virginicus</i>	1.96	1.75	12.07%	2.70	
tall manna grass	<i>Glyceria grandis</i>	0.17	0.15	1.02%	3.80	
fowl manna grass	<i>Glyceria striata</i>	0.12	0.11	0.73%	3.50	
switchgrass	<i>Panicum virgatum</i>	0.84	0.75	5.16%	3.85	
fowl bluegrass	<i>Poa palustris</i>	0.22	0.20	1.38%	9.60	
Indian grass	<i>Sorghastrum nutans</i>	0.56	0.50	3.44%	2.20	
prairie cordgrass	<i>Spartina pectinata</i>	0.56	0.50	3.41%	1.20	
Total Grasses		7.29	6.50	44.76%	40.60	
wooly sedge	<i>Carex pellita</i>	0.06	0.05	0.32%	0.47	
tussock sedge	<i>Carex stricta</i>	0.02	0.02	0.17%	0.48	
fox sedge	<i>Carex vulpinoidea</i>	0.11	0.10	0.66%	3.50	
dark green bulrush	<i>Scirpus atrovirens</i>	0.11	0.10	0.72%	17.74	
woolgrass	<i>Scirpus cyperinus</i>	0.03	0.03	0.18%	16.00	
Total Sedges and Rushes		0.34	0.30	2.05%	38.19	
Canada anemone	<i>Anemone canadensis</i>	0.03	0.03	0.21%	0.09	
marsh milkweed	<i>Asclepias incarnata</i>	0.09	0.08	0.56%	0.14	
Canada tick trefoil	<i>Desmodium canadense</i>	0.56	0.50	3.41%	1.00	
flat-topped aster	<i>Doellingeria umbellata</i>	0.06	0.05	0.34%	1.20	
common boneset	<i>Eupatorium perfoliatum</i>	0.03	0.03	0.23%	2.00	
grass-leaved goldenrod	<i>Euthamia graminifolia</i>	0.02	0.02	0.11%	2.00	
spotted Joe pye weed	<i>Eutrochium maculatum</i>	0.04	0.04	0.30%	1.50	
autumn sneezeweed	<i>Helenium autumnale</i>	0.06	0.05	0.36%	2.39	
sawtooth sunflower	<i>Helianthus grosseserratus</i>	0.06	0.05	0.36%	0.30	
great blazing star	<i>Liatris pycnostachya</i>	0.02	0.02	0.17%	0.10	
great lobelia	<i>Lobelia siphilitica</i>	0.01	0.01	0.08%	1.40	
blue monkey flower	<i>Minutella zingens</i>	0.01	0.01	0.05%	6.40	
Virginia mountain mint	<i>Pycnanthemum virginianum</i>	0.09	0.08	0.55%	6.50	
red-stemmed aster	<i>Symphoricarum puniceum</i>	0.09	0.08	0.58%	2.40	
blue vervain	<i>Verbena hastata</i>	0.17	0.15	1.06%	5.25	
bunched ironweed	<i>Vernonia fasciculata</i>	0.03	0.03	0.23%	0.30	
Culver's root	<i>Veronicastrum virginicum</i>	0.02	0.02	0.14%	6.00	
golden alexanders	<i>Zizia aurea</i>	0.28	0.25	1.76%	1.03	
Total Forbs		1.68	1.50	10.45%	40.00	
Oats or winter wheat (see note at beginning of list for recommended dates)		6.95	6.20	42.74%	2.76	
Total Cover Crop		6.95	6.20	42.74%	2.76	
Totals		18.28	14.50	100.00%	121.55	

Purpose: Wet prairie reconstruction for wetland mitigation or ecological restoration.
Planting Area: Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. Mn/DOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8

WETLAND BUFFERS THAT HAVE BEEN DISTURBED ARE TO BE SEED AS SHOWN ON PLAN AT LEFT. UNDISTURBED WETLAND BUFFERS THAT HAVE NOT BEEN DISTURBED IN 10 YEARS AND ARE NOT COMPRISED OF NOXIOUS WEEDS WILL BE LEFT IN THEIR NATURAL STATE.

SILT FENCE/GRADING LIMITS



SOD (TYPICAL)

SODDED OUTLOT AREAS TO BE IRRIGATED IRRIGATION DESIGNED BY OTHERS. IRRIGATION SYSTEMS THAT ARE PROPOSED FOR THE PROJECT AREA WILL HAVE RAIN SENSORS

ALL BOULEVARDS TO BE SODDED.

LOTS WILL BE SODDED TO ADJACENT CURB LINES UNLESS OTHERWISE NOTED

3-YEAR MAINTENANCE PLAN FOR TRANSITION AREA (BETWEEN NWL AND HWL AND WETLAND BUFFERS) AND UPLAND SEEDING:

YEAR 1

- TYPE 3 BLANKET SHOULD BE USED ON SLOPES UNLESS THE AREAS ARE HYDRO SEEDING WITH A HEAVY TACKIFIER IN WHICH CASE NO BLANKET OR MULCH WILL BE NECESSARY.

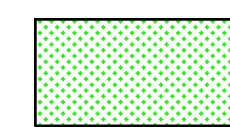
YEAR 1-3

- MOWING SHOULD OCCUR AS NECESSARY THROUGHOUT THE GROWING SEASON FOR THE FIRST 3 SEASONS TO PREVENT NOXIOUS WEEDS FROM TAKING HOLD
- WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED AS NECESSARY.
- IF THE POND AND WETLAND SEEDING ARE BECOMES SATURATED WITH ANY FREQUENCY, REED CANARY GRASS OR OTHER NOXIOUS WEEDS CAN BECOME A PROBLEM. SETHOXYDIM (OR EQUIVALENT) OR OTHER HERBICIDES WILL BE EFFECTIVE IN CONTROLLING REED CANARY GRASS AND OTHER NOXIOUS WEEDS WITHOUT HARMING SEDGES, RUSHES, AND FORBS.
- TREES AND SHRUBS SHOULD ONLY BE PRUNED IN THE EVENT OF DAMAGED OR BROKEN BRANCHES.
- INLETS MUST BE KEPT CLEAR OF DEBRIS.
- ANY DEBRIS OBSERVED IN INFILTRATION BASIN OR POND SHALL BE REMOVED.

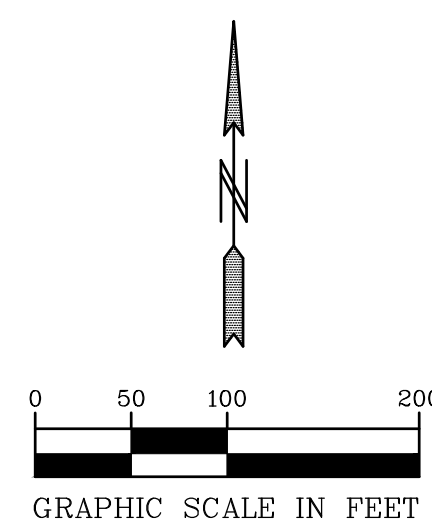
SEEDING NOTES:

MULCH: MNDOT TYPE 2 @ 2 TONS PER ACRE AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED. MULCH AT 90% COVERAGE WITH DISK ANCHOR OR HYDROSEED.

SEE GRADING DETAIL NOTES FOR STORMWATER MANAGEMENT SEEDING AND DETAILS



DISTURBED UPLAND AREA INCLUDING ABOVE HWL ON STORM WATER TREATMENT AREAS AND ANY DISTURBED UPLAND TO BE SEEDING WITH MN STATE SEED MIX 35-621 OR EQUIVALENT.



STAFF REPORT

Agenda Item: 8c.

City Council Meeting: March 28, 2024	Prepared By: Kendra Lindahl, AICP
Topic: Easement Vacation for Tavera 4 th (City File No. 24-004)	Action Required: Approval

Review Deadline: May 25, 2024

1. Application Request

U.S. Home, LLC (Lennar) (the applicant) is requesting vacation of a portion of the drainage and utility easements over Lots 10 and 11, Block 2, Tavera 4th Addition.

2. Background

The 20-foot wide drainage and utility easement shown on the preliminary plat were expanded to 30 feet with the final plat. The City Engineer requested the extra width to accommodate the storm sewer that is located in that easement. Unfortunately, the applicant's final PUD plans did not identify the small encroachment of the twinhomes on these lots into the easement. Due to the layout of the twinhome lots, the buildings cannot be shifted on the existing lots.

The applicant is requesting vacation of 0.25 sq. ft. of easement on Lot 10, Block 2 and 0.89 sq. ft. of easement on Lot 11, Block 2. The City Engineer has reviewed the request and determined that the small easement area is not required and the remaining easement will be adequate to access the storm sewer in the future.

3. Recommendation

Move to adopt Resolution 2024-22 approving the easement vacations for Tavera 4th Addition.

Attachments

1. Resolution 2024-22 approving the easement vacation for Tavera 4th Addition
2. City Engineer's Memo dated March 18, 2024
3. Easement vacation exhibits
4. Tavera 4th Final Plat

RESOLUTION NO. 2024-22

Motion By:
Seconded By:

APPROVING VACATION OF DRAINAGE AND UTILITY EASEMENTS FOR “TAVERA 4TH ADDITION” SUBDIVISION (CITY FILE 24-004)

WHEREAS, U.S. Home, LLC (Lennar) (“the applicant”) has requested approval of easement vacations within the subdivision:

WHEREAS, the applicant has requested vacation of that portion of the existing easements legally described as follows:

See Attachment A

WHEREAS, the Corcoran City Council considered this item at a Public Hearing;

WHEREAS, notice of the public hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the public hearing was published in the official newspaper;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required; and

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the following vacation, subject to the following conditions:

1. The applicant must record the resolution approving the vacation at Hennepin County and provide the City of Corcoran with proof of recording.
2. The applicant must record the resolution approving the vacation prior to issuance of building permits on Lot 10 and Lot 11, Block 2, Tavera 4th Addition.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

RESOLUTION NO. 2024-22

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-22

Attachment A – Legal Description

All that part of the 15 foot easement parallel with the southerly line of Lot 10, Block 2, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the southeasterly corner of said Lot 10, thence North 73 degrees 51 minutes 47 seconds West assumed bearing along the south line of said Lot 10, 31.95 feet; thence North 16 degrees 08 minutes 13 seconds East, 15.00 feet to the northerly line of said 15 foot easement and the point of beginning; thence South 73 degrees 51 minutes 47 seconds East along said northerly, 2.60 feet; thence North 78 degrees 21 minutes 20 seconds West, 2.60 feet to the westerly line of said easement; thence North 16 degrees 08 minutes 13 seconds East along said westerly line, 0.20 feet to the point of beginning.

AND

All that part of the 15 foot easement parallel with the northerly line of Lot 11, Block 2, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the northeasterly corner of said Lot 11, thence North 73 degrees 51 minutes 47 seconds West assumed bearing along the north line of said Lot 11, 31.95 feet; thence South 16 degrees 08 minutes 13 seconds West, 15.00 feet to the south line of said 15 foot easement and to the point of beginning; thence South 75 degrees 51 minutes 47 seconds East, 4.83 feet along said south line; thence North 69 degrees 26 minutes 00 seconds West, 4.85 feet to the west line of said easement; thence South 16 degrees 08 minutes 13 seconds West along said west line, 0.37 feet to the point of beginning.

To: Kevin Mattson, PE
Public Works Director

From: Kent Torve, PE City Engineer
Steven Hegland, PE

Project: Tavera 4th Easement Vacation

Date: March 18, 2024

Exhibit:

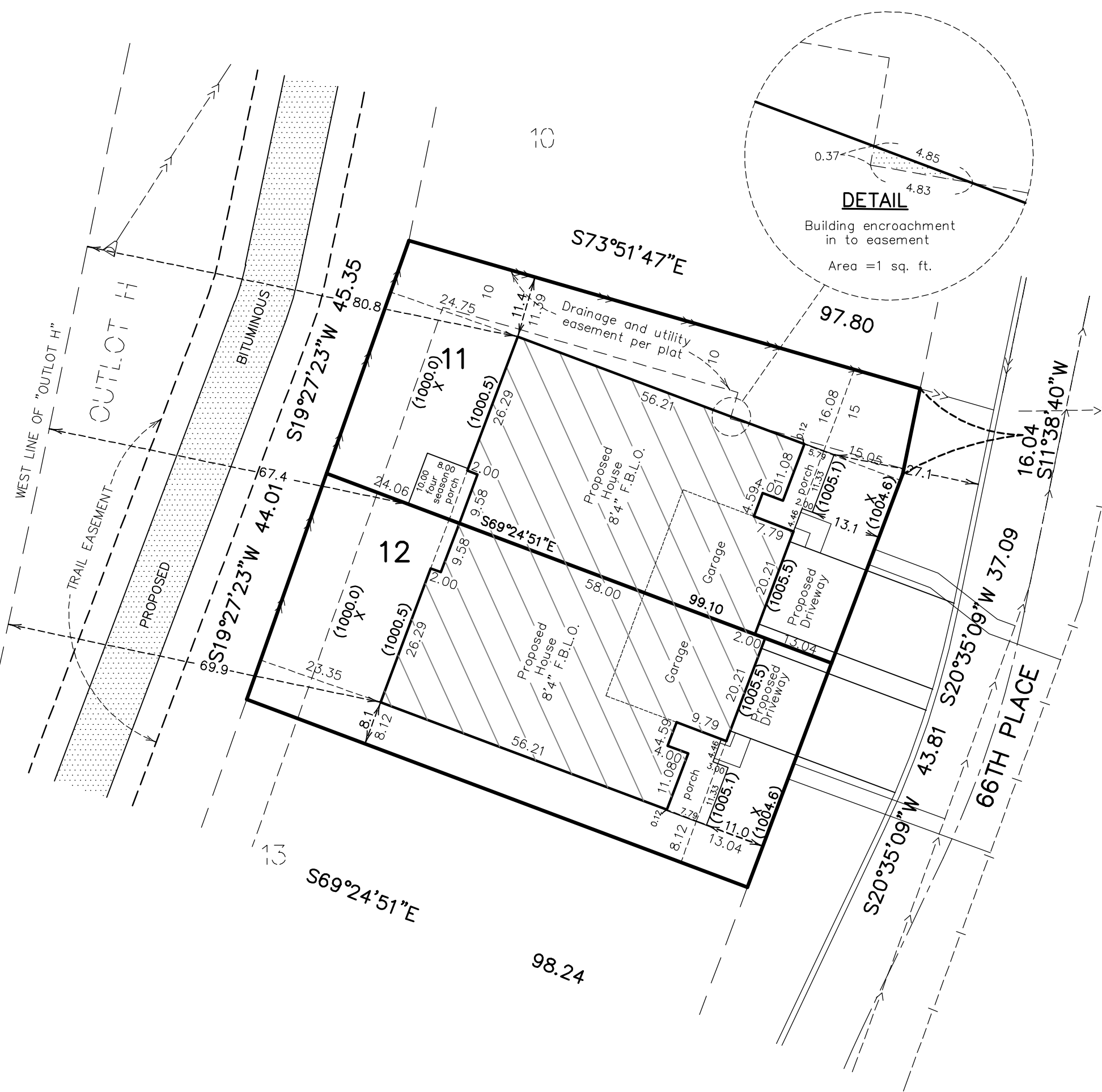
This review is based on the following document:

- Vacation exhibit Lot 10 Block 2
- Vacation exhibit Lot 11 Block 2

Comments:

- We take no exception with the vacation of these easements.

End of Memo



Lot 11
 Lot area = 4883 SF
 House area = 2055 SF
 Porch area = 200 SF
 Sidewalk area = 26 SF
 Driveway area = 244 SF
 Total Impervious Area = 2525 SF
 Impervious Coverage = 51.7%

Lot 12
 Lot area = 4342 SF
 House area = 2096 SF
 Porch area = 128 SF
 Sidewalk area = 23 SF
 Driveway area = 211 SF
 Total Impervious Area = 2458 SF
 Impervious Coverage = 56.6%

- Denotes iron pipe
- Denotes service
- Denotes television box
- Denotes electric box
- Denotes telephone box
- X 000.00 Denotes existing elevation
- (000.00) Denotes proposed elevation
- Denotes drainage flow direction
- ▲ Denotes spike
- ▬ Denotes proposed retaining wall designed and built by others.

Lowest opening elevation per grading plan : 1000.5

Lowest floor elevation per grading plan : 997.5

House elevations	(Proposed)	As-built
Lowest Floor Elevation	: (997.8)	/
Top Of Foundation Elev.	: (1005.8)	/
Garage Slab Elev. @ Door	: (1005.5)	/
T.O.F. Elevation @ Lookout	: (1001.0)	/

Construction Notes:

1. Install rock construction entrance.
2. Install silt fence as needed for erosion control.
3. Sidewalks shall drain away from house a minimum of 1.0%.
4. Contractor must verify driveway design.
5. Contractor must verify service elevation prior to construction.
6. Add or remove foundation ledge as required.
7. Retaining walls are conditional; Wall installed if the grade exceeds 3:1. Wall will not be installed if the grade is 3:1 or less.

General Notes:

1. Grading plan by Pioneer Engineering last dated 03-06-23 was used to determine proposed elevations shown herein.
2. This survey does not purport to show improvements or encroachments, except as shown, as surveyed by me or under my direct supervision.
3. Proposed building dimensions shown are for horizontal location of structures on the lot only. Contact builder prior to construction for approved construction plans.
4. No specific soils investigation has been performed on this lot by the surveyor. The suitability of soils to support the specific house proposed is not the responsibility of the surveyor.
5. This certificate does not purport to show easements other than those shown on the recorded plat.
6. Bearings shown are based on an assumed datum.

We hereby certify to Lennar Corporation that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota, dated 11/09/23.

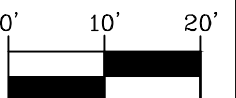
Signed: Pioneer Engineering, P.A.

BY:

Peter J. Hawkinson, Professional Land Surveyor
 Minnesota License No. 42299 email-phawkinson@pioneereng.com

Revisions:
 1.)

Benchmark:
 Top Nut Hydrant
 Elevation =



Scale: 1" = 20'

PIONEER Engineering, P.A.
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
 Mendota Heights, MN 55120

Ph. : (651) 681-1914
 Fax: (651) 681-9488
 www.pioneereng.com

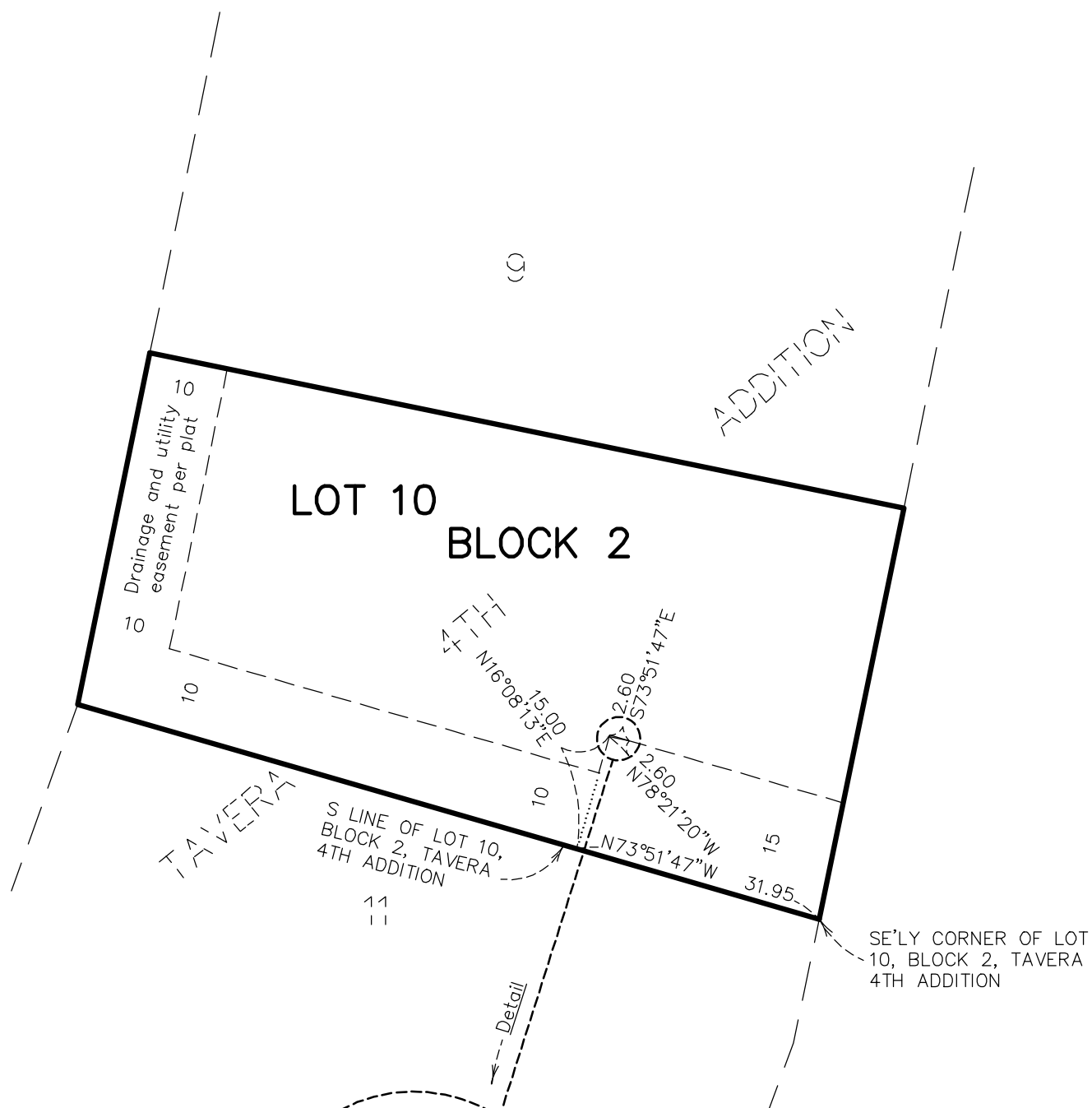
Lot 11-12, Block 2,
 TAVERA 4TH ADDITION
 according to the recorded plat thereof
 Hennepin County, Minnesota

Address: 20069 20071 66th Place, Corcoran, Minnesota
 House Model: Mulberry Elevation: C1T C2T
 Buyer: N?A

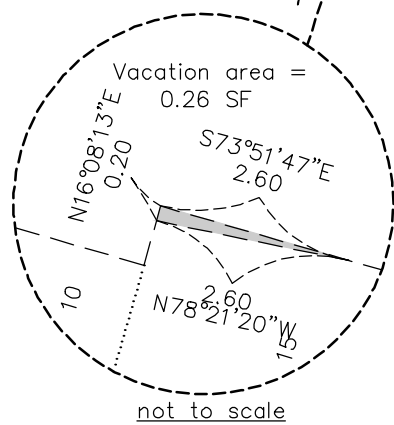
Certificate of Survey for:
Lennar Corporation

16305 36th Ave N Ste #600
 Plymouth, MN 55446-4270
 Phone: (952) 249-3000 / Fax: (952) 404-1909

Project #: 123131002 Folder #: 8874 Drawn by: JWF



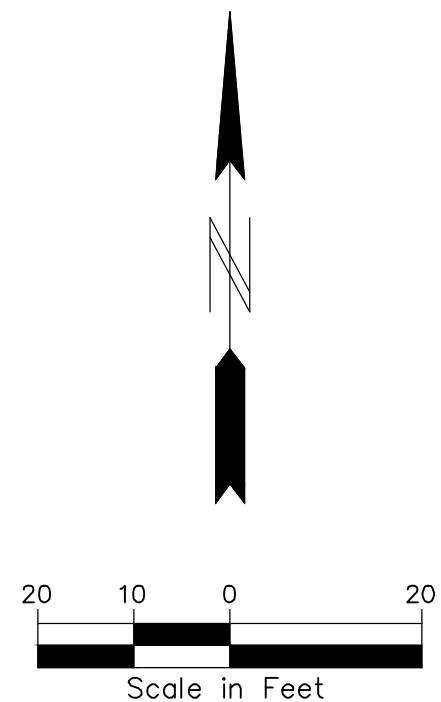
 Denotes proposed easement vacation



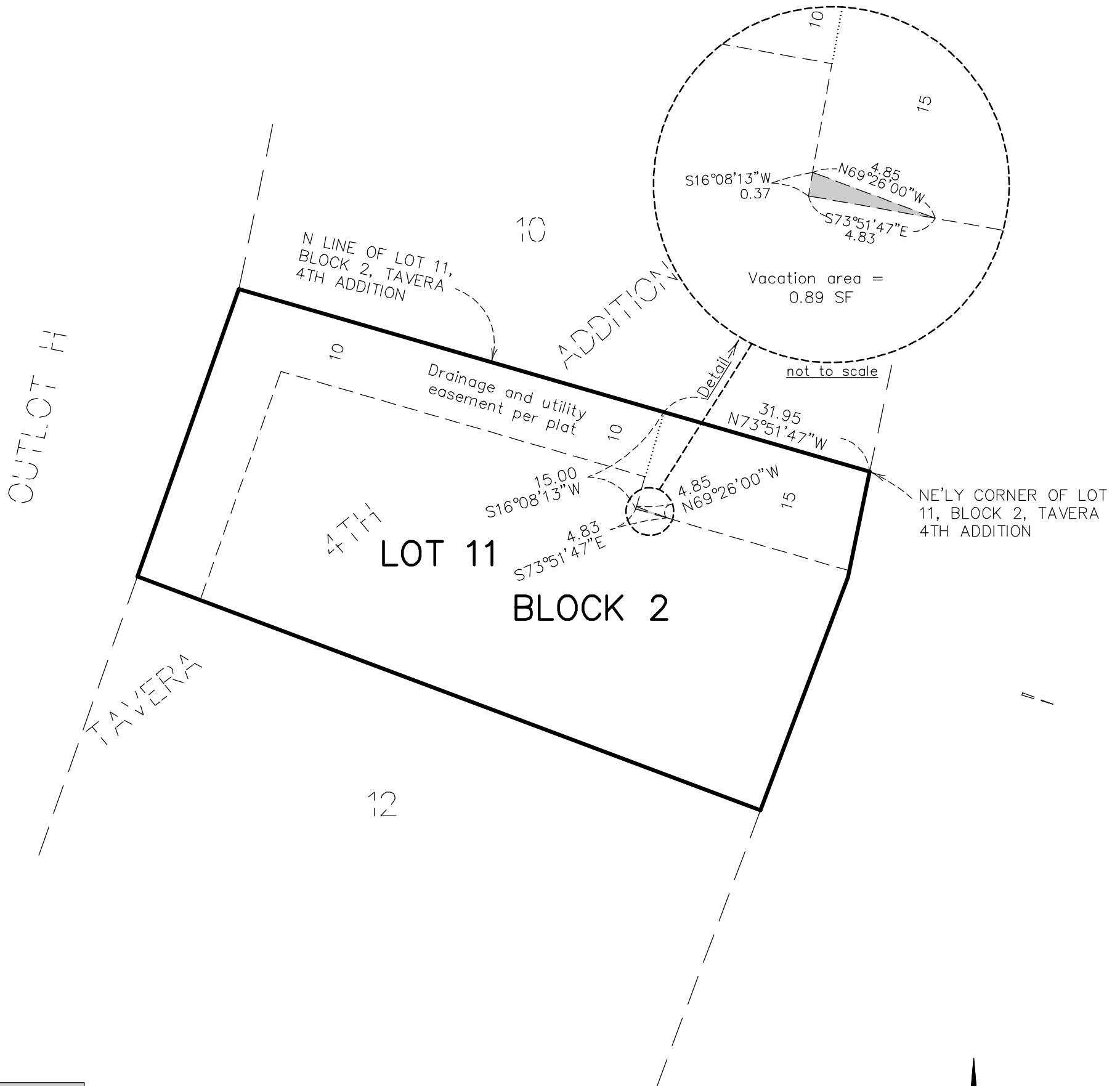
PROPOSED DESCRIPTION FOR EASEMENT VACATION


All that part of the 15 foot easement parallel with the southerly line of Lot 10, Block 2, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the southeasterly corner of said Lot 10, thence North 73 degrees 51 minutes 47 seconds West assumed bearing along the south line of said Lot 10, 31.95 feet; thence North 16 degrees 08 minutes 13 seconds East, 15.00 feet to the northerly line of said 15 foot easement and the point of beginning; thence South 73 degrees 51 minutes 47 seconds East along said northerly, 2.60 feet; thence North 78 degrees 21 minutes 20 seconds West, 2.60 feet to the westerly line of said easement; thence North 16 degrees 08 minutes 13 seconds East along said westerly line, 0.20 feet to the point of beginning.



* This sketch does not purport to show the existence or nonexistence of any encroachments from or onto the hereon described land, easements of record or unrecorded easements which affect said land or any improvements to said land.




 Denotes proposed easement vacation

PROPOSED DESCRIPTION FOR EASEMENT VACATION

All that part of the 15 foot easement parallel with the northerly line of Lot 11, Block 2, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota, described as follows:

Commencing at the northeasterly corner of said Lot 11, thence North 73 degrees 51 minutes 47 seconds West assumed bearing along the north line of said Lot 11, 31.95 feet; thence South 16 degrees 08 minutes 13 seconds West, 15.00 feet to the south line of said 15 foot easement and to the point of beginning; thence South 75 degrees 51 minutes 47 seconds East, 4.83 feet along said south line; thence North 69 degrees 26 minutes 00 seconds West, 4.85 feet to the west line of said easement; thence South 16 degrees 08 minutes 13 seconds West along said west line, 0.37 feet to the point of beginning.

* This sketch does not purport to show the existence or nonexistence of any encroachments from or onto the hereon described land, easements of record or unrecorded easements which affect said land or any improvements to said land.

Sheet 1 of 1	 PIONEER engineering <small>CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS</small>	Cad File: 119128-LOT 11 B 2 ESMT VACATION SKETCH.dwg Date: 1/19/23 Folder #: 8737 Drawn by: KSO	<h2>Description Sketch for:</h2> <h3>Tavera 4th Addition</h3>
	2422 Enterprise Drive Mendota Heights, MN 55120 (651) 681-1914 Fax: 681-9488 www.pioneereng.com		

TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home, LLC, a Delaware limited liability company, fee owner of the following described property:

OUTLOT C, TAVERA, Hennepin County, Minnesota, except that part described as follows:
Beginning at the Northwest corner of said OUTLOT C; thence South 00 degrees 48 minutes 55 seconds East assumed bearing along the west line of said OUTLOT C, 1401.60 feet; thence South 28 degrees 36 minutes 56 seconds East, 11.94 feet; thence North 62 degrees 50 minutes 16 seconds East, 256.87 feet; thence North 23 degrees 19 minutes 39 seconds East, 30.17 feet; thence South 69 degrees 53 minutes 24 seconds East, 158.90 feet; thence northeasterly, 60.64 feet, along a curve concave to the west, having a radius of 160.00 feet, a central angle of 21 degrees 42 minutes 49 seconds and a chord that bears North 09 degrees 15 minutes 12 seconds East; thence North 01 degrees 36 minutes 13 seconds West tangent to said curve, 102.54 feet; thence North 88 degrees 23 minutes 47 seconds East, 376.80 feet; thence southeasterly, 157.73 feet, along a tangential curve concave to the south, having radius of 265.00 feet and a central angle of 34 degrees 06 minutes 10 seconds; thence South 57 degrees 30 minutes 03 seconds East tangent to last described curve, 117.15 feet; thence southwesterly, 23.29 feet, along a curve concave to the southeast, having a radius of 480.00 feet, a central angle of 02 degrees 46 minutes 47 seconds, and a chord that bears South 34 degrees 41 minutes 34 seconds West; thence South 56 degrees 59 minutes 44 seconds East, 166.20 feet; thence North 29 degrees 57 minutes 16 seconds East, 211.36 feet to the east line of said OUTLOT C; thence North 00 degrees 42 minutes 40 seconds West along said east line, 1178.04 feet to the north line of said OUTLOT C; thence North 89 degrees 54 minutes 32 seconds West, 1264.49 feet, along said North line to the point of beginning.

(TORRENS)

AND

OUTLOT C, TAVERA, described as follows:

Beginning at the Northwest corner of said OUTLOT C; thence South 00 degrees 48 minutes 55 seconds East assumed bearing along the west line of said OUTLOT C, 1401.60 feet; thence South 28 degrees 36 minutes 56 seconds East, 11.94 feet; thence North 62 degrees 50 minutes 16 seconds East, 256.87 feet; thence North 23 degrees 19 minutes 39 seconds East, 30.17 feet; thence South 69 degrees 53 minutes 24 seconds East, 158.90 feet; thence northeasterly, 60.64 feet, along a curve concave to the west, having a radius of 160.00 feet, a central angle of 21 degrees 42 minutes 49 seconds and a chord that bears North 09 degrees 15 minutes 12 seconds East; thence North 01 degrees 36 minutes 13 seconds West tangent to said curve, 102.54 feet; thence North 88 degrees 23 minutes 47 seconds East, 376.80 feet; thence southeasterly, 157.73 feet, along a tangential curve concave to the south, having radius of 265.00 feet and a central angle of 34 degrees 06 minutes 10 seconds; thence South 57 degrees 30 minutes 03 seconds East tangent to last described curve, 117.15 feet; thence southwesterly, 23.29 feet, along a curve concave to the southeast, having a radius of 480.00 feet, a central angle of 02 degrees 46 minutes 47 seconds, and a chord that bears South 34 degrees 41 minutes 34 seconds West; thence South 56 degrees 59 minutes 44 seconds East, 166.20 feet; thence North 29 degrees 57 minutes 16 seconds East, 211.36 feet to the east line of said OUTLOT C; thence North 00 degrees 42 minutes 40 seconds West along said east line, 1178.04 feet to the north line of said OUTLOT C; thence North 89 degrees 54 minutes 32 seconds West, 1264.49 feet, along said North line to the point of beginning.

(TORRENS)

Together with:

Lot 10, Block 1, MEADOW TRAILS, according to the recorded plat thereof, Hennepin County, Minnesota, except that part lying south, west and southwesterly of the following described line: Commencing at the northwest corner of the West Half of the Northeast Quarter of Section 35, Township 119, Range 23, said Hennepin County; thence on an assumed bearing of South 00 degrees 55 minutes 10 seconds East, along the west line of said West Half of the Northeast Quarter and along a west line of said Lot 10, a distance of 1031.51 feet, to the point of beginning; thence North 89 degrees 04 minutes 50 seconds East, a distance of 145.00 feet; thence South 00 degrees 55 minutes 10 seconds East, a distance of 143.04 feet; thence North 89 degrees 04 minutes 50 seconds East, a distance of 60.00 feet; thence North 81 degrees 36 minutes 40 seconds East, a distance of 245.84 feet; thence South 77 degrees 06 minutes 59 seconds East, a distance of 84.19 feet; thence South 47 degrees 44 minutes 51 seconds East, a distance of 538.48 feet, to the north line of Lot 5, Block 1, said MEADOW TRAILS and there terminating.

(ABSTRACT)

Has caused the same to be surveyed and platted as TAVERA 4TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said U.S. Home, LLC, a Delaware limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: U.S. Home, LLC

By: _____, its _____.

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by _____, its _____ of U.S. Home, LLC, a Delaware limited liability company, on behalf of the company.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

In witness whereof said Michael Rouillard and Sharon E. Wessel, husband and wife, have hereunto set their hands this _____ day of _____, 20____.

Michael Rouillard

Sharon E. Wessel

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by Michael Rouillard and Sharon E. Wessel.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor, Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by Peter J. Hawkinson.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL, CITY OF CORCORAN, MINNESOTA

This plat of TAVERA 4TH ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota, at a regular meeting thereof, held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

BY: _____, Mayor BY: _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this day of _____, 20____.

County Auditor

By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this ____ day of _____, 20____.

Chris F. Mavis, County Surveyor

By: _____,

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 4TH ADDITION was filed in this office this ____ day of _____, 20____, at ____ o'clock ____ .M.

Amber Bougie, Registrar of Titles

By: _____, Deputy

COUNTY RECORDER, Hennepin County, Minnesota

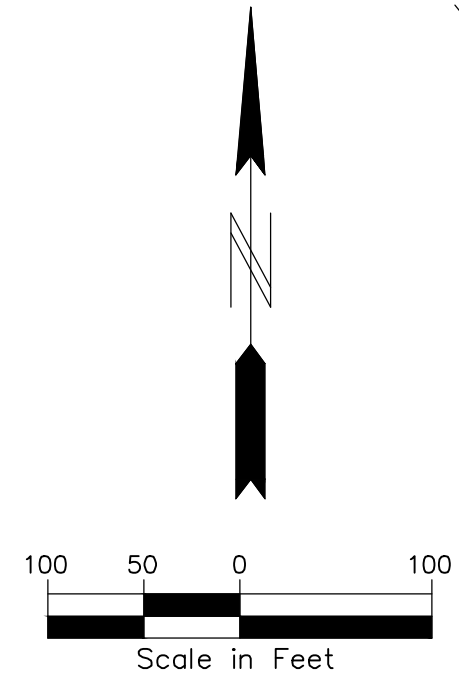
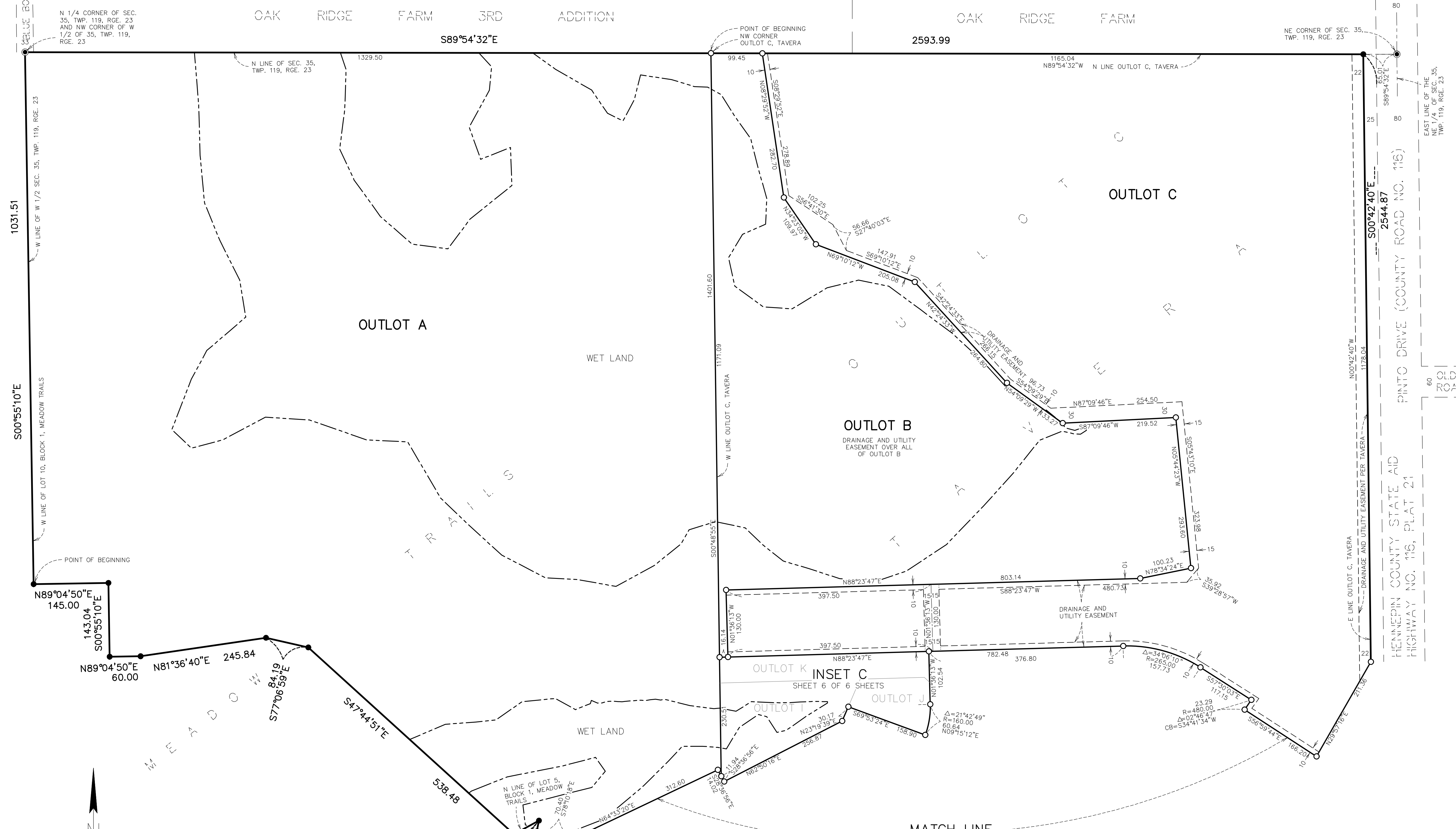
I hereby certify that the within plat of TAVERA 4TH ADDITION was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____M.

Amber Bougie, County Recorder

By: _____, Deputy

TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

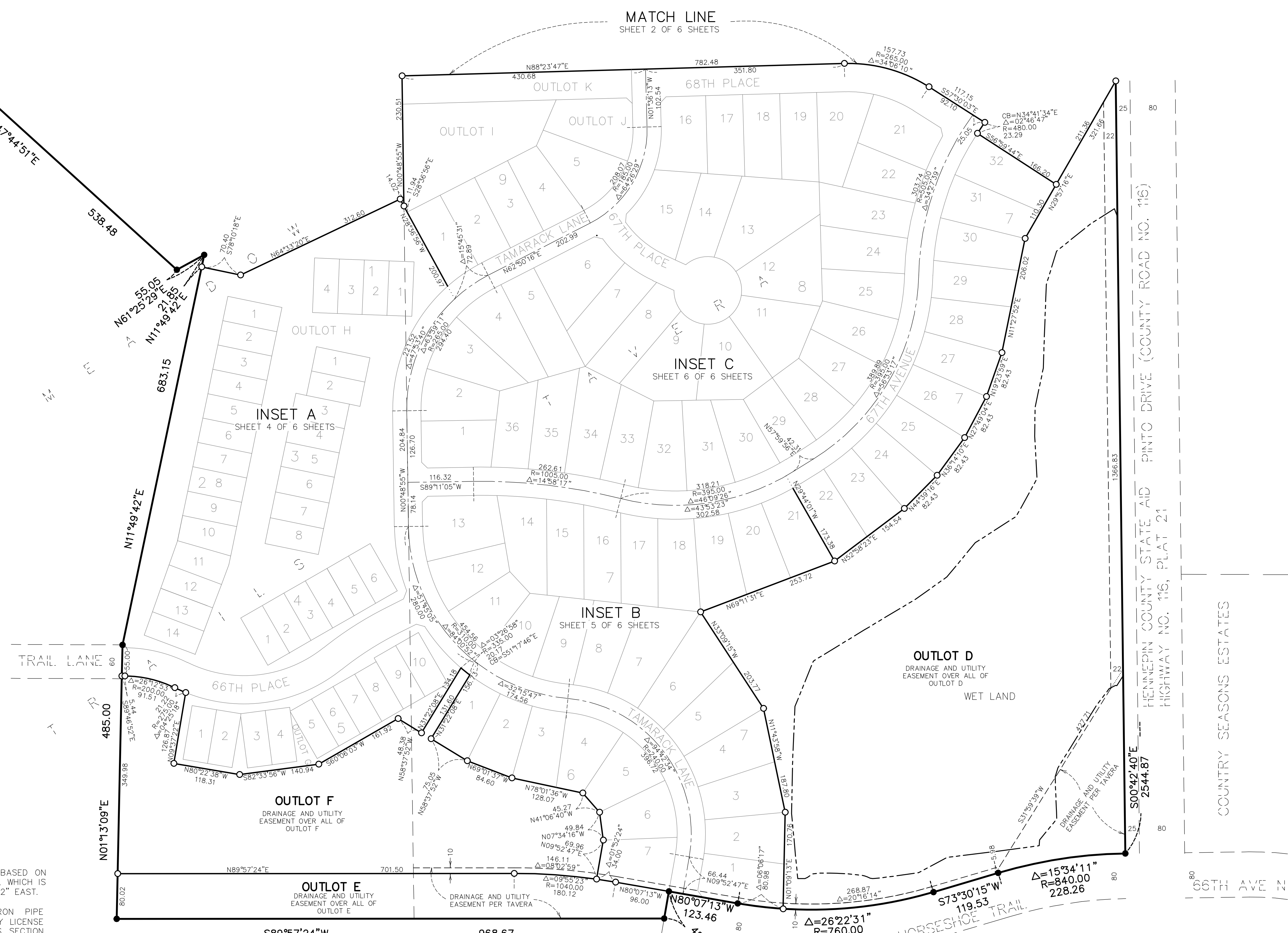
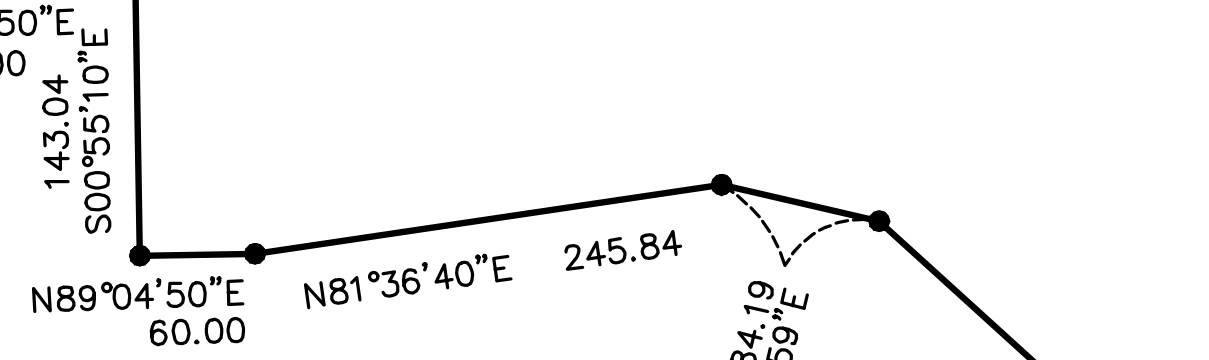
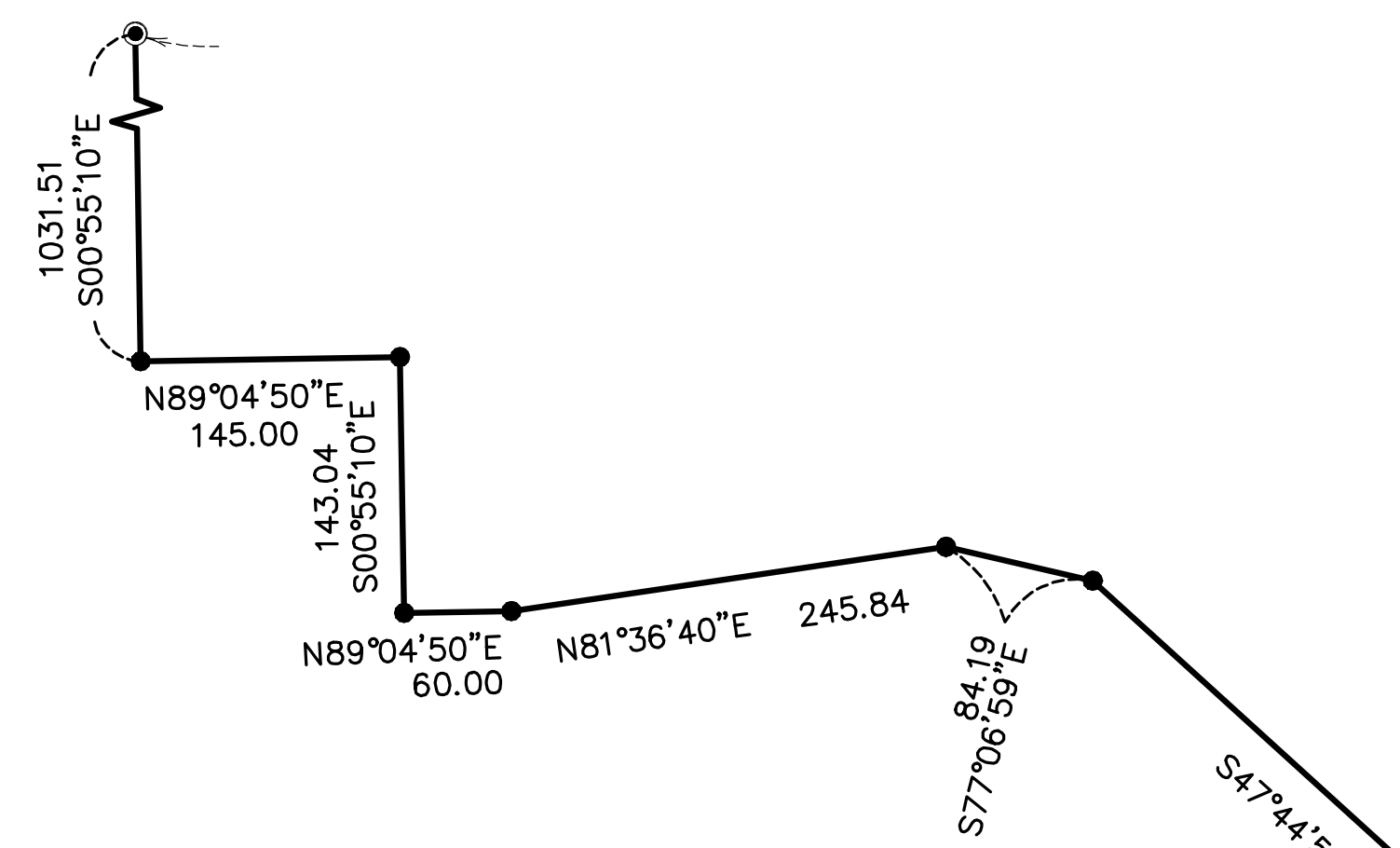


THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

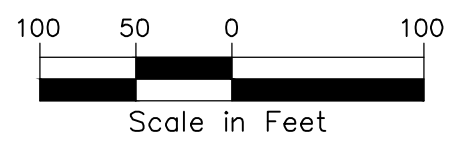
TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____



THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.



TAVERA 4TH ADDITION

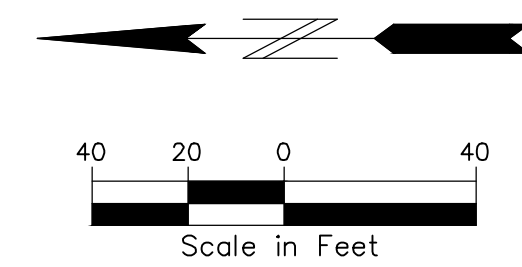
INSET A

R.T. DOC. NO. _____
C.R. DOC. NO. _____



THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

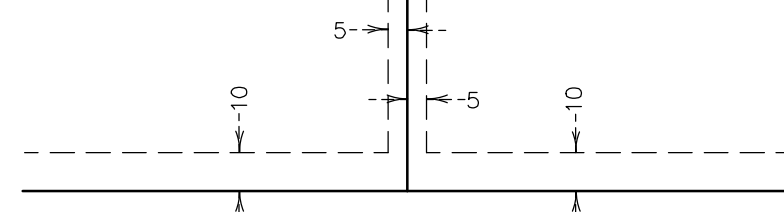


TAVERA 4TH ADDITION

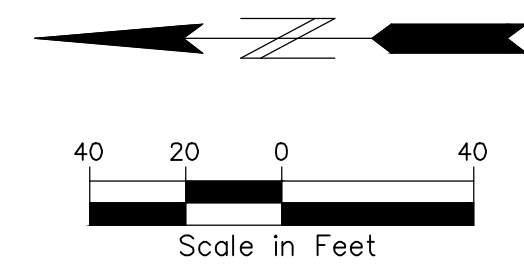
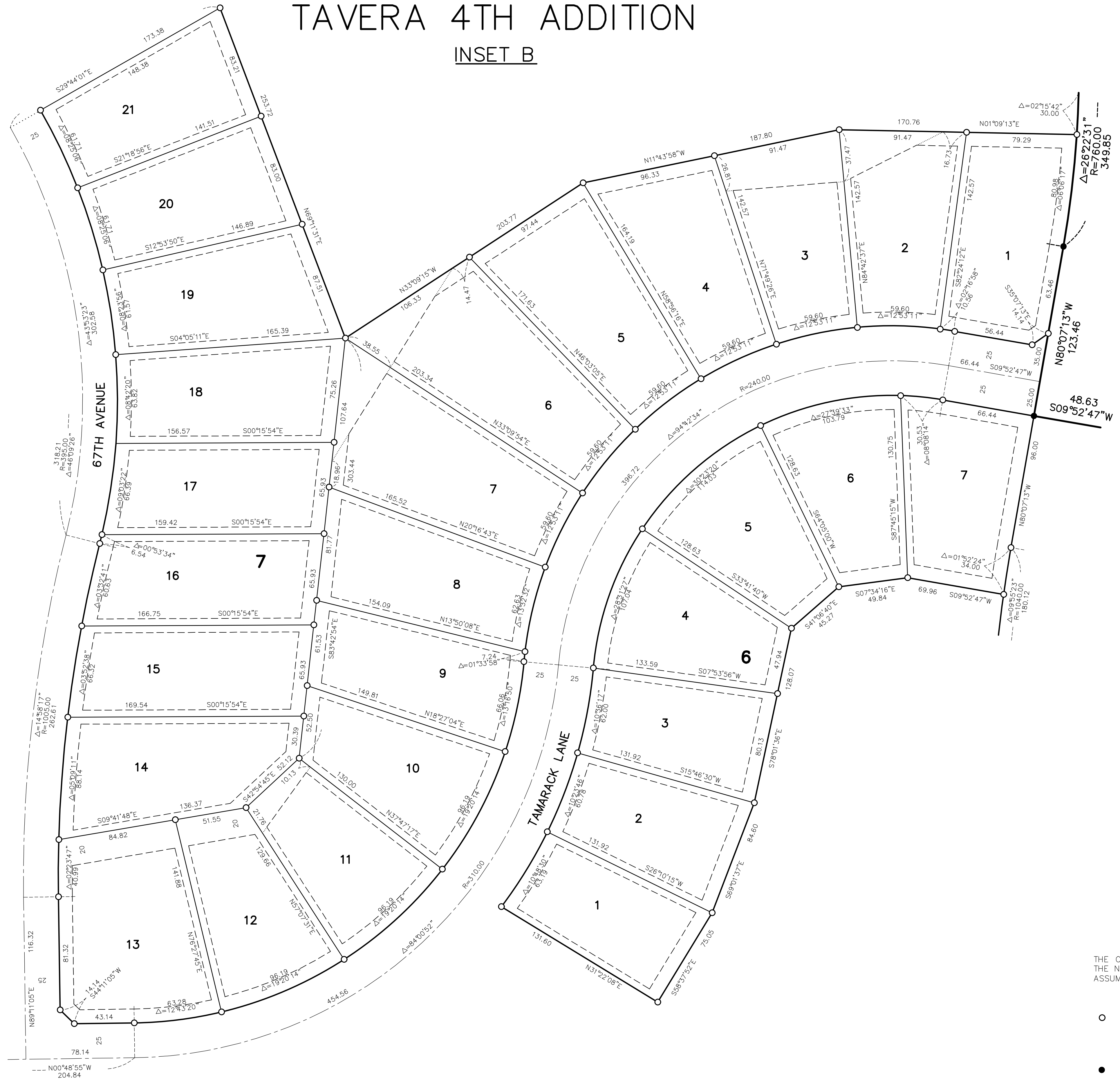
INSET B

R.T. DOC. NO. _____
C.R. DOC. NO. _____

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plat.



THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32\"/>

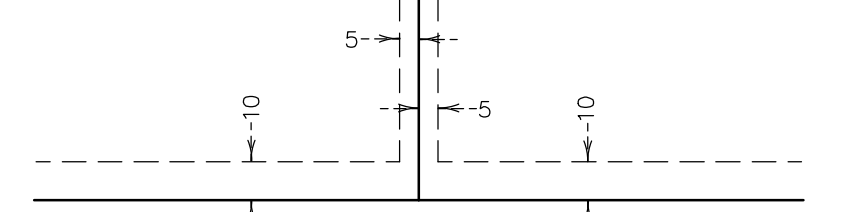
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

TAVERA 4TH ADDITION INSET C

R.T. DOC. NO. _____
C.R. DOC. NO. _____



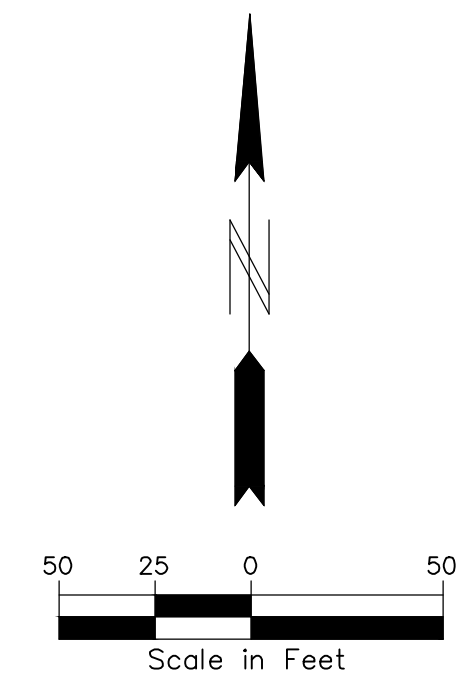
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plat.

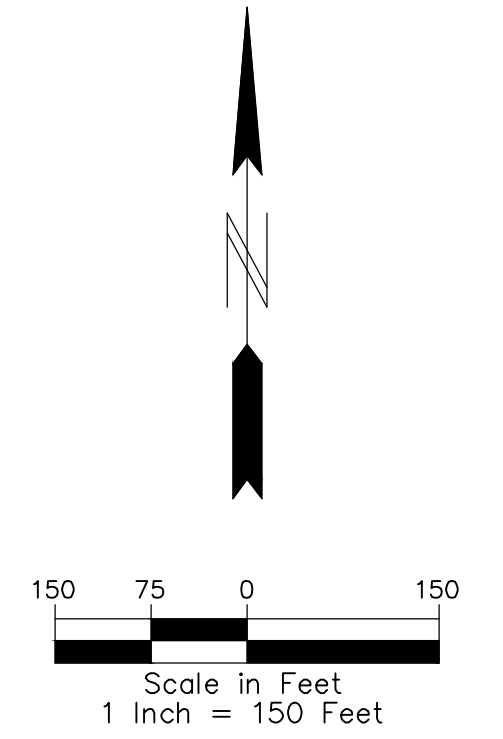
THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

○ DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.



TAVERA 4TH ADDITION

AREA SKETCH



AREA SUMMARY		
BLOCK 1 =	16,984 SF.	0.3899 AC.
BLOCK 2 =	61,259 SF.	1.4063 AC.
BLOCK 3 =	34,692 SF.	0.7964 AC.
BLOCK 4 =	25,476 SF.	0.5848 AC.
BLOCK 5 =	43,396 SF.	0.9962 AC.
BLOCK 6 =	69,408 SF.	1.5934 AC.
BLOCK 7 =	352,457 SF.	8.0913 AC.
BLOCK 8 =	412,221 SF.	9.4633 AC.
BLOCK 9 =	48,845 SF.	1.1213 AC.
TOTAL LOT AREA =	1,064,677 SF.	24.4415 AC.
TOTAL OUTLOT AREA =	4,278,325 SF.	98.2169 AC.
TOTAL R/W AREA =	241,141 SF.	5.5358 AC.
TOTAL AREA =	5,584,599 SF.	128.2047 AC.

STAFF REPORT

Agenda Item: 8d.

City Council Meeting: March 28, 2024	Prepared By: Kendra Lindahl, AICP
Topic: Easement Vacation for Tavera 6 th (City File No. 23-033)	Action Required: Approval

Review Deadline: April 7, 2024

1. Application Request

U.S. Home, LLC (Lennar) (the applicant) is requesting vacation of drainage and utility easements over Outlots B, C, K and J, Tavera 4th Addition. The vacation of the easements will allow development of the 79 lots in Tavera 6th Addition.

2. Background

As part of the Tavera subdivision, blanket drainage and utility easements and perimeter easements were provided over the outlots. The easements are requested to be vacated as new easements will be provided with Tavera 6th Addition and the old easements are no longer needed. The easement vacations will be filed with the plat that dedicates the new easements.

3. Recommendation

Move to adopt Resolution 2024-21 approving the easement vacations for Tavera 6th Addition.

Attachments

1. Resolution 2024-21 approving the easement vacation for Tavera 6th Addition
2. City Engineer's Memo dated March 18, 2024
3. Easement vacation exhibit – Outlots B, C, J and K
4. Tavera 4th Addition

RESOLUTION NO. 2024-21

Motion By:
Seconded By:

APPROVING VACATION OF DRAINAGE AND UTILITY EASEMENTS FOR “TAVERA 6TH ADDITION” SUBDIVISION (CITY FILE 23-033)

WHEREAS, U.S. Home, LLC (Lennar) (“the applicant”) has requested approval of easement vacations within the subdivision:

WHEREAS, the applicant has requested vacation of the existing easements legally described as follows:

See Attachment A

WHEREAS, the Corcoran City Council considered this item at a Public Hearing;

WHEREAS, notice of the public hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the public hearing was published in the official newspaper;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required as new easements will be dedicated with the plat for the Tavera 6th Addition; and

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the following vacation, subject to the following conditions:

1. Approval of the vacation is contingent upon approval of the final plat for Tavera 6th Addition and dedication of new easements.
2. The applicant must record the resolution approving the vacation at Hennepin County and provide the City of Corcoran with proof of recording.
3. The applicant must record the resolution approving the vacation prior to recording the final plat for Tavera 6th Addition.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

RESOLUTION NO. 2024-21

Whereupon, said Resolution is hereby declared adopted on this 28th day of March 2024.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2024-21

Attachment A – Legal Description

All Drainage and Utility easements lying over under and across Outlots B, C, K, and J, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

To: Kevin Mattson, PE
Public Works Director

From: Kent Torve, PE City Engineer
Steven Hegland, PE

Project: Tavera 6th Addition Easement Vacation Date: March 18, 2024

Exhibit:

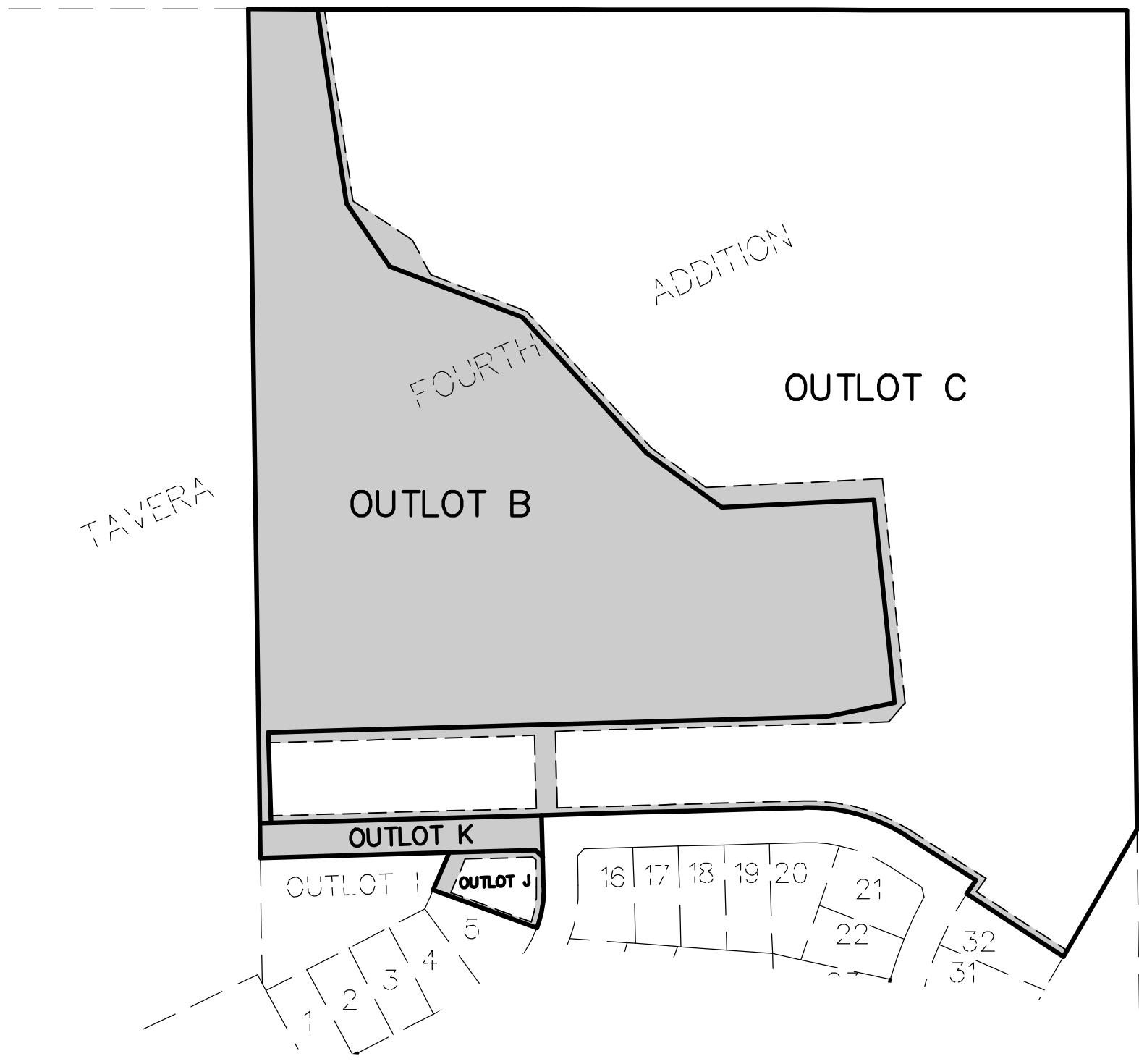
This review is based on the following document:

- Vacation Exhibit for Outlots B, C, J and K
- Vacation Exhibit for Outlots A and B

Comments:

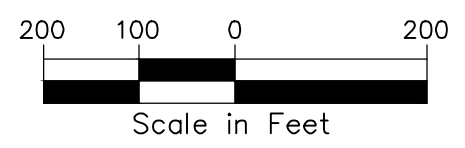
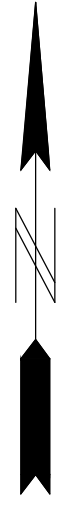
- We take no exception with the vacation of these easements.
- New easements for the necessary areas will be dedicated with the 6th Addition Plat.

End of Memo



PROPOSED DESCRIPTION FOR EASEMENT VACATION

All Drainage and Utility easements lying over under and across Outlots B, C, K, and J, TAVERA 4TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.



* This sketch does not purport to show the existence or nonexistence of any encroachments from or onto the hereon described land, easements of record or unrecorded easements which affect said land or any improvements to said land.

TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home, LLC, a Delaware limited liability company, fee owner of the following described property:

OUTLOT C, TAVERA, Hennepin County, Minnesota, except that part described as follows:
Beginning at the Northwest corner of said OUTLOT C; thence South 00 degrees 48 minutes 55 seconds East assumed bearing along the west line of said OUTLOT C, 1401.60 feet; thence South 28 degrees 36 minutes 56 seconds East, 11.94 feet; thence North 62 degrees 50 minutes 16 seconds East, 256.87 feet; thence North 23 degrees 19 minutes 39 seconds East, 30.17 feet; thence South 69 degrees 53 minutes 24 seconds East, 158.90 feet; thence northeasterly, 60.64 feet, along a curve concave to the west, having a radius of 160.00 feet, a central angle of 21 degrees 42 minutes 49 seconds and a chord that bears North 09 degrees 15 minutes 12 seconds East; thence North 01 degrees 36 minutes 13 seconds West tangent to said curve, 102.54 feet; thence North 88 degrees 23 minutes 47 seconds East, 376.80 feet; thence southeasterly, 157.73 feet, along a tangential curve concave to the south, having radius of 265.00 feet and a central angle of 34 degrees 06 minutes 10 seconds; thence South 57 degrees 30 minutes 03 seconds East tangent to last described curve, 117.15 feet; thence southwesterly, 23.29 feet, along a curve concave to the southeast, having a radius of 480.00 feet, a central angle of 02 degrees 46 minutes 47 seconds, and a chord that bears South 34 degrees 41 minutes 34 seconds West; thence South 56 degrees 59 minutes 44 seconds East, 166.20 feet; thence North 29 degrees 57 minutes 16 seconds East, 211.36 feet to the east line of said OUTLOT C; thence North 00 degrees 42 minutes 40 seconds West along said east line, 1178.04 feet to the north line of said OUTLOT C; thence North 89 degrees 54 minutes 32 seconds West, 1264.49 feet, along said North line to the point of beginning.

(TORRENS)

AND

OUTLOT C, TAVERA, described as follows:

Beginning at the Northwest corner of said OUTLOT C; thence South 00 degrees 48 minutes 55 seconds East assumed bearing along the west line of said OUTLOT C, 1401.60 feet; thence South 28 degrees 36 minutes 56 seconds East, 11.94 feet; thence North 62 degrees 50 minutes 16 seconds East, 256.87 feet; thence North 23 degrees 19 minutes 39 seconds East, 30.17 feet; thence South 69 degrees 53 minutes 24 seconds East, 158.90 feet; thence northeasterly, 60.64 feet, along a curve concave to the west, having a radius of 160.00 feet, a central angle of 21 degrees 42 minutes 49 seconds and a chord that bears North 09 degrees 15 minutes 12 seconds East; thence North 01 degrees 36 minutes 13 seconds West tangent to said curve, 102.54 feet; thence North 88 degrees 23 minutes 47 seconds East, 376.80 feet; thence southeasterly, 157.73 feet, along a tangential curve concave to the south, having radius of 265.00 feet and a central angle of 34 degrees 06 minutes 10 seconds; thence South 57 degrees 30 minutes 03 seconds East tangent to last described curve, 117.15 feet; thence southwesterly, 23.29 feet, along a curve concave to the southeast, having a radius of 480.00 feet, a central angle of 02 degrees 46 minutes 47 seconds, and a chord that bears South 34 degrees 41 minutes 34 seconds West; thence South 56 degrees 59 minutes 44 seconds East, 166.20 feet; thence North 29 degrees 57 minutes 16 seconds East, 211.36 feet to the east line of said OUTLOT C; thence North 00 degrees 42 minutes 40 seconds West along said east line, 1178.04 feet to the north line of said OUTLOT C; thence North 89 degrees 54 minutes 32 seconds West, 1264.49 feet, along said North line to the point of beginning.

(TORRENS)

Together with:

Lot 10, Block 1, MEADOW TRAILS, according to the recorded plat thereof, Hennepin County, Minnesota, except that part lying south, west and southwesterly of the following described line: Commencing at the northwest corner of the West Half of the Northeast Quarter of Section 35, Township 119, Range 23, said Hennepin County; thence on an assumed bearing of South 00 degrees 55 minutes 10 seconds East, along the west line of said West Half of the Northeast Quarter and along a west line of said Lot 10, a distance of 1031.51 feet, to the point of beginning; thence North 89 degrees 04 minutes 50 seconds East, a distance of 145.00 feet; thence South 00 degrees 55 minutes 10 seconds East, a distance of 143.04 feet; thence North 89 degrees 04 minutes 50 seconds East, a distance of 60.00 feet; thence North 81 degrees 36 minutes 40 seconds East, a distance of 245.84 feet; thence South 77 degrees 06 minutes 59 seconds East, a distance of 84.19 feet; thence South 47 degrees 44 minutes 51 seconds East, a distance of 538.48 feet, to the north line of Lot 5, Block 1, said MEADOW TRAILS and there terminating.

(ABSTRACT)

Has caused the same to be surveyed and platted as TAVERA 4TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said U.S. Home, LLC, a Delaware limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: U.S. Home, LLC

By: _____, its _____.

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by _____, its _____ of U.S. Home, LLC, a Delaware limited liability company, on behalf of the company.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

In witness whereof said Michael Rouillard and Sharon E. Wessel, husband and wife, have hereunto set their hands this _____ day of _____, 20____.

Michael Rouillard

Sharon E. Wessel

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____ by Michael Rouillard and Sharon E. Wessel.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor, Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by Peter J. Hawkinson.

(Signature)

(Print Notary's name)

Notary Public _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL, CITY OF CORCORAN, MINNESOTA

This plat of TAVERA 4TH ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota, at a regular meeting thereof, held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

BY: _____, Mayor BY: _____, Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this day of _____, 20____.

County Auditor

By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this ____ day of _____, 20____.

Chris F. Mavis, County Surveyor

By: _____,

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of TAVERA 4TH ADDITION was filed in this office this ____ day of _____, 20____, at ____ o'clock ____ .M.

Amber Bougie, Registrar of Titles

By: _____, Deputy

COUNTY RECORDER, Hennepin County, Minnesota

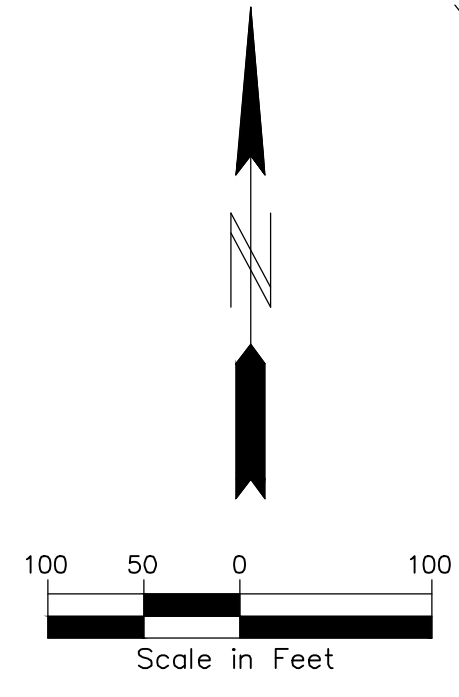
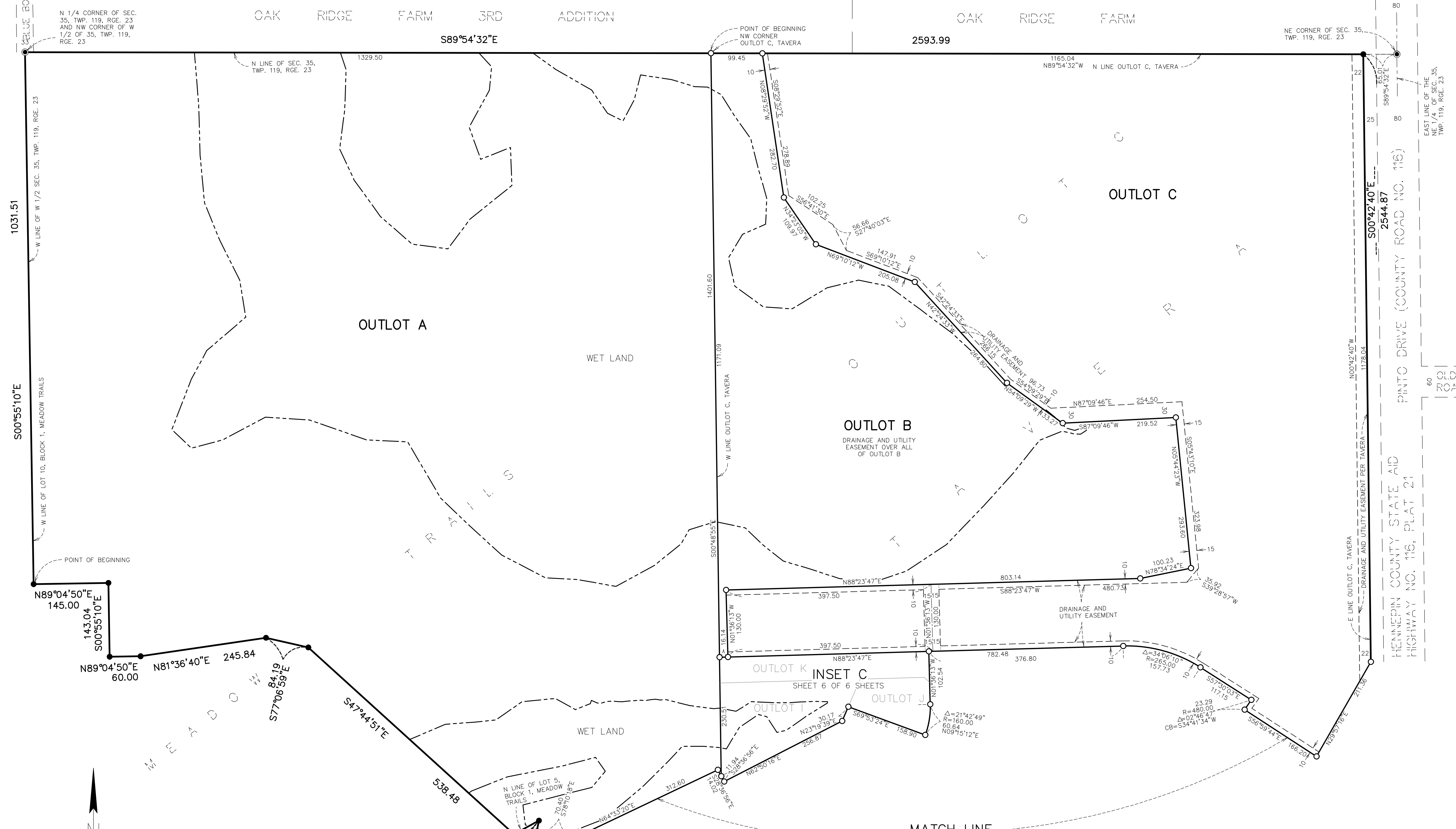
I hereby certify that the within plat of TAVERA 4TH ADDITION was recorded in this office this _____ day of _____, 20____, at _____ o'clock ____M.

Amber Bougie, County Recorder

By: _____, Deputy

TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____

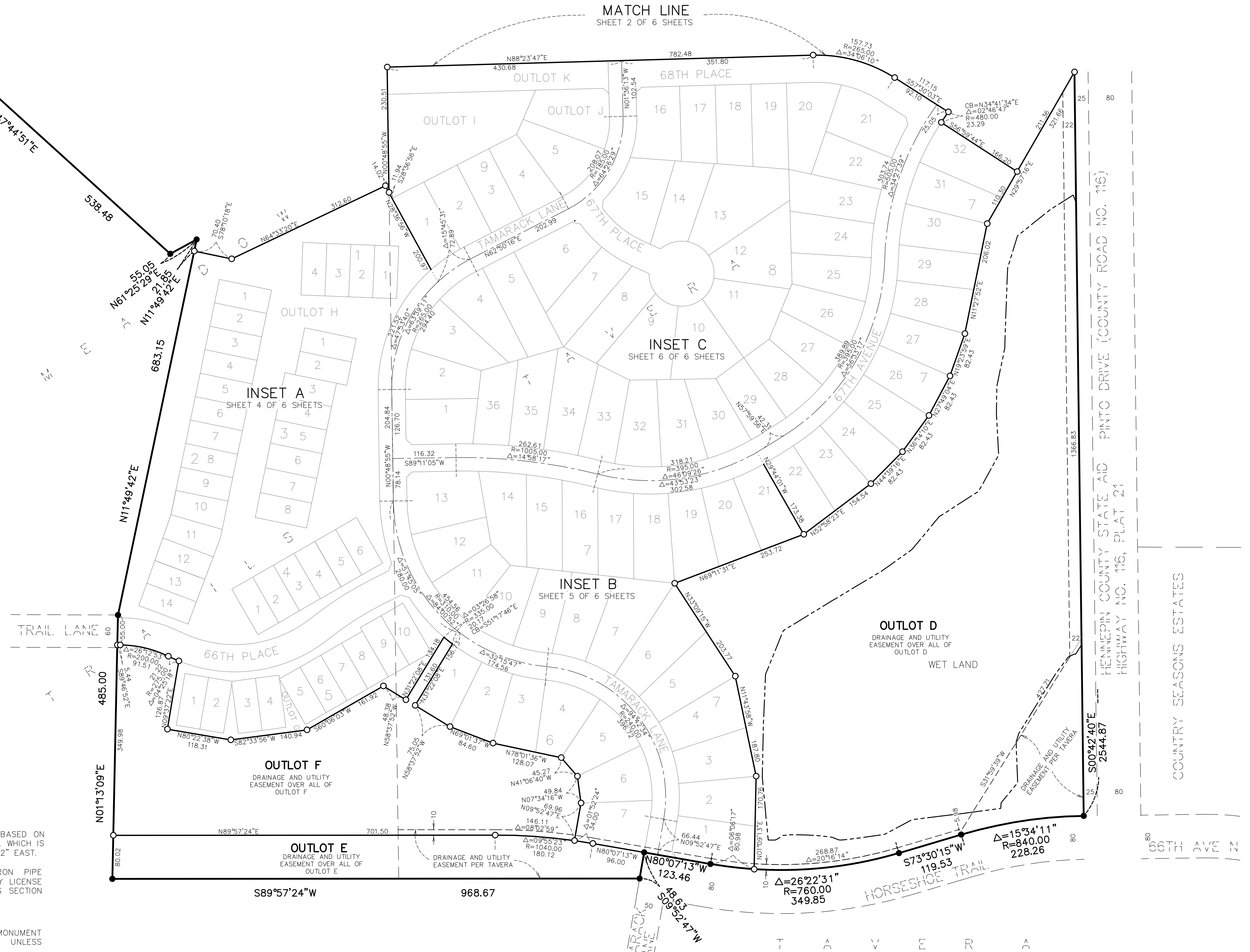
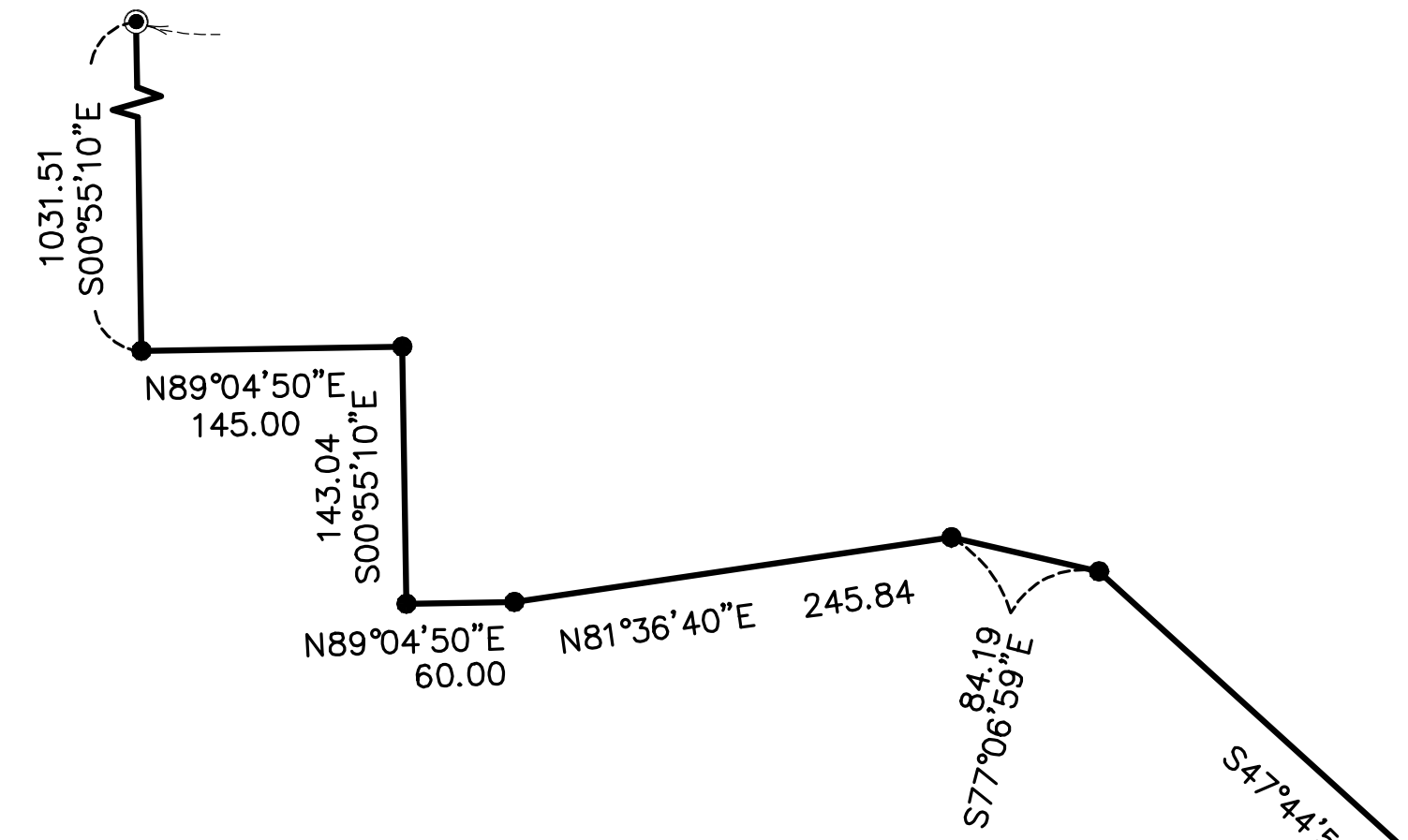


THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

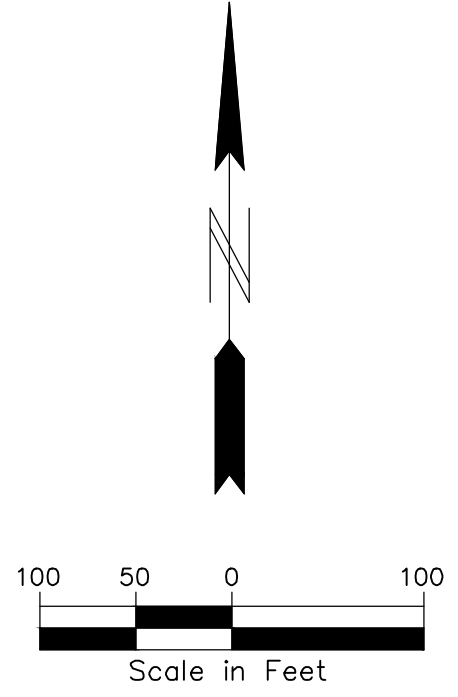
TAVERA 4TH ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____



THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

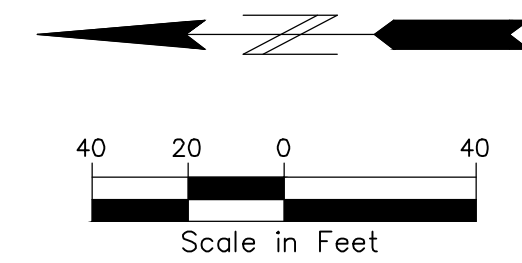
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.



TAVERA 4TH ADDITION

INSET A

R.T. DOC. NO. _____
C.R. DOC. NO. _____



THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

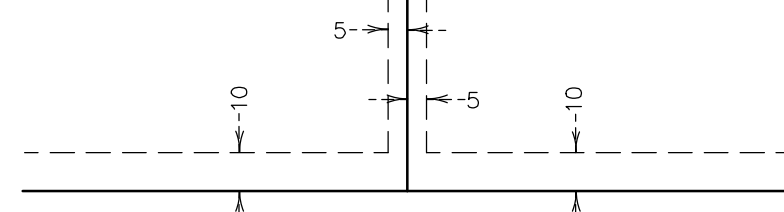
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

TAVERA 4TH ADDITION

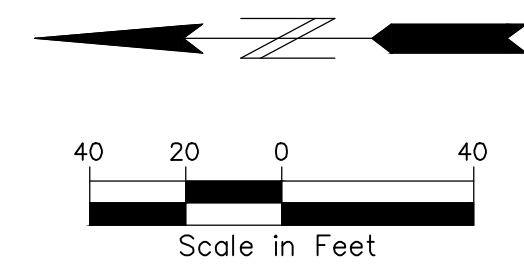
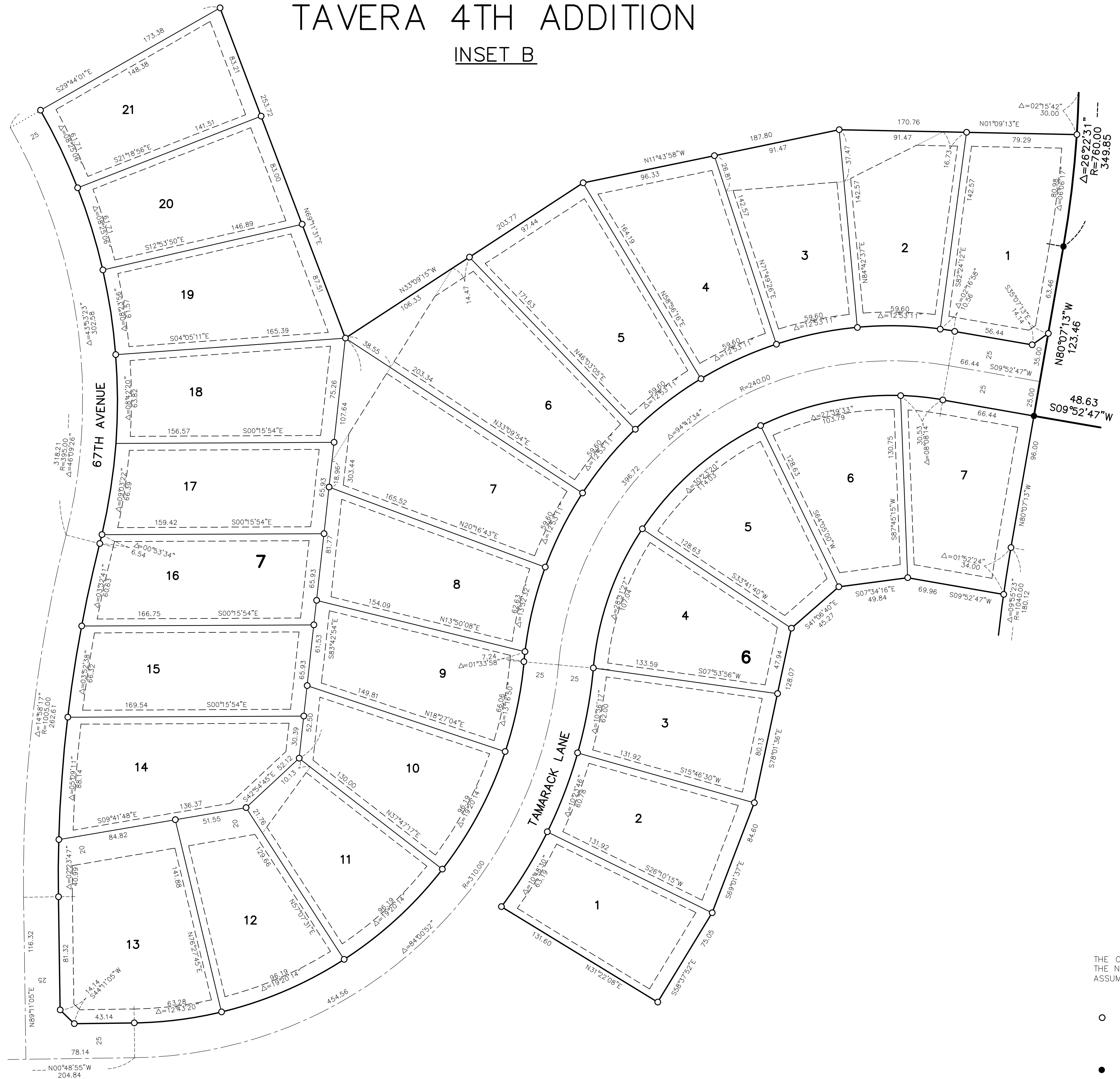
INSET B

R.T. DOC. NO. _____
C.R. DOC. NO. _____

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and being 10 feet in width and adjoining right of way lines unless otherwise indicated on this plat.

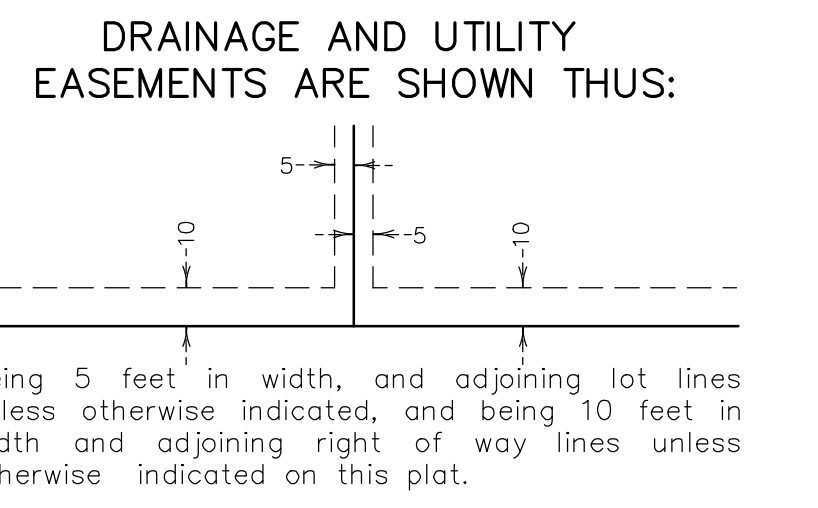


THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32\"/>

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED.

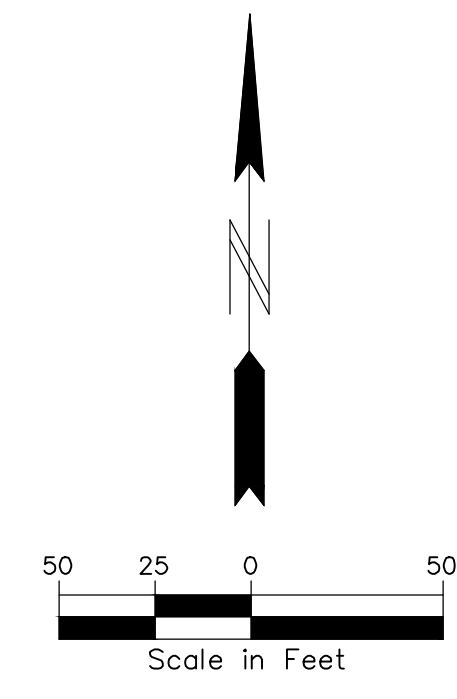
TAVERA 4TH ADDITION INSET C

R.T. DOC. NO. _____
C.R. DOC. NO. _____



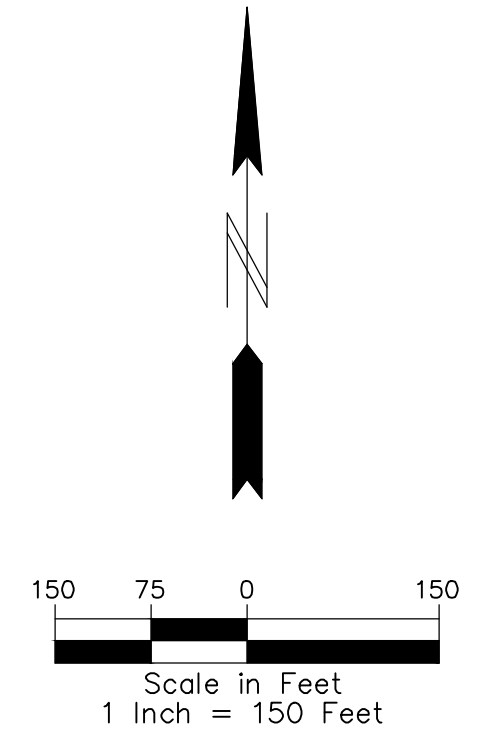
THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF SEC. 35, TWP. 119, RGE. 23, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 89°54'32" EAST.

○ DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT TO BE SET AND MARKED BY LICENSE NUMBER 42299 IN ACCORDANCE TO MS SECTION 505.021, SUBD. 10.



TAVERA 4TH ADDITION

AREA SKETCH



AREA SUMMARY		
BLOCK 1 =	16,984 SF.	0.3899 AC.
BLOCK 2 =	61,259 SF.	1.4063 AC.
BLOCK 3 =	34,692 SF.	0.7964 AC.
BLOCK 4 =	25,476 SF.	0.5848 AC.
BLOCK 5 =	43,396 SF.	0.9962 AC.
BLOCK 6 =	69,408 SF.	1.5934 AC.
BLOCK 7 =	352,457 SF.	8.0913 AC.
BLOCK 8 =	412,221 SF.	9.4633 AC.
BLOCK 9 =	48,845 SF.	1.1213 AC.
TOTAL LOT AREA =	1,064,677 SF.	24.4415 AC.
TOTAL OUTLOT AREA =	4,278,325 SF.	98.2169 AC.
TOTAL R/W AREA =	241,141 SF.	5.5358 AC.
TOTAL AREA =	5,584,599 SF.	128.2047 AC.

STAFF REPORT

Agenda Item: 8e.

City Council Meeting: March 28, 2024	Prepared By: Kendra Lindahl, AICP
Topic: Sketch Plan for “Corcoran Industrial Northeast” at 10585 County Road 101 (PID 01-119-23-11-0001) (city file no. 24-010)	Action Required: Review and Comment

Review Deadline: April 29, 2024

1. Request

Hempel Real Estate has submitted a request for review of a sketch plan for an industrial park on the property at 10585 County Road 10. The applicant asks for Council feedback before proceeding with the environmental review process and formal submittal.

2. Context

Zoning and Land Use

The 80.67-acre site is guided Light Industrial in the Comprehensive Plan and zoned Light Industrial (I-1). The site is located within the Metropolitan Urban Service Area (MUSA) in phase I of the sewer staging plan. The site is also subject to the Northeast District Design Guidelines. This is the only remaining parcel of industrial land in the Northeast District.

Surrounding Properties

All surrounding properties are located within the MUSA and Northeast District. The properties to the north are in the city of Rogers and are planned for residential uses and protected natural resources. Properties to the east across County Road 101 are in the city of Maple Grove and planned for low density residential. The property to the south is guided and zoned Light Industrial and developed as North Central International (formerly known as Nelson International). The property to the west is guided Mixed Use and Low Density Residential, zoned

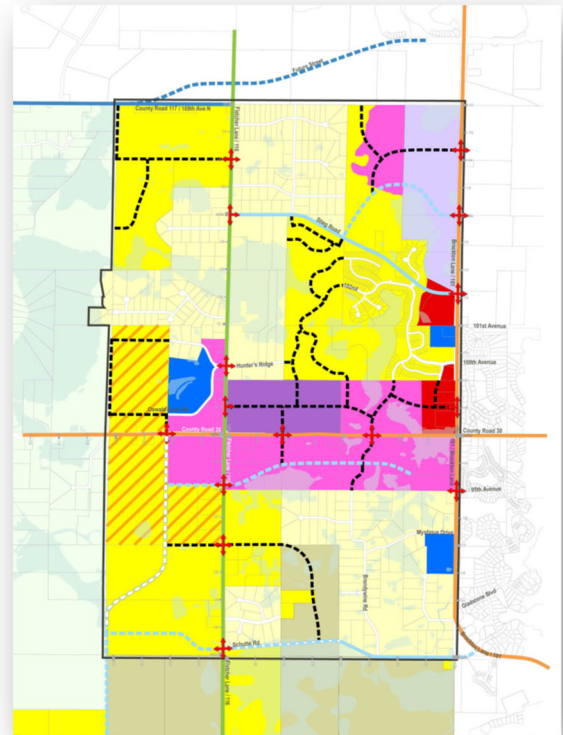


Figure 1- Northeast District Plan

General Mixed Use and Single Family Residential 2 (RSF-2) and developed with the Stieg farm.

Natural Characteristics of the Site

The wetland delineation shows a wetland on the north and two wetlands on the south portion of the site. The Natural Resources Inventory (NRI) map identifies wetlands on the south portion of the site and these are shown as medium quality wetlands on the Natural Resource Communities Quality Ranking map. The Parks and Trails map shows that same area as part of the Greenway Corridor.

3. Analysis

Concept Plan

The concept plan includes two buildings intended for commercial distribution and/or manufacturing. Both uses are permitted in the I-1 zoning district. The east building is 340,000 square feet and the west building is 200,000 square feet.

The concept orients the truck docks and trailer parking between the building to screen from adjacent properties. Stormwater ponding is planned on the perimeter of the site and intended to be coordinated with landscaping to buffer from the new public streets and adjacent properties.

The applicant intends to apply for approval of a business park development under standard zoning. "The purpose of the I-1, Light Industrial District is providing for the establishment of warehousing and light industrial development. The overall character of the I-1 District is intended to have a low impact manufacturing/warehouse character. Industrial uses allowed in this district shall be limited to those which can compatibly exist adjacent to both lower intensity business uses and high intensity manufacturing uses and which have limited amounts of truck traffic. Because I-1 may abut residential uses the I-1 uses are regulated in height, lot coverage, setbacks, landscaping, loading and use type so as to facilitate compatibility between these uses and residential development. New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area."

Lot Standards and Building Setbacks

The applicant indicates that the site will be developed in two phases with the eastern building in phase 1. The property will be required to be platted to accommodate new public streets. The two building lots will be separated by north-south lot line dividing the truck court, but no internal lot lines are shown on the plans. The concept appears to indicate two platted lots and two outlots. The lots would need to comply with the I-1 district standards shown in the table below:

	Required
Minimum lot area	1 acre
Minimum lot width	100 ft.
Minimum lot depth	200 ft.
Setbacks	
Front, from major roadways	100 ft.
Front, from all other streets	50 ft.
Side	20 ft.
Rear	20 ft.
Adjacent to residential	50 ft.
Maximum Principal Building Height	45 ft.
Maximum impervious surface coverage**	70%

The buildings appear to comply with the minimum setback requirements from front lot lines, but internal lot lines are not shown on the concept plan. A variance will be requested to allow a zero setback for internal parking and loading areas and this is discussed in the parking section of the staff report.

Buildings/Architecture

The applicant has not provided any architectural details for the proposed buildings but has provided some conceptual renderings. Building design must comply with Section 1060.050, Subd. 1(C) which provides standards for buildings in non-residential zoning districts.

Additionally, the applicant must comply with the Northeast District standards for materials and be designed to break up long elevations.



Figure 2 - conceptual building elevations

Parking and Drive Aisles

Section 1060 of the Zoning Ordinance establishes the minimum number of parking spaces required based on the gross sq. ft. of floor area for each land use. The plans show 402 parking stalls and 138 trailer parking spaces. The uses are currently undefined, but this would appear to meet the parking requirements for a warehouse/distribution center with limited office space. The final parking calculation would be determined with the plat and site plan application.

Section 1060.060 requires that parking and drive aisles be setback 100 feet from County Road 116 and County Road 30, 50 feet from new public streets and 10 feet from the side and rear property lines. The concept plan shows compliance with the setback standards except for the internal truck court. The trailer parking spaces are located in the truck court and would be screened from the new public street by an 8-foot berm.

The applicant will create a lot for each of the buildings and request a zero setback for shared parking, loading or drive aisles. This will require a variance.

- This type of zero setback in a business park is common (and is allowed in the GMU district), but the Council should provide feedback on the potential variance.
- In lieu of the variance, the applicant could request an ordinance amendment to allow a zero setback for developments such as this.

The Northeast District standards include additional parking requirements:

- Bike racks are required to be provided.
- Parking bays shall have landscape islands at each end of the parking bay and bays in excess of 15 spaces in length shall be divided by intermediate islands. Trees are required in these islands. End island must be at least 360 square feet of area and Intermediate landscape islands shall provide at least 180 square feet of planting area. The plans appear to show compliance for the standard parking stalls.
 - The trailer parking in the truck court does not provide the internal islands but does provide islands on the ends of the rows. The truck parking area would not function well with those islands. Staff does not believe the standards were intended for truck parking areas like this, but the ordinance does not provide an exemption. The applicant will be required to request a variance or a code amendment. Council should provide direction.
- A landscape buffer shall be provided between all parking areas and the public sidewalk. The buffer shall consist of shade trees, low shrubs or perennial flowers and a decorative fence or masonry wall. Plantings and parking lot screen walls or fences shall be no less than three feet and no more than four feet in height to allow views into and out of parking areas. There is an 8-foot landscaped berm screening the truck bays and a 3-foot berm adjacent to the parking areas.

The plans appear to show compliance, but additional details would need to be provided with the preliminary plat submittal to confirm.

Landscaping

The Northeast District Guidelines recommend site layout and landscaping should be designed to work with the existing topography of the area, wooded areas, wetlands and natural viewsheds and corridors. Landscaping in the Northeast District must be selected from a list of approved landscape materials.

The site is subject to the landscape standards in Section 1060.070 which requires the following:

- One overstory tree per 1,000 sq. ft. of gross building floor area or one tree per 50 lineal ft. of site perimeter, whichever is greater.
- One understory shrub for each 300 sq. ft. of building or one tree per 30 lineal ft. of site perimeter, whichever is greater.
- The planting screen shall consist of hardy trees that will provide a minimum of 80% opacity year-round. Planting screens shall contain a mix of overstory and understory planting and a mix of deciduous and coniferous materials.

The proposed plans show 542,000 square feet of building area which would require 540 overstory trees and 1,807 shrubs, based on the gross building floor area for the development. The landscape plan assumed only 500,000 square feet of building and showed compliance with that requirement. The final plan will determine landscape requirements and will be confirmed with the formal application.

Section 1060.060 requires that parking areas with four or more stalls shall be screened from properties zoned residential and from public streets. Screening to a height of at least three ft. shall be provided to screen vehicle headlights. The concept plan shows compliance.

Section 1060.060, Subd. 3(B.9) of the Zoning Ordinance prohibit off-street loading areas within 300 ft. of residentially zoned or guided property unless they are screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100% opacity to a height of at least 10 ft. The plans show compliance with these requirements.

The Northeast District guidelines take these standards a step further and require Loading docks or overhead doors shall be oriented away from County Roads or residential property wherever reasonable, as determined by the City. If not reasonable and the loading docks or overhead doors are visible from County Roads or residential property, they shall be screened to 80% opacity year-round consistent with Section 1060.070 Subd. 2(J) of the City Code.

- The plan shows the buildings more than 300 feet from the residential property to the west and the loading areas are fully screened from the east and west by the building. An 8-foot landscape berm is provided north and south of the loading area to provide screening. *This concept appears to comply with both the Section 1060 and Northeast District requirements.*

Buffer Yard

In addition to the landscaping requirements noted above, Section 1060.070, Subd. 2.J.1 requires buffer yards to be provided in perpetuity. Easements shall be required over the buffer yard to protect in perpetuity. The code requires the developer to provide a Buffer Yard D on the in the southeast corner (shown by the red circle in Figure 2) because the adjacent is zoned RSF-2. However, the code allows the Council to waive the buffer requirement when there are existing topographical features on vacant lands such as hills and swales. Existing topographical features on vacant lands such as hills and swales.

- Council has the discretion to waive the buffer requirement in the southeast corner. Staff believes that retaining the natural areas adjacent to the wetland meets the intent of the buffer requirement, but Council should provide direction.



Figure 3 Buffer Yard

Parks and Trails

Under the current ordinance, park dedication of land is required at 4% of the net pre-development area for Commercial and Industrial land or market equivalent in cash. Net acreage is not available at this time; 3.23 acres of park land dedication would be required based on the gross land area. Wetlands on site will impact the final park dedication area calculations (net and gross) which must be provided with final plat application. The park dedication may be a combination of land for the trail and cash to satisfy the park dedication requirements.



Figure 4-Diamond Lake Regional Trail

The Parks and Trails Plan map from the Comprehensive Plan identifies a proposed off-road trail along the length of the west property line. However, since the comprehensive plan was completed, the Three Rivers Park District Diamond Lake Regional Trail alignment has been modified. The image on the left shows that the regional trail would be located on the property next door. The applicant must work with the City and Three Rivers Park District to determine whether an off-road trail will be required on this property. A 20-foot easement would be required for any off-road trail. Park dedication credit would be given for the net acreage of the easement for off-road trails shown on the Comprehensive Plan. An on-road trail is planned on County Road 101 and on the future County Road 117 extension to the north in Rogers.

Additionally, the Northeast district plan requires a sidewalk on side and a trail on the other side of the collector street (the south street) and sidewalks on both sides of the

local street (the north street). The plans show a trail on the north side of the collector street but no sidewalk and a sidewalk on only one side of the local street. This is not consistent with the standards and should be updated. Staff notes that those streets both abut outlots not planned for development but the option for pedestrian routes on both sides of the new streets provides more options for connection when the property to the west is developed.

Access/Streets

The Northeast District was developed in conjunction with and using funds from Hennepin County. The location of the accesses onto County roads was conceptually approved by Hennepin County as part of that plan, but Hennepin County will review those access points as part of a formal development application.

The concept plan is consistent with the street plan in the Northeast District. The plan shows extension of the public street at the Nelson International access as planned with that project and a new public street on the north side of the project as planned. This road location allows the developer to avoid the northern wetland and comply with County spacing guidelines.

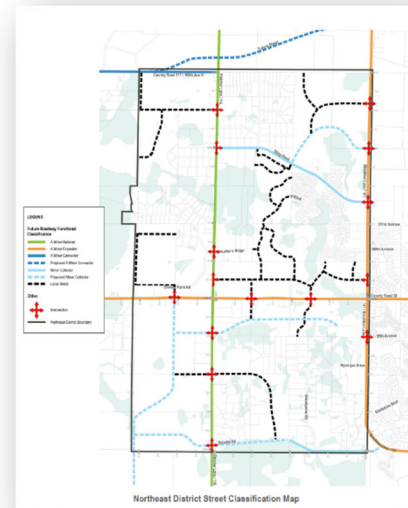


Figure 5 - NE district street plan

While not required, the City shared this concept with the City of Maple Grove. The city provided comments that have been included in the packet. The City of Maple Grove has plans for a street connection further south, but that location would make industrial development in Corcoran very difficult. City staff will continue to work with Hennepin County on the access location. We anticipate that turn lanes will be required to be constructed on County Road 101 for the northern access.

The plans show an 80-foot right-of-way for the south road and a 60 ft. right-of-way for north road. This is consistent with the Northeast District standards.

The attached engineer's memo provides additional comments on this plan. A feasibility study would be completed in conjunction with the environmental review for the site. This would include a full traffic study.

Utilities

The site is located within the MUSA boundary and will be served by sewer and water. The applicant will be responsible for extending utilities to serve the site. These requirements will be further evaluated as part of the feasibility study that will be completed as part of the EAW.

The NE water study identified a potential well location on this property. The City will evaluate the need for a well lot to be dedicated as part of the feasibility study.

Stormwater

As part of the development review plan, the applicant would be required to comply with state, watershed and local stormwater standards.

The Northeast District guidelines describe a mix of ponds, fountains and other water elements providing focal amenities should be employed within a framework of an environmentally responsible and visually pleasing strategy to manage stormwater.

A stormwater management plan shall be provided by the applicant to confirm the proposed stormwater facilities are in accordance with the City of Corcoran and watershed standards.

There is FEMA floodplain in the north portion of the site. The stormwater management system shall be outside the floodplain.

Public Safety

Public Safety Committee reviewed the plans and provided attached letter regarding access and fire code issues.

Other Northeast District Standards

In addition to the items previously discussed, the Northeast District requires all new developments to include at least three of the following resiliency options: xeriscaping, rain gardens/bio retention systems, landscaping with native species, green rooftops, aesthetic design, urban gardens, solar/wind energy or electric vehicle infrastructure. At this time, it is unclear which of these may be incorporated except that the plans do show some public plaza spaces.

Environmental Assessment Worksheet (EAW)

An EAW is required for the warehousing or light industrial facilities that exceeds 300,000 sq. ft. An EIS is required if the facility exceeds 750,000 sq.ft. An EAW will be required for this project.

The EAW is not meant to approve or deny a project, but instead act as a source of information to guide approval and permitting decisions.

If the Council supports the concepts as shown by the applicant, City staff would prepare a scope of work, schedule and cost estimate for the EAW. No formal development application (preliminary plat, site plan, etc.) may be approved until the EAW process is complete.

Summary

The proposed uses appear to be consistent with the uses allowed in the BP district and the only variance specifically called out by the applicant is a parking setback variance internal to the site.

The next steps would be:

1. Completion of the EAW
2. Application for Preliminary Plat, Variance and Site Plan Approval
3. Application for Final Plat (and Development Contract) Approval.

4. Recommendation

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

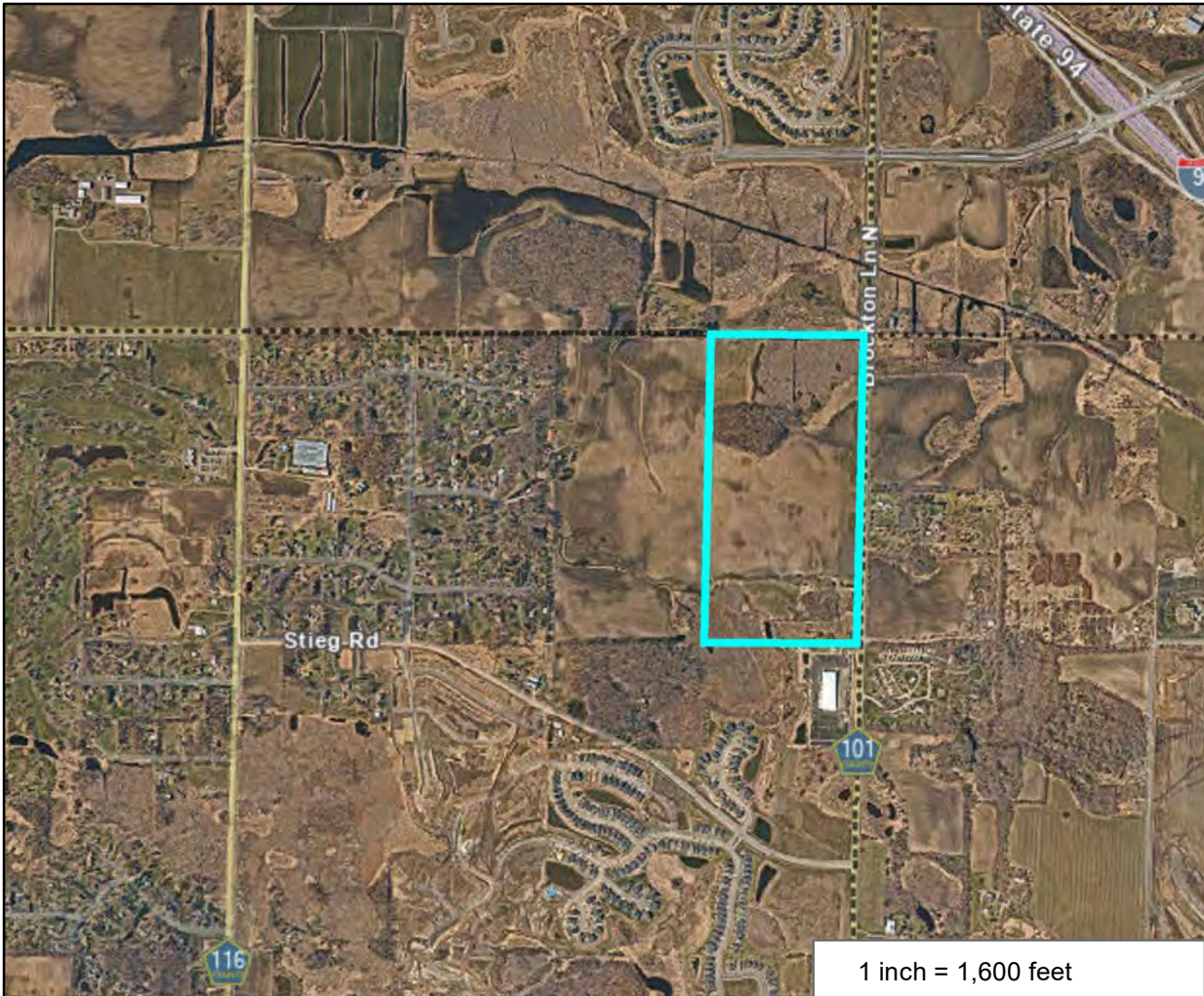
Attachments

1. Site Location Map
2. Concept Site Plan and Example Elevations received January 29, 2024
3. Narrative received January 29, 2029
4. City Engineer Memo dated March 19, 2024
5. Public Safety Memo dated March 6, 2024
6. Hennepin County email dated March 6, 2024
7. City of Maple Grove comments received March 20, 2024
8. Land Use Plan
9. Parks and Trails Plan Map



Hennepin County Property Map

Date: 3/20/2024



PARCEL ID: 0111923110001

OWNER NAME: Lakeview Development Co Llc

PARCEL ADDRESS: 10585 Co Rd No 101, Corcoran MN 55374

PARCEL AREA: 78.85 acres, 3,434,844 sq ft

A-T-B: Abstract

SALE PRICE: \$1,750,000

SALE DATE: 02/2021

SALE CODE: Excluded From Ratio Studies

ASSESSED 2023, PAYABLE 2024

PROPERTY TYPE: Farm

HOMESTEAD: Non-Homestead

MARKET VALUE: \$2,269,800

TAX TOTAL: \$23,135.36

ASSESSED 2024, PAYABLE 2025

PROPERTY TYPE: Farm

HOMESTEAD: Non-Homestead

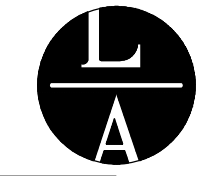
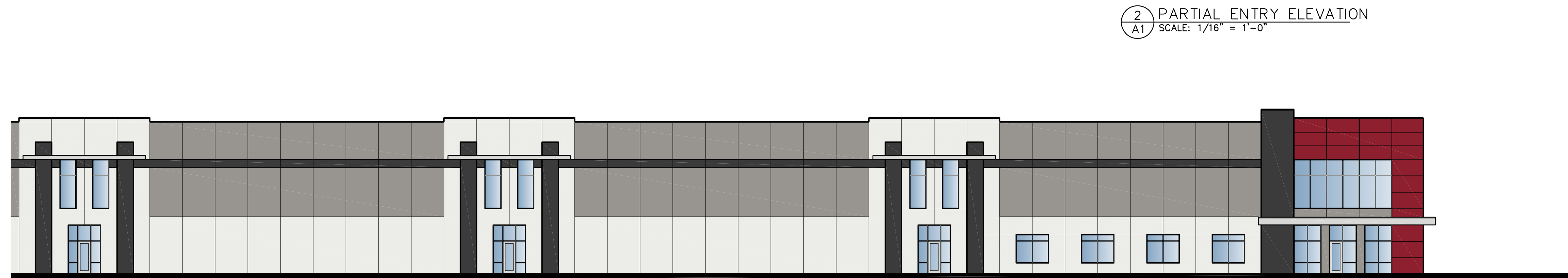
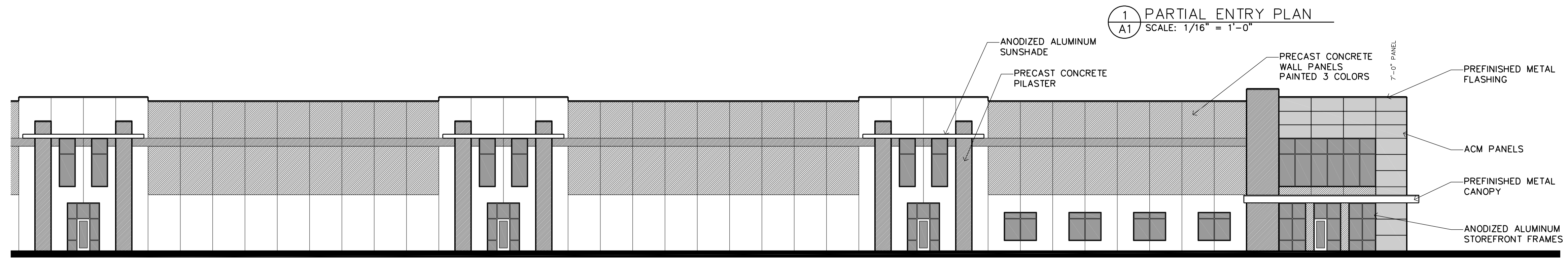
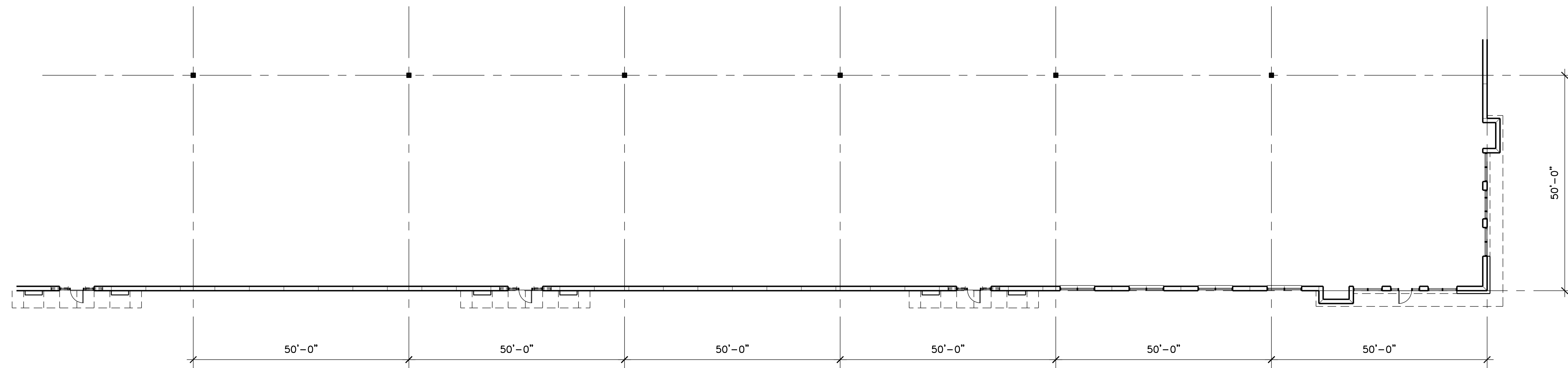
MARKET VALUE: \$2,269,800

Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN COUNTY 2024





LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR CONSTRUCTION

SIGNATURE
LEONARD LAMPERT
PROJECT
13669
LICENSE NO.
DATE

CORCORAN INDUSTRIAL
Corcoran, Minnesota

Copyright 2024
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

2/20/24 PRELIMINARY

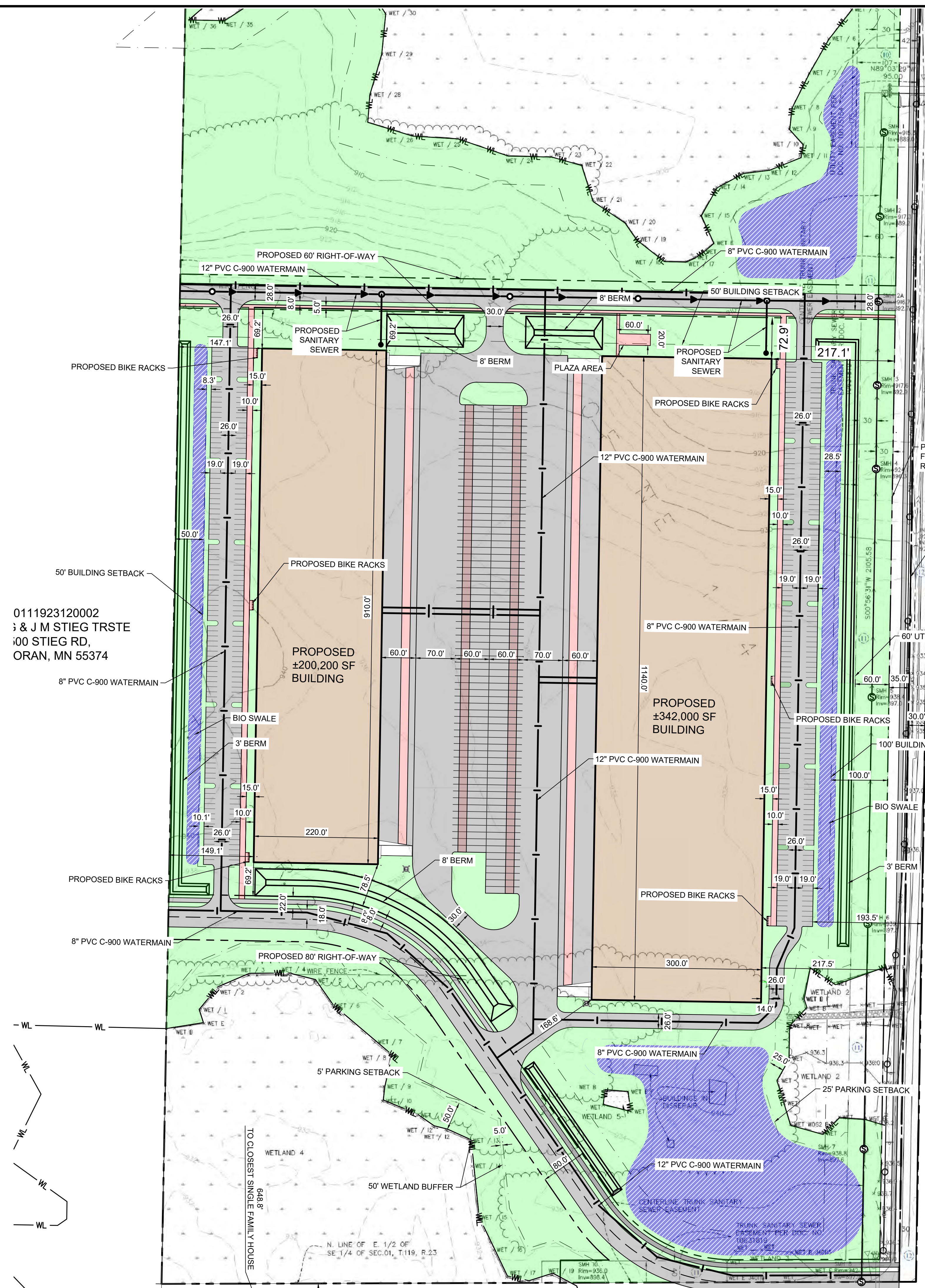
CONCEPT PLAN
AND ELEVATION

Sheet Number

A1

Project No. 240201-1

G:\Marketing\HEMPER\Corcoran\3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg February 27, 2024 - 2:30pm
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



0111923120002
 J & J M STIEG TRSTE
 100 STIEG RD,
 ORAN, MN 55374

P
 DOAA M
 76 AD
 MAPI

PID: 0611922
 THERESA PRI
 10660 BROCKT
 MAPLE GROVE,

PII
 SOURC
 1065
 MAPL

PID: 06
 SOURCE L/
 76 ADDRESS
 MAPLE GF

LEGEND

	PROPERTY LINE
	SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT
	PROPOSED SCREEN
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED BIO SWALE
	ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	CONCRETE PAVEMENT SEE DETAILS FOR SECTION
	LANDSCAPE AREAS SEE GRADING PLAN FOR DETAILS
	STORM WATER AREA SEE GRADING PLAN FOR DETAILS
	BUILDING SEE SITE PLAN FOR DETAILS

PROPERTY SUMMARY

TOTAL PROPERTY AREA	80.67 AC
PROPOSED IMPERVIOUS AREA	28.78 AC (35.7%)
PROPOSED PERVIOUS AREA	51.89 AC (64.3%)
AREA OF WETLAND IMPACT	21.36 AC

SITE DATA

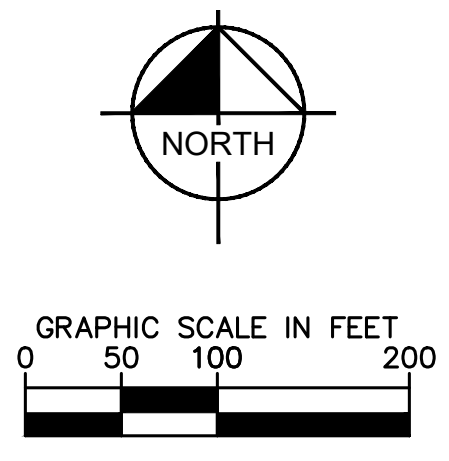
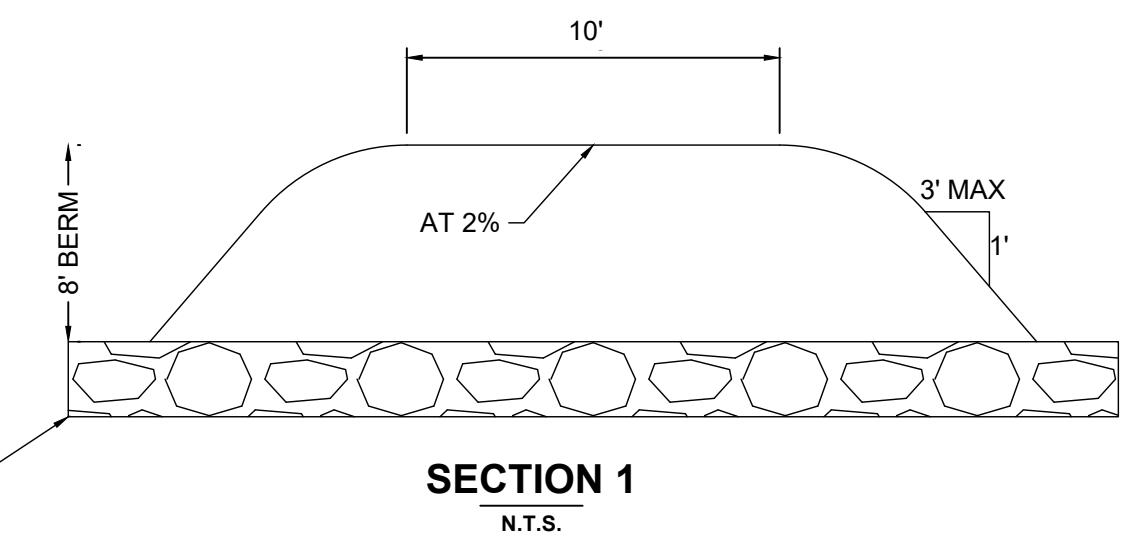
EXISTING ZONING	I-1 LIGHT INDUSTRIAL
PROPOSED ZONING	I-1 LIGHT INDUSTRIAL
PROPOSED LAND USE	INDUSTRIAL
BUILDING SETBACKS	RIGHT OF WAY (MAJOR) = 100' RIGHT OF WAY (MINOR) = 50'

BUILDING DATA

TOTAL BUILDING AREA (EAST)	±300,000 SF
TOTAL BUILDING AREA (WEST)	±200,000 SF
PERCENT OF TOTAL PROPERTY AREA	14.23%
MAXIMUM BUILDING HEIGHT	45 FT
MAXIMUM IMPERVIOUS COVERAGE	70%

PARKING SUMMARY

REQUIRED PARKING	334 SPACES @ 1/1,500 SF
PROPOSED PARKING (PASSENGER)	372 SPACES
PROPOSED PARKING (TRAILER)	138 SPACES



 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-465-4197 WWW.KIMLEY-HORN.COM	REVISIONS No. DATE BY
CONCEPT SITE PLAN	
PRELIMINARY - NOT FOR CONSTRUCTION PREPARED FOR CORCORAN INDUSTRIAL HEMPER CORCORAN	
SHEET NUMBER EX-1A	



LEGEND

	PROPERTY LINE
	SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT
	PROPOSED SCREEN
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED BIO SWALE
	ASPHALT PAVEMENT SEE DETAILS FOR SECTION
	CONCRETE PAVEMENT SEE DETAILS FOR SECTION
	LANDSCAPE AREAS SEE GRADING PLAN FOR DETAILS
	STORM WATER AREA SEE GRADING PLAN FOR DETAILS
	BUILDING SEE SITE PLAN FOR DETAILS

PROPERTY SUMMARY

TOTAL PROPERTY AREA	80.67 AC
PROPOSED IMPERVIOUS AREA	28.16 AC (34.9%)
PROPOSED PERVIOUS AREA	52.51 (65.1%)
WETLAND AREA	20.42 AC

SITE DATA

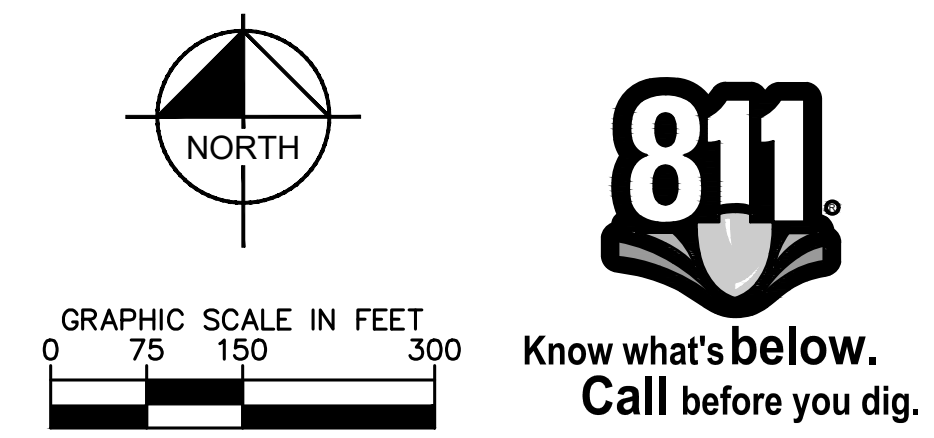
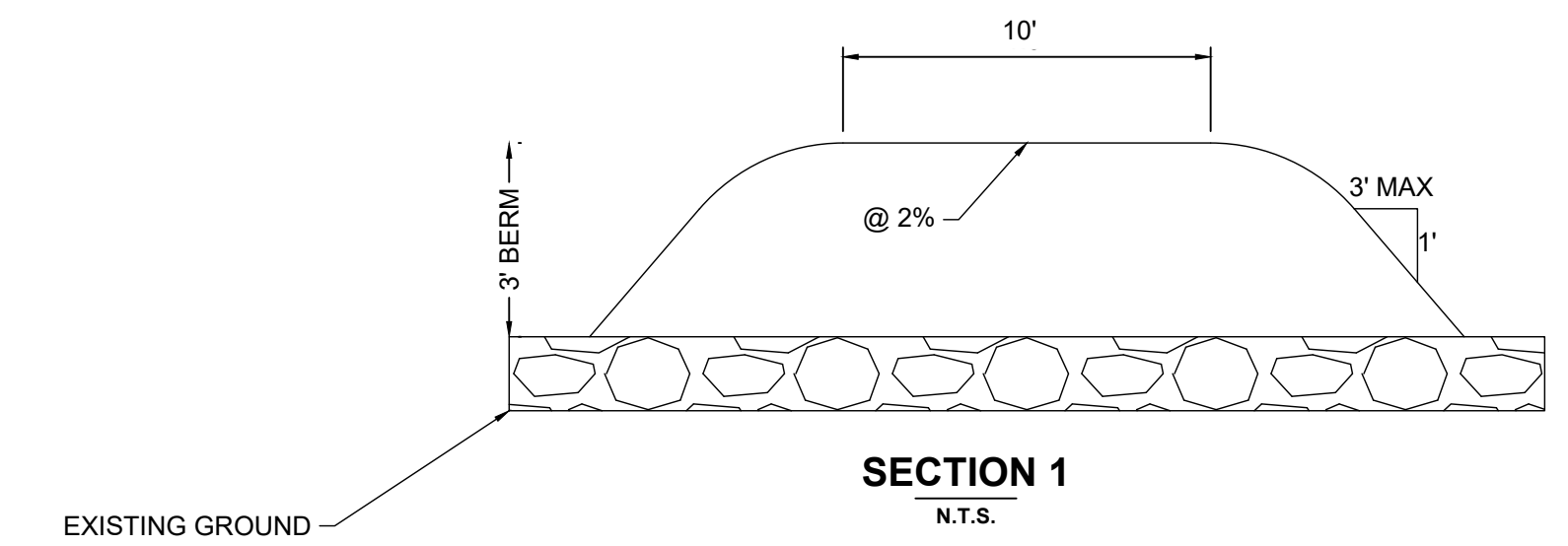
EXISTING ZONING	I-1 LIGHT INDUSTRIAL
PROPOSED ZONING	I-1 LIGHT INDUSTRIAL
PROPOSED LAND USE	INDUSTRIAL
BUILDING SETBACKS	RIGHT OF WAY (MAJOR) = 100' RIGHT OF WAY (MINOR) = 50'

BUILDING DATA

TOTAL BUILDING AREA (EAST)	±342,000 SF
TOTAL BUILDING AREA (WEST)	±200,000 SF
PERCENT OF TOTAL PROPERTY AREA	15.42%
MAXIMUM BUILDING HEIGHT	45 FT
MAXIMUM IMPERVIOUS COVERAGE	70%

PARKING SUMMARY

REQUIRED PARKING	334 SPACES @ 1/1,500 SF
PROPOSED PARKING (PASSENGER)	402 SPACES
PROPOSED PARKING (TRAILER)	138 SPACES



PRELIMINARY - NOT FOR CONSTRUCTION

CORCORAN INDUSTRIAL

PREPARED FOR
HEMPEL

CORCORAN

SHEET NUMBER
EX-1B

CONCEPT SITE PLAN

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-685-4197
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY



HEMPEL

10050 Crosstown Circle
Suite 600
Eden Prairie, MN 55344

T 612 355 2600
F 612 355 2801

February 28, 2024

RE: Written Narrative - Corcoran Industrial Northeast

1. Property:

10585 County Road 101 (PID: 0111923110001)

2. Proposed Development Description:

- A. The proposed development includes two primary industrial buildings intended for commercial distribution and/or manufacturing.
- B. The east building will be approximately 340,000 square feet.
- C. The west building will be approximately 200,000 square feet.
- D. The site design is the focused screening of loading docks and trailer parking from the surrounding area by creating an interior "truck court" between the two buildings.
- E. The building exterior will meet or exceed best in market design and included glass, composite architectural metals panels, and precast concrete wall panels with articulation and accent reveals.
- F. The proposed development includes construction of approximately 1,500 lineal feet of public local street and sidewalk as well as 1,600 lineal feet of public collector street and trail; both constructed and paid for by the developer without any City or taxpayer funding.
- G. The proposed development includes 500 square public plaza space that will include decorative paving, landscaping, bicycle storage, and seating. The public plaza shall be paid for by the developer without any City or taxpayer funding.

- H. The proposed site plan works with the existing topography, and around existing wetlands, and trees to the greatest extent possible, leaving nearly 30% of the site untouched.
- I. The landscape plan introduces a rain garden/bioretention systems at each building to capture and infiltrate stormwater runoff as well as removal of contaminants contained within the runoff.
- J. The landscape plan introduces heavily landscaped 3-foot berms along the east and west sides of the property as well as heavily landscaped 8-foot tall berms flanking the north and south sides of the truck court which will effectively conceal this area from the view of adjacent properties.
- K. The landscape plan will introduce over 500 new trees and 1,500 new shrubs to the property.

3. Zoning Analysis

- A. The properties light industrial zoning is appropriate for the proposed development.
- B. The proposed development may be delivered in two phases, the eastern building, and adjacent roadways in phase 1 and the western building and adjacent roadways in phase 2.
- C. Due to the potential of phased delivery the proposed development seeks to subdivide the property with a north-south property line demising the internal truck court.
- D. To maximize landscaping area at the overall property boundary and as well as concealment of the interior truck court the site plan requests a "zero" lot line setback variance at the newly created internal property line. A private REA that governs the use and access of the truck court and supporting areas will be recorded between two property Owners.

To: Kevin Mattson, PE, PW Director City of
Corcoran

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Corcoran Industrial NE Concept Plan

Date: March 19, 2024

Exhibits:

This Memorandum is based on a review of the Corcoran Industrial NE site concept plan by Hempel Development with the following documents;

- Concept Plan for Corcoran Industrial NE by Kimley Horn. The concept shows 542,200 SF of industrial space amongst two buildings.

Comments:General:

1. Comments provided are preliminary based on the Concept Plan provided. Additional comments should be anticipated on future submittals that include more details of the development.
2. In addition to engineering related comments, the proposed plans are subject to the review of Planning, Zoning, Public Safety, and all other applicable codes and standards of the City of Corcoran, NPDES, ECWMC, Hennepin County, etc.
3. A feasibility study will be conducted on the development with the preliminary plat approval to review the development impacts on transportation system, stormwater system, and public utility system.

Plat:

4. The applicant should provide the necessary drainage and utility easements and all platting requirements are met per the City Code. Drainage and utility easements shall be provided per City requirements.
5. Easements should be provided over any/all public infrastructure as applicable.
6. Easements should be provided over all infrastructure used for the maintenance, conveyance and treatment of stormwater.
7. Any existing easements should be provided to the City for review. Vacation of existing easements currently in place requires a separate City process and should be identified in the project schedule.

Transportation

8. The turn lanes for the southern access were constructed with the adjacent development. With that development, a private driveway was constructed into the adjacent facility at 10409 County Road 101 (Nelson International). The public roadway will need to be installed in this location and the private driveway adjusted from the current eastern facility entrance to a future western facility entrance. Roadway easements were obtained from Nelson International to allow for the roadway to be constructed on the shared property line.
9. The northern access point shall be reviewed and approved by Hennepin County. It is anticipated that turn lanes will need to be constructed along County State Aid Highway (CSAH)101 at that location.

March 19, 2024

Corcoran NE Industrial Concept

Kevin Mattson

Page 2 of 3

10. The concept plan identifies a 60' ROW for the northern local road and an 80' ROW for the southern collector road. These are consistent with the NE District Plan and final ROW and easement determinations will be made during the development planning to ensure it is adequate for the necessary streets and utilities.

Stormwater, FEMA, and Wetlands

11. A stormwater management plan will be required in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
12. Reference the City of Corcoran Stormwater Guidelines for Development Review for standards for stormwater systems and modeling.
13. FEMA Zone A floodplain is located along the northern portion of the development. Through further analysis and review during the development process, the floodplain elevation and limits shall be determined. This could impact the location of the northern roadway access and the development shall be responsible for mitigating any floodplain impacts.
14. Applicant shall incorporate the final wetland delineations for the site. Applicant shall be responsible for permitting any impacts in accordance with WCA requirements.
15. The wetland buffer zones and wetland buffer signage shall be clearly identified and labeled. If existing vegetation is proposed to be used as wetland buffer, these areas shall be reviewed with the City of Corcoran wetland specialist to determine if they are viable candidates.
16. The site discharges to the north (primarily overland), and southwest (primarily overland) to two large wetland complexes
17. Due to the rural nature of Corcoran conveyance systems, offsite receiving waters will be evaluated to understand any impacts from additional volume.
18. Site plans shall identify stormwater access routes to the ponds and all features of the stormwater management system.
19. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter unless approved by the City Engineer.
20. If filtration is required by ECWMC for the site, the City strongly prefers a NURP pond with filter bench (offset to one side of the pond) be used with adequate maintenance access. The filter bench design is efficient from a land use perspective and requires less future maintenance as compared to other treatment options.
21. The stormwater management system shall be outside of the floodplain. This may affect the northern location of the stormwater management system as shown at concept.

Water

22. The site plan identifies a connection to the trunk watermain at the southeast corner of the site and routing the trunk watermain through the site with a stub to the northwest road connection. An additional local water stub is provided at the southwestern street stub.
23. The trunk watermain through the parking lot will require drainage and utility easements to allow for access and maintenance of the watermain and will require an encroachment agreement if located within the parking lot.
24. A water stub should be provided to the east along the northern roadway to allow for a future connection with adjacent communities. The size and location of the stub to be coordinated with the City.

March 19, 2024

Corcoran NE Industrial Concept

Kevin Mattson

Page 3 of 3

25. A monitoring manhole is located to the northeast of the site prior to the Met Council System. The development plans shall ensure adequate access and space around the structure is maintained.
26. It is assumed that the two 8-inch water lines shown through the site are for fire service and would be privately owned.
27. The applicant shall provide additional information on proposed users and uses at time of feasibility study. Feasibility study will review the available water service ability and determine any associate improvement to provide necessary water service.
28. The NE water study identified a potential future well location within this parcel. The City may require a lot to be dedicated to the City for this well location. Routing of raw water line from well site to property line may be required.

Sewer

29. The sanitary sewer along the north of the site shall be a 15" sewer in accordance with the City Comprehensive plan.



CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

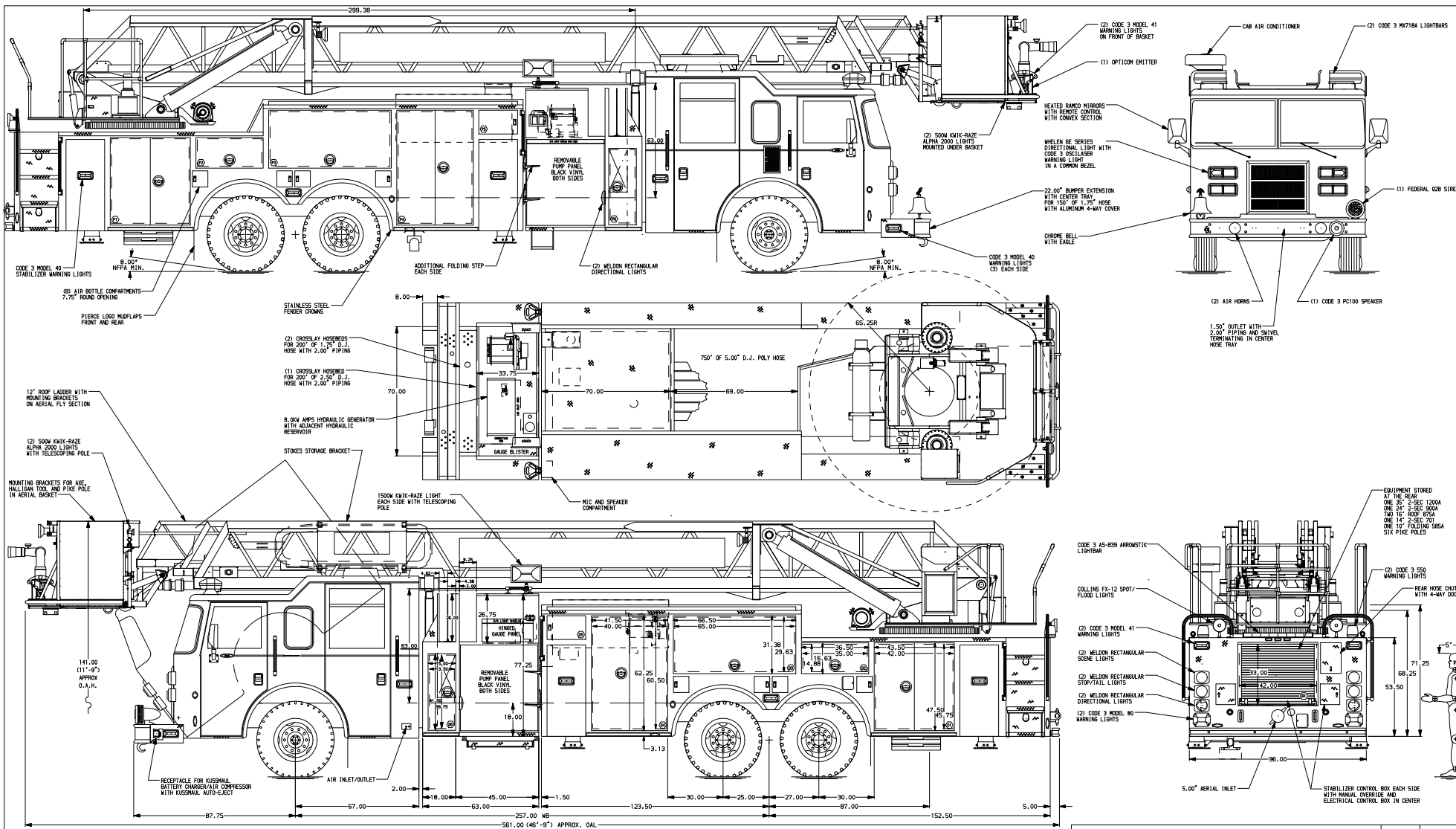
E-mail - general@corcoranmn.gov / Web Site - www.corcoranmn.gov

Memo

To: Planning (Planners Lindahl and Davis McKeown)
From: Lieutenant Burns
Date: March 6, 2024
Re: City File 24-010 NE Industrial Concept Plan

A Public Safety plan review meeting was held on March 6, 2024 to review the submitted application for the Northeast Industrial Concept Plan. In attendance were the following: Police Chief Gottschalk, Lieutenant Burns, Fire Chief Leuer, Deputy Fire Marshall Skow, Building Official Rosenau, Construction Services Supervisor Pritchard, Permit Technician Zuther, and Planner Davis McKeown. The comments below are based on the preliminary review of the concept plan and are intended as initial feedback. Further plan review will need to be completed as construction plans are finalized.

1. Sprinkler riser rooms will be necessary for each building.
2. Fire department access needs to be present as required per Minnesota State Fire Code.
 - Consider locations of high pile storage areas.
 - Fire pump will be required.
3. Fire department connections and enunciator panel will be required.
4. Ladder trucks need to be accounted for with a 30' drive aisle within 30' of one side of a building. The drive aisle can be shared between two buildings. It is easier if these are located on the car parking side instead of on the loading dock/semi-truck side.
5. A circulation plan/turn-radius exhibit is required. There is a specific concern with ability of the "C" curve on the southeast side of the building with 342K square feet to accommodate a fire truck.
 - Fire truck specifications are enclosed with this memo.
6. Final review for fire code will need to be held once final users are secured.
7. Fire hydrants will require approval by the Rogers Fire Chief (Patrick Farrens).



NOTE
 DIMENSIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO MINOR DEVIATIONS AS MAY OCCUR OR BE NECESSARY IN CONSTRUCTION.
 MINOR DETAILS NOT SHOWN.

- | <ol style="list-style-type: none"> 1. MOUNTING BASE FOR ANTENNA LOCATED PER SHOP ORDER 2. AUXILIARY POWER SUPPLY LOCATED P5 3. ADJUSTABLE SHELVES LOCATED, 2-01, 2-04, 2-018 3-04 4. 25TH SCOPPOSITE INTERIOR OF DOOR IN COMPARTMENTS D1, D4, D6, P1, P4 & P6 5. ONE FLOOR MOUNTED SLIDE-OUT TRAY IN COMPARTMENTS D1 & P1 6. ONE ADJUSTABLE TILTING SLIDE-OUT TRAY IN COMPARTMENTS D3 & D4 7. ONE ADJUSTABLE SHELF IN COMPARTMENT P3 8. HOT WATER HEATER IN PUMP COMPARTMENT 9. ONE ADJUSTABLE 62.00" ONE WAY SLIDE OUT TRAY IN COMPARTMENT D6-P6 10. CIRCUIT BREAKER PANEL, IN COMPARTMENT D4 11. 110V POWER TO AERIAL, T1P 12. 3-WAY INTERIOR SYSTEM BETWEEN PLATFORM, PUMP PANEL & TURNABLE BREATHING AIR TO AERIAL, T1P 13. ONE STORAGE BOX AT PLATFORM FOR 100' OF 1.75" HOSE 14. LIFELINES BRACKETS AT AERIAL BASKET 15. LIFESUPPORT RESCUE BASKET SUPPORTS AT AERIAL BASKET 16. MASHBARS BARS IN PLACE OF STANDARD CHAIRS IN AERIAL TRUNKABLE 17. PERIMETER SCENE LIGHTS LOCATED PER SHOP ORDER 18. PERIMETER SCENE LIGHTS LOCATED PER SHOP ORDER 19. 1.50" ALUMINUM TUBING MOUNTED ON FLOOR OF TRANSVERSE AREA OF COMPARTMENTS D6-P6 20. ALUMINUM FIBERGLASS ON REAR WALL OF COMPARTMENTS P1 & P3 21. ONE HANNY ELECTRIC REMAIN CHD REEL MODEL 1620-17-16 LOCATED IN THE CARGO BAY AND ONE LOCATED IN COMPARTMENT D4, EACH WITH 300' OF 1/2" CABLE, ONE 6.00W JUNCTION BOX AND ALUMINUM HOLDER | <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>CHK'D</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>30MAY01</td> <td></td> <td>TCA</td> <td>KWI</td> <td>CHASSIS DATA</td> </tr> <tr> <td>23MAY01</td> <td></td> <td>TCA</td> <td>KWI</td> <td>CHASSIS DATA</td> </tr> <tr> <td>02MAY01</td> <td></td> <td>TCA</td> <td>KWI</td> <td>MODEL</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>DX6710</td> </tr> </tbody> </table> | REV. | DATE | BY | CHK'D | DESCRIPTION | 30MAY01 | | TCA | KWI | CHASSIS DATA | 23MAY01 | | TCA | KWI | CHASSIS DATA | 02MAY01 | | TCA | KWI | MODEL | | | | | DX6710 |
|---|--|------|-------|--------------|-------|-------------|---------|--|-----|-----|--------------|---------|--|-----|-----|--------------|---------|--|-----|-----|-------|--|--|--|--|--------|
| REV. | DATE | BY | CHK'D | DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | |
| 30MAY01 | | TCA | KWI | CHASSIS DATA | | | | | | | | | | | | | | | | | | | | | | |
| 23MAY01 | | TCA | KWI | CHASSIS DATA | | | | | | | | | | | | | | | | | | | | | | |
| 02MAY01 | | TCA | KWI | MODEL | | | | | | | | | | | | | | | | | | | | | | |
| | | | | DX6710 | | | | | | | | | | | | | | | | | | | | | | |

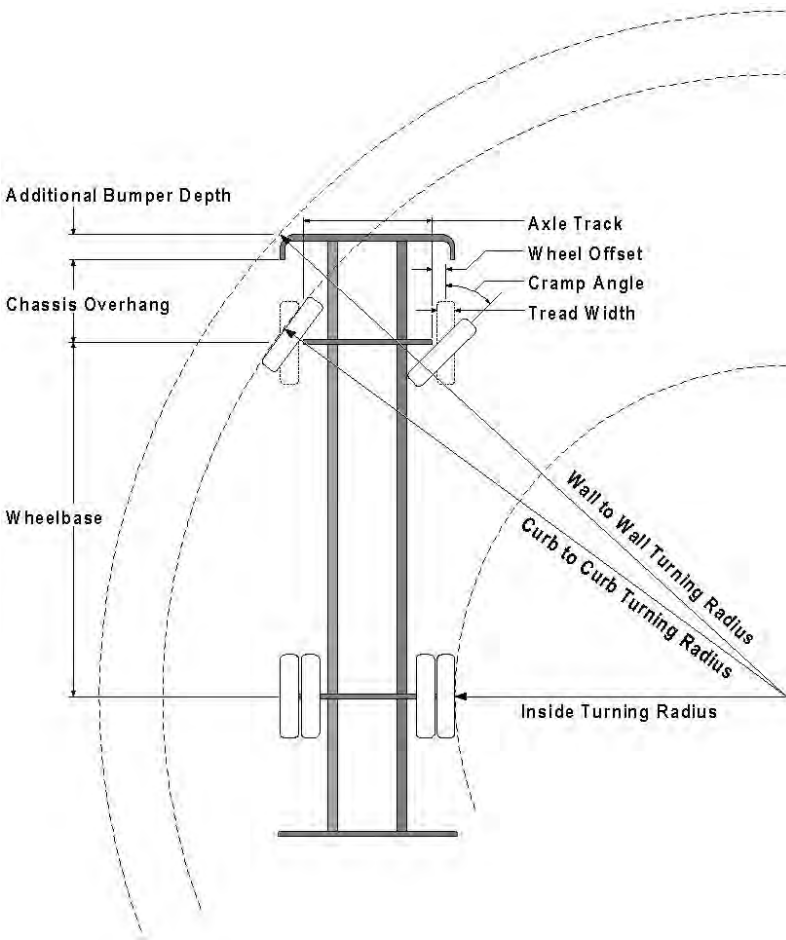
Pierce MANUFACTURING INC.		JOB NO. 12130
MILWAUKEE, WISCONSIN		SCALE 1:24
TITLE 100 AERIAL PLATFORM & BODY ASSEMBLY (PAP2000) 300 GALLON WATER TANK		DATE 06MAR01
FOR CITY OF ROGERS FIRE DEPARTMENT ROGERS, MN		DRAWN BY TKA
DWG. NO. 12130AD		CHK'D BY KWI
REV. DATE BY CHK'D DESCRIPTION		SHEET NO. 1 OF 1

Turning Performance Analysis

02/20/2017

Bid Number: 12130TR
Department: Rogers, City of

Chassis: Dash-2000, Chassis, PAP/SkyArm/Midmount
Body: Aerial, Platform 100', Alum Body



Parameters:

Inside Cramp Angle:	45°
Axle Track:	81.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.70 in.
Chassis Overhang:	65.99 in.
Additional Bumper Depth:	22.00 in.
Front Overhang:	87.99 in.
Wheelbase:	257.00 in.

Calculated Turning Radii:

Inside Turn:	20 ft. 3 in.
Curb to curb:	36 ft. 7 in.
Wall to wall:	44 ft. 8 in.

Comments:

Category:	Option:	Description:
Axle, Front, Custom	0010275	Axle, Front, Meritor FL-943, 21,500#, w/assist, DLX/Qtm/AXT
Wheels, Front	0019618	Wheels, Frt, Alum, Alcoa, 22.50" x 13.00" (425/445)
Tires, Front	0031621	Tires, Michelin, 425/65R22.50 20 ply XZY tread
Bumpers	0012246	Bumper, 22" extended - Sab/CC
Aerial Devices	0022160	Aerial, 100' Pierce Platform

Notes:
 Actual Inside cramp angle may be less due to highly specialized options.
 Curb to Curb turning radius calculated for 9.00 inch curb.

Definitions:

Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

From: [Ashley Morello](#)
To: [Dwight Klingbeil](#)
Cc: [Natalie Davis](#); [Kendra Lindahl, AICP](#); [Clare Riley](#)
Subject: RE: [External] Corcoran Industrial NE Concept Distribution (City File no. 24-010)
Date: Wednesday, March 6, 2024 10:40:28 AM
Attachments: [image001.png](#)
[image002.png](#)

Dwight,

Thanks for sharing.

Overall we're supportive of the two accesses/new public roads connecting to 101. I believe both public roads are planned to connect with Steig Road. I know there has been previous discussions of the southern access, can you confirm that coordination has occurred with Nelson Trucking site?

In terms of the northern access, we're generally supportive, but be sure to share with Maple Grove staff to coordinate further on the final ideal location – and keep us in the loop. For this access, we are anticipating a full future intersection, and we will expect full turn lanes given the proximity to Dayton Parkway. The applicant should plan to provide a NB left and a SB right turn lane.

The applicant will need to make sure their plans adhere to the [County's Ordinance 22](#). In particular, drainage patterns cannot be changed unless approved by county staff. Post-construction flow rates cannot exceed pre-construction rates.

Please keep us informed as this concept progresses. In particular, staff will be interested to see a tree preservation plan once it's available.

Ashley Morello

she/her

Transportation Planning

Office: 612-596-0359

ashley.morello@hennepin.us | hennepin.us



From: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>

Sent: Thursday, February 29, 2024 5:19 PM

To: Kevin Mattson <kmattson@corcoranmn.gov>; Torve, Kent <kent.torve@stantec.com>; Hegland, Steven <steven.hegland@stantec.com>; Ashley Morello <Ashley.Morello@hennepin.us>; Matt Gottschalk <mgottschalk@corcoranmn.gov>; rburns <rburns@corcoranmn.gov>

Cc: Natalie Davis <ndavis@corcoranmn.gov>; Kendra Lindahl <klindahl@landform.net>

Subject: [External] Corcoran Industrial NE Concept Distribution (City File no. 24-010)

CAUTION: This email was sent from outside of Hennepin County. Unless you recognize the sender and know the content, do not click links or open attachments.

Hi all,

Attached are the application materials from Hemple Real Estate for an industrial concept at 10585 County Road 101. We would appreciate any comments you have to be returned by 3/18/2024.

Thank you!

Dwight Klingbeil

Planning Technician

Direct: 763-338-9290



Disclaimer: If you are not the intended recipient of this message, please immediately notify the sender of the transmission error and then promptly permanently delete this message from your computer system.

To: Natalie Davis, Planner, City of Corcoran

From: Peter Vickerman, Planning Manager, City of Maple Grove

Date: March 20, 2024

Subject: Corcoran Industrial NE Concept

Thank you for the opportunity to review and provide commentary on the Corcoran Industrial NE Concept.

We georeferenced the proposed concept plan, along with the Corcoran NE District Plan, and Maple Grove NW-610 Area Master Plan on the included map. Based on the proposed access point on County Road 101 for the northern road, we sketched in Arbor Ridge Parkway on the Maple Grove side.

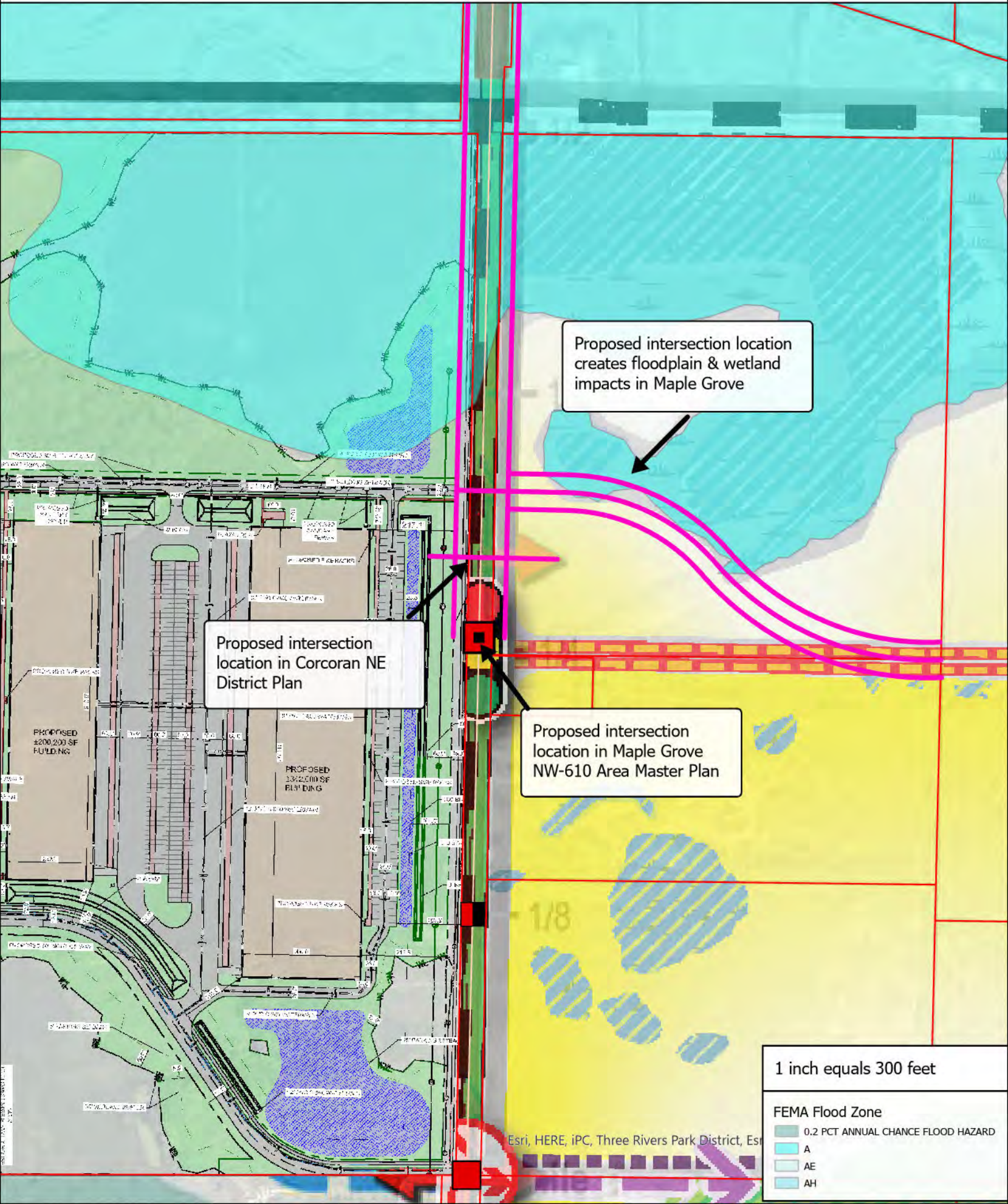
Based on FEMA floodplain shapefiles and internal Maple Grove estimated wetland area, the proposed location of the northern access road would create floodplain and wetland impacts on the Maple Grove side of County Road 101. We note that we have not fully engineered this road location and impacts may be greater than what is shown on this sketch. We note that the proposed access location is farther north than either the locations shown in master plans done for Maple Grove and Corcoran.

The City of Maple Grove prefers to keep this access located where it was shown in the Maple Grove NW-610 Master Plan as discussed and agreed to by Hennepin County. We have previously been negotiating with the property owners in Maple Grove regarding this access location and impacts to their properties.

If the access is shifted north of what was previously approved in the master planning process, we request that the applicant for the Corcoran Industrial NE Concept be required to delineate the floodplain and wetlands that may be impacted in Maple Grove. Maple Grove can work with all parties on a more refined alignment of Arbor Ridge Parkway once these areas are delineated. If impacts are proposed, the applicant for the Corcoran Industrial NE Concept should be responsible for mitigating these impacts, or should adjust their plan accordingly if the impacts are not acceptable.

Attachments: Corcoran Industrial NE Concept Access Issues

Corcoran Industrial NE Concept County Road 101 Access Issues



Proposed intersection location in Corcoran NE District Plan

Proposed intersection location creates floodplain & wetland impacts in Maple Grove

Proposed intersection location in Maple Grove NW-610 Area Master Plan

1 inch equals 300 feet

FEMA Flood Zone

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AH

Esri, HERE, IPC, Three Rivers Park District, Esri



CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 2-1 2040 Future Land Use

-  Rural/Ag Residential
-  Existing Residential
-  Low Density Residential
-  Medium Density Residential
-  Mixed Residential
-  High Density Residential
-  Rural Service/Commercial
-  Commercial
-  Mixed Use
-  Business Park
-  Light Industrial
-  Public/Semi-Public
-  Parks/Open Space
-  Agricultural Preserve (Date of Expiration)
-  Open Water
-  Lake/Open Water
-  Wetlands
-  Municipal Boundary
-  2040 MUSA
-  Future MUSA Expansion Area
-  Parcel Boundaries
-  Streams
-  Lake/Open Water
-  Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)

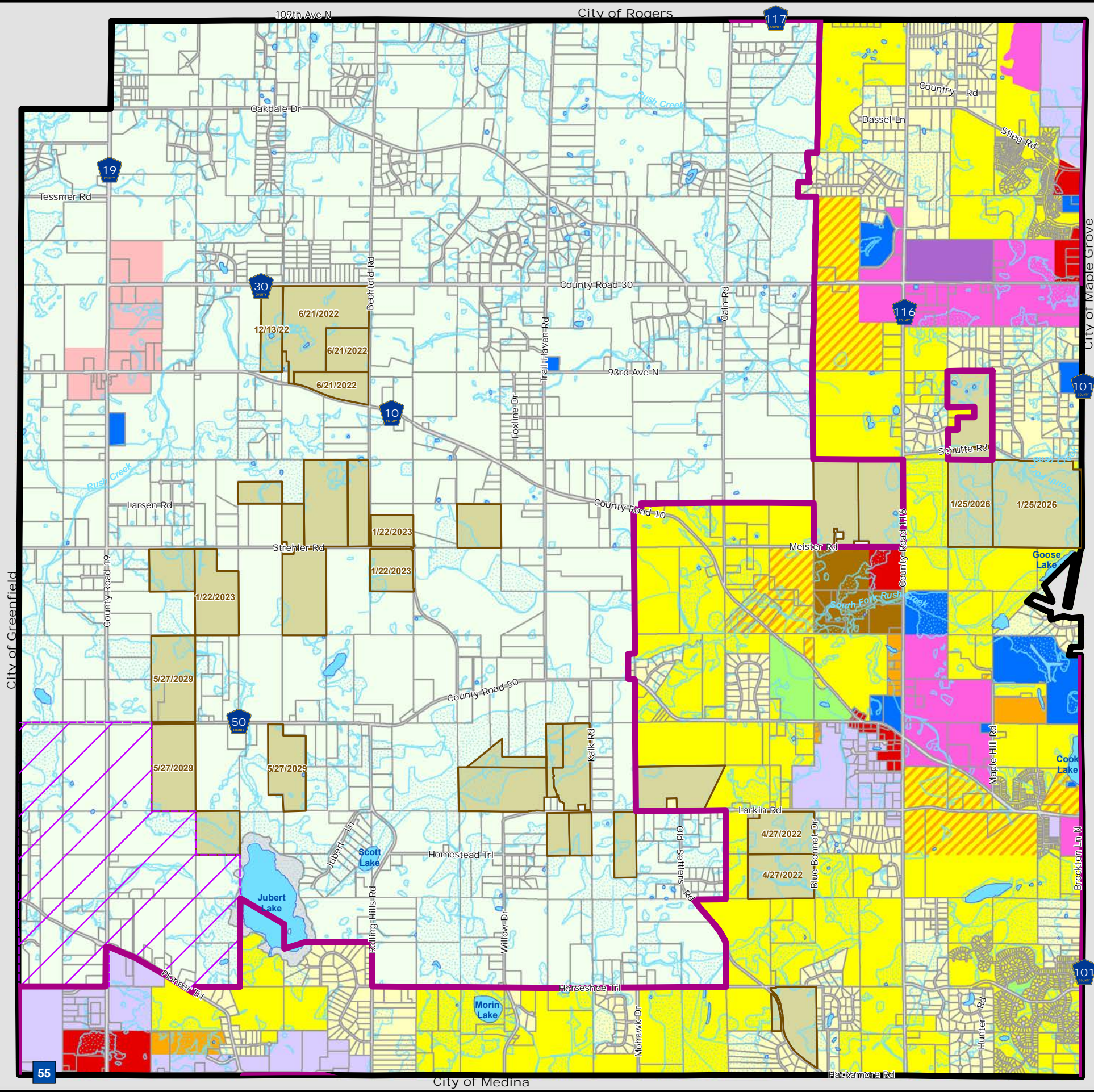
3,000 1,500 0 3,000



Feet



Path: \\MSPFSV02\Design\Depot\Library\Software\GIS\City\City of Corcoran\City wide maps\2040 Future Land Use.mxd
Date: 10/27/2021 Time: 9:57:35 AM User: LPSRemote

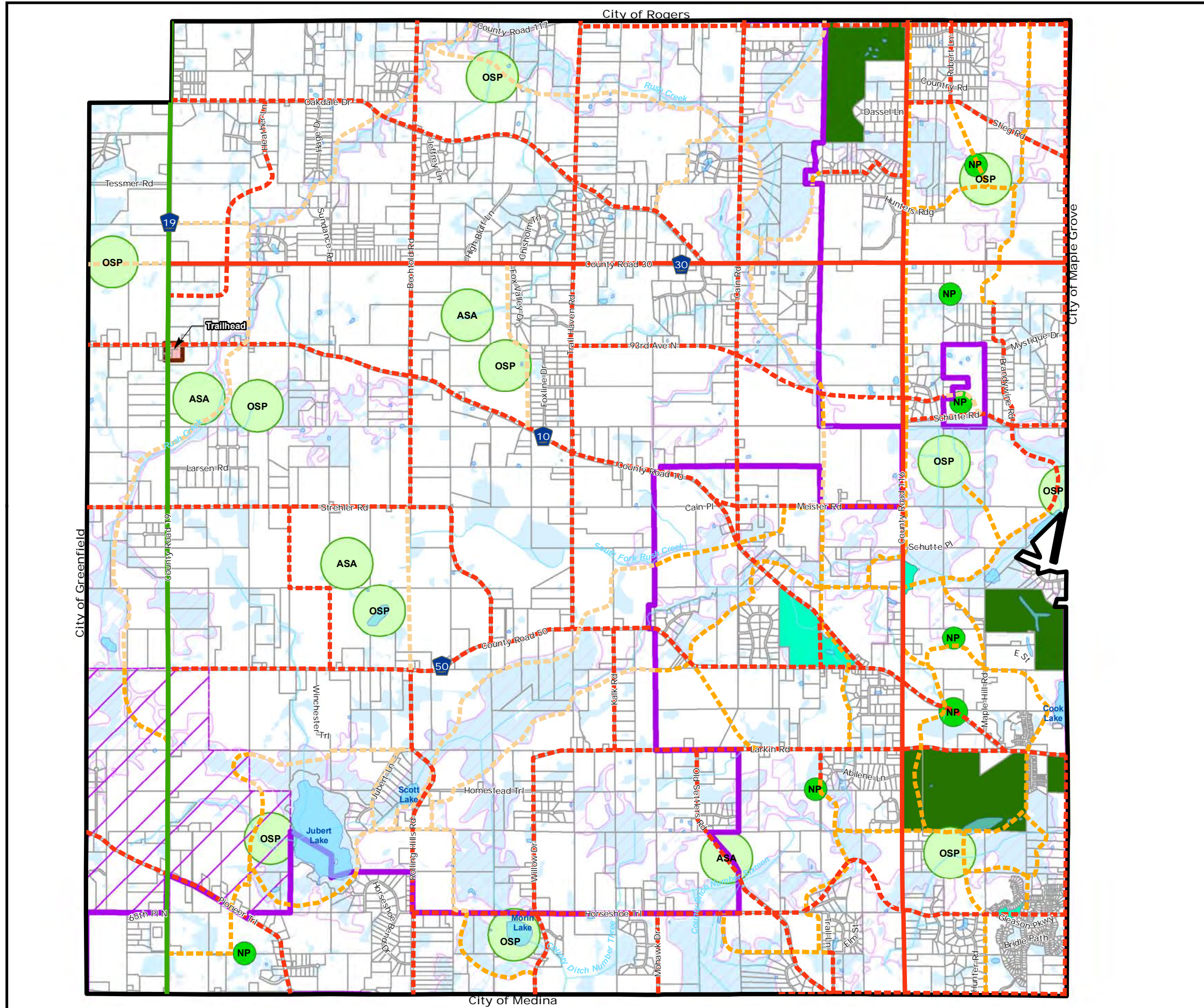




CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 5-1 Parks and Trails Plan

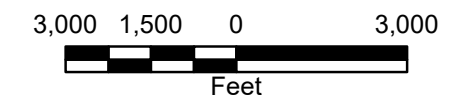


Existing Parks and Trails

- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



Path: L:\2294\100\2040CompPlan\Parks and Trails Map.mxd
Date: 1/15/2019 Time: 1:22:31 PM User: Shu.JC0243

STAFF REPORT

Agenda Item: 8f.

City Council Meeting March 28, 2024	Prepared By Natalie Davis McKeown
Topic Commercial and Industrial District Ordinance Updates (City File No. 23-023)	Action Required Direction

60-Day Review Deadline: N/A

1. Request

The City Council is asked to review a revised work plan for updating the underlying zoning for commercial and industrial land uses.

2. Background

The City Council had the first in-depth discussion about this update at a work session on September 14, 2023, based on 15 sets of questions posed by staff to better define the scope of the update for commercial and industrial uses. Council confirmed the following scope for the update as captured by staff:

- Consideration of height related transition from residential districts.
- Evaluation of architectural standards/window requirement to break up the massing of large facades.
- Complete review of each use allowed in commercial, industrial, and mixed-use districts and add use-specific standards where warranted. Specific uses noted:
 - o Parking ramps – should a standard be added to prevent location adjacent to a residential use or district?
 - o Recycling facilities – should these be removed as a potential use?
 - o Lumber yards – should these be removed as a potential use?
 - o Keeping of animals – should this be removed, particularly in the Business Park district?
 - o Urban farming – how can this be allowed?
 - o Should a standard be added related to access on a major road/collector road for high traffic uses, such as warehouses?
 - o Storage uses.
 - Would like to understand if there is an average crime rate associated with this type of use.
 - Do we want to remove mini storage as a conditional use?
 - Are there some areas where the City would be less concerned about allowing mini storage (e.g., allowing storage in industrial districts if the storage user does not have frontage on a major roadway)?

- Is there a desire to allow indoor storage facilities?
- Retail
 - Is there room to simplify how different retail uses are handled in each zoning district?
 - Is there a reason grocery stores are only specifically called out as allowed in the C-2 (Community Commercial) District?
 - Are there specific retail uses the City is more concerned about that should continue to be called out separately (e.g., liquor stores)?
- Should flexibility be provided in applying the impervious surface limit in commercial and industrial districts on a per plat basis rather than per lot?
- Should flexibility be provided for commercial and industrial users with shared parking/truck bays to have flexibility applied to internal setbacks to reduce the need for variances?

3. Revised Work Plan

The following items from the original work plan have been completed so far:

1. The Planning Commission had an initial meeting in December 2023 to discuss Council direction and feedback received to that point. Discussion included the following:
 - Creating architectural standards that honor historic aesthetic of the area, such as agriculture. Allow flexibility from strict standards when someone is aiming to design a building with a historic aesthetic.
 - Should the City consider investing in infrastructure?
 - Alternatively, should the City consider a way to credit/way to help businesses make that initial investment, particularly to connect to sewer and water.
 - Establish economic development policies.
 - Location of the zones seems to lack cohesiveness. Downtown is part field, substation, church, existing businesses. Commercial and industrial zones should be more clustered for more of a transition to less intense units.
 - Provide clarity in the code by removing extraneous verbiage.
 - Define contractor's operations.
 - List of uses should either be general or specific.
 - Areas with desirable commercial/industrial development:
 - Stillwater
 - Noted Stillwater would be difficult for Corcoran to duplicate as it developed under different needs and constraints, including tourism, river, and location to major roadways.
 - Arbor Lakes in Maple Grove.
 - Skating rink/community center with surrounding commercial uses.
 - Noted that this model has not been without problems.

- Some noted they did not like the design intent behind Arbor Lakes.
 - A lot of variety between uses. How can we encourage this or control the flow?
 - Delano
 - Desirable with areas for walking and shops.
 - Community center with a fitness center.
 - Rogers
 - Municipal liquor store
 - May be difficult to compete with Cub/Hyvee
- How can we encourage charter schools?
- Desirable to have a development pattern that serves residents without attracting non-residents.
- Where can we allow butcher shops/meat lockers? What standards need to be applied to this use?
- Have less conditional uses, and make things a permitted use where feasible.
 - Kennels in some districts?
- Buffer yard and height transitions seems sufficient to address a transition between adjacent residential neighborhoods and commercial/industrial uses.
- General desire to potentially remove mini-storage as an allowed use.
- Market realities is a huge driver as to what businesses will come into a community.

The Commission asked for staff to prepare a table of uses across each commercial/industrial zoning district. This will be brought back to the Planning Commission to continue their discussion for the April 4, 2024 regular meeting.

- 2) Businesses and property owners with land guided for commercial, industrial, or mixed-use were sent an invitation to participate in the Business Community Survey. 23 responses were received by the City. A summary of the results will be provided at the April 25th meeting along with a summary of the Planning Commission discussion on April 4th.

Since moving forward with the original timeline for this update, the City was made aware of ambiguity in the Code as it relates to historical practice of applying development rights to commercial subdivisions. The City adopted an interim ordinance as of 3/14/2024 as a way to immediately address this issue. This now is the main priority to address in the next few months. Staff proposes the following work plan. It is broken down into three phases/tasks to allow for immediate focus on the items that need to be addressed prior to a moratorium expiration. Once the first two items are addressed, the City can continue to work through a more comprehensive change to the Zoning Ordinance without the expiration of a moratorium rushing the process.

- 1) *Task 1: Evaluate and Clarify Use and/or Assignment of Development Rights Within Rural Commercial (CR) and Transitional Rural Commercial (TCR) Zoning Districts.*
 - a. Initial Planning Commission Discussion (April 4, 2024).
 - b. Provide Planning Commission Discussion Summary and Business Community Survey summary to Council for further direction (April 25, 2024).
 - c. First draft of update to handle development right application within the CR and TCR reviewed at joint work session with City Council and Planning Commission (May 23, 2024).
 - d. Public hearing and Planning Commission Recommendation (June 6, 2024)
 - e. City Council final decision (June 27, 2024) and Council can end the interim ordinance in CR and TCR.

- 2) *Task 2: Evaluate whether the City wants to remove mini-storage and self-storage as a use within the City, or add standards to limit where this use is located within the City. Storage moratorium ends October 12, 2024.*
 - a. Initial Planning Commission Discussion (April 4, 2024)
 - b. Provide Planning Commission Discussion Summary and Business Community Survey to Council for further direction (April 25, 2024).
 - c. First draft of update to handle storage uses across districts goes to Council. (July 25)
 - d. Planning Commission public hearing and recommendation (August 1, 2024)
 - e. City Council adopts ordinance amendment and lifts moratorium (August 22, 2024)

- 3) *Task 3: Comprehensive review of Commercial and Industrial zoning districts.*
 - a. Initial Planning Commission Discussion (April 4, 2024)
 - b. Provide Planning Commission Discussion Summary and Business Community Survey to Council for further direction (April 25, 2024).
 - c. Review of first draft with City Council (October 24, 2024).
 - d. Planning Commission public hearing and recommendation (November 7, 2024)
 - e. City Council adoption (November 25, 2024)

The revised work plan was created with a optimistic timelines to provide built-in space for adjustments to the timeline while still being mindful of the deadline to address two separate moratoriums. Should the City Council have a desire to build in additional engagement opportunities with the Business Community, this will add additional time to the update, and the Council should confirm whether they want additional engagement in all three tasks or in just some of the outlined tasks. This can be discussed further at the

April 25th meeting where the results of the Business Community Survey will be presented and discussed. Staff can confirm there was a number of respondents interested in participating in this update process either by attending an open house with Council to discuss further, participate on a one-time panel, or participate on a temporary task force that would meet at least 2 throughout the update process.

4. Budget

It is expected the ordinance update will be primarily driven by the staff Planner and Planning Technician. Some discussion with Landform is anticipated as a part of the typical weekly staff meetings. This is included in the professional planning services budget.

The ordinance update is expected to take approximately 100 hours for staff to complete (roughly 14-15 hours a month between the Planner and Planning Technician).

5. Recommendation

Move to adopt or modify the revised work plan as desired and direct staff to initiate the ordinance update as outlined in this memo.

STAFF REPORT

Agenda Item: 9a.

Council Meeting March 28, 2024	Prepared By Kevin Mattson
Topic: Water Tower Logo	Action Required Approval

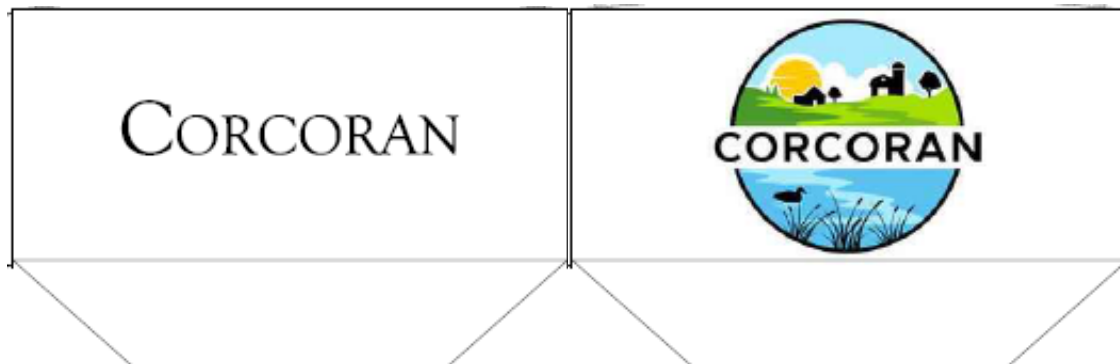
Summary

On December 18, 2023, Council requested that staff consider viewpoints and review options for determining the logo type and orientation for the water tower.

Staff identified possible viewpoints and based on the visibility of the water tower recommend that the County Road 30 corridor be the primary viewing corridor.

Council should review and consider the following options for the water tower logo.

1. Three logos spaced equidistantly focusing on the CR-30 corridor (Attachment 1).
 - a. Estimated cost of \$42,000
2. Two logos facing East-West focusing on the CR-30 corridor.
 - a. Estimated cost of \$28,000
3. Two “Corcoran” lettering facing East-West focusing on the CR-30 corridor.
 - a. Estimated cost of \$7,000



In addition to the selection of the logo, Council should consider the base color of the tank and the color of the “Corcoran” lettering if that option is selected. The paint color options are included in Attachment 3.

For the base color, the engineering team recommends Tank White (Number 15BL highlighted on Page 4) as this color blends into the sky on both sunny and cloudy days.

Financial/Budget

The project bid allowance was \$25,000. The final contract will be adjusted to match the cost of the logo resulting in additional savings or expenses.

Recommendation

Staff recommends that Council approve one of the three logo options provided for the water tower in addition to selecting a base tank color.

Council Action

Consider a motion to approve one of the three logo options provided for the water tower in addition to selecting a base tank color.

Attachments

1. Viewpoint Location Map
2. Tower Logo Section and Elevation Options
3. Color Book Options



CITY OF CORCORAN

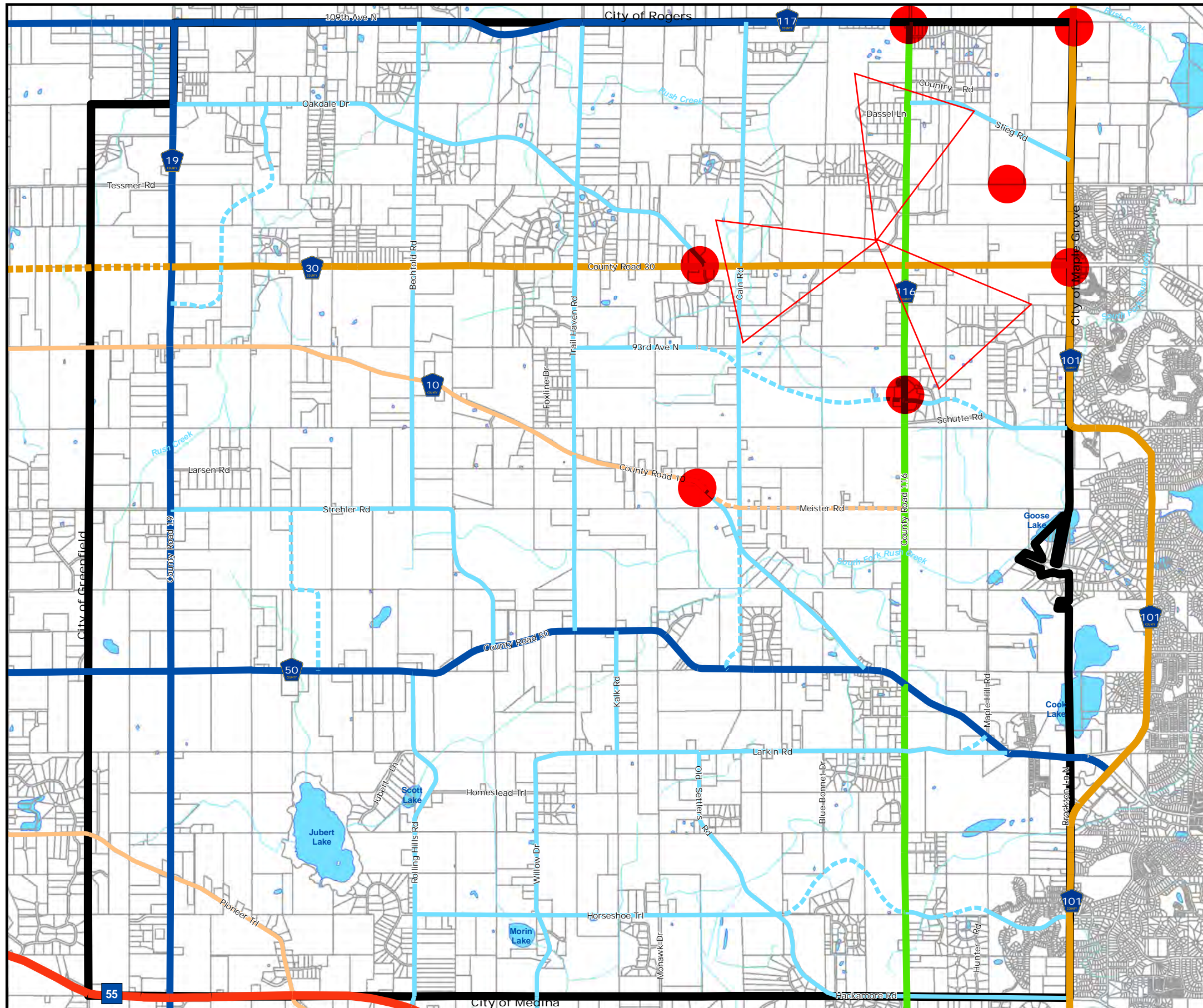
2040 COMPREHENSIVE PLAN

Map 6-7
2040 Roadway Functional Classification

- Principal Arterial
- A Minor Reliever
- A Minor Expander
- Proposed A Minor Expander
- A Minor Connector
- Proposed A Minor Connector
- Major Collector
- Proposed Major Collector
- Minor Collector
- Proposed Minor Collector
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water



Path: L:\2294\100\2040CompPlan\2040 Roadway Functional Classification.mxd
Date: 1/30/2019 Time: 2:01:05 PM User: shuc0243





TNEMEC

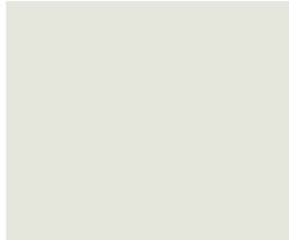
COLORBOOK



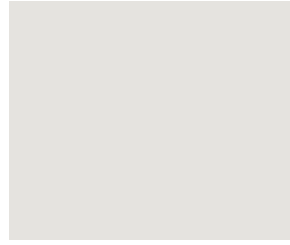
WHITES



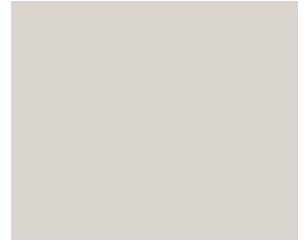
00WH Tnemec White ▲
LRV 84%



06WH Albatross ▲
LRV 82%



07WH Winter Mist ▲
LRV 80%



08WH Acropolis ▲
LRV 72%



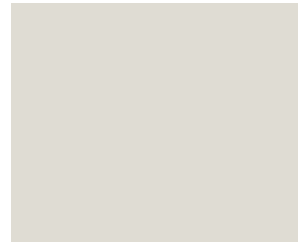
01WH Ash White ▲
LRV 84%



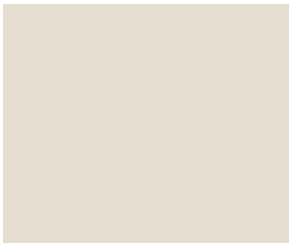
02WH Iceberg ▲
LRV 84%



03WH Daisy ▲
LRV 75%



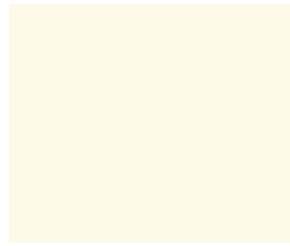
04WH Silver Pearl ▲
LRV 76%



12WH Milkweed ▲
LRV 78%



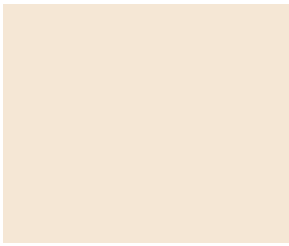
13WH French Vanilla ▲
LRV 73%



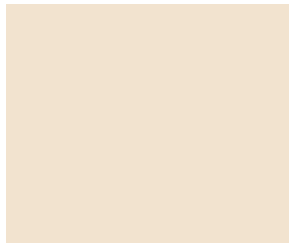
14WH Veiled ▲
LRV 78%



15WH Aspen ▲
LRV 72%



15BR Pale ▲
LRV 83%



22BR Nova ▲
LRV 81%



57BR Cloud ▲
LRV 75%

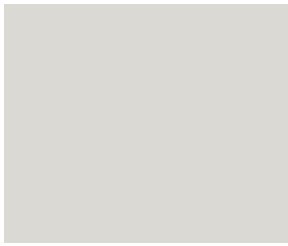


79BR Coliseum ▲
LRV 67%

NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronor and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

GRAYS



30GR Comet ▲
LRV 75%



24GR Lightpole ▲
LRV 62%



43GR Constellation ▲
LRV 71%



37GR Gradation ▲
LRV 65%



25GR Grey Day ▲
LRV 46%



31GR Slate Gray ▲
LRV 61%



57GR Aluminum ▲
LRV 46%



38GR Dove Gray ▲
LRV 58%



33GR Gray – ANSI No. 61 ▲
LRV 33%



32GR Light Gray – ANSI No. 70 ▲
LRV 44%



46GR Sinker ▲
LRV 26%



39GR Pigeon ▲
LRV 42%



35GR Black ▲
LRV 4%



34GR Deep Space ▲
LRV 12%



48GR Moon Shadow ▲
LRV 10%

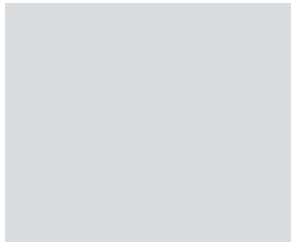


41GR Hammerhead ▲
LRV 17%

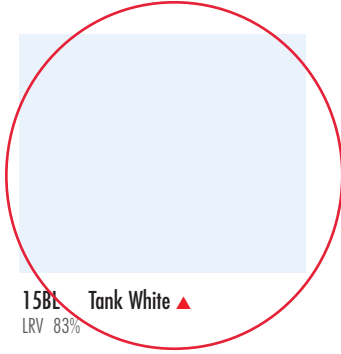
NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronar and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

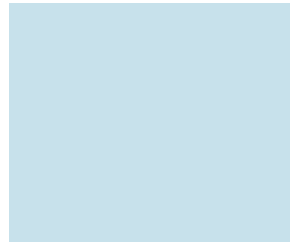
BLUES



57BL Steam ▲
LRV 76%



15BL Tank White ▲
LRV 83%



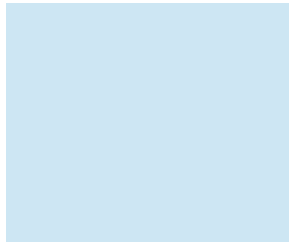
22BL Spring Rain ▲
LRV 76%



37BL Teardrop ▲
LRV 70%



59BL Seaspray ▲
LRV 55%



29BL Springwater ▲
LRV 75%



23BL Robin's Egg ▲
LRV 72%



39BL Delft Blue ▲
LRV 60%



61BL Blue Ribbon ▲
LRV 32%



09BL Cold Wind ▲
LRV 65%



25BL Fountainbleu ▲
LRV 50%



40BL Pika Blue ▲
LRV 41%



55BL Mysterious ▲
LRV 15%



11BL Canal Blue ▲
LRV 45%



26BL Clear Sky ▲
LRV 40%



41BL Lagoon ▲
LRV 24%



63BL Navy Blue ▲
LRV 9%



14BL Cadet Blue ▲
LRV 11%



28BL Pond
LRV 18%

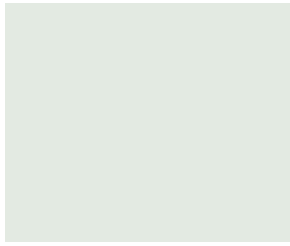


42BL Blue Channel ▲
LRV 19%

NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronor and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

GREENS



78GN Cumulus ▲
LRV 81%



92GN Marshall Green ▲
LRV 74%



106GN Bottle Green ▲
LRV 74%



51GN Sage ▲
LRV 72%



94GN Moonseed ▲
LRV 57%



108GN Ginger Mist ▲
LRV 58%



37GN Irish Spring ▲
LRV 51%



52GN Aztec Grass ▲
LRV 63%



96GN Zucchini ▲
LRV 27%



110GN Clover ▲
LRV 31%



10GN Aqua Sky ▲
LRV 71%



54GN Granny Smith ▲
LRV 38%



28GN Shannon's Isle ▲
LRV 13%



90GN Brahm Grass ▲
LRV 24%



13GN Mermaid ▲
LRV 29%



56GN Moss ▲
LRV 21%



21GN Fairway ▲
LRV 15%



91GN Balsam ▲
LRV 14%



14GN Bluegrass ▲
LRV 15%

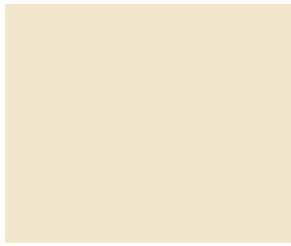


112GN Foliage ▲
LRV 11%

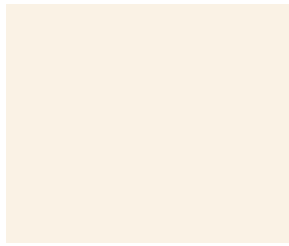
NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronar and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

BEIGES, TANS AND REDS



01BR Warm Sun ▲
LRV 78%



64BR Bisque ▲
LRV 82%



44BR Beige ▲
LRV 66%



10RD Barely Blush
LRV 64%



22YW Barbados ▲
LRV 72%



65BR Rock Slide ▲
LRV 67%



46BR Stable Brown ▲
LRV 46%



12RD Desert Rose
LRV 27%



03BR Washed Khaki ▲
LRV 61%



66BR Dust Bowl ▲
LRV 61%



05RD Hometown ▲
LRV 33%



14RD Red Clay ▲
LRV 14%



04BR Desert Sands ▲
LRV 51%



68BR Twine ▲
LRV 42%



23BR Sahara ▲
LRV 65%



07RD Terra Cotta ▲
LRV 11%



06BR Amber Canyon ▲
LRV 32%



70BR Worn Path ▲
LRV 16%



25BR Honey Roast ▲
LRV 48%

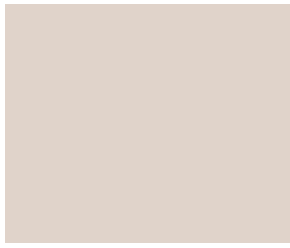


28RD Monterrey Tile
LRV 8%

NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronor and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

BROWNS AND YELLOWS



50RD Bare Beige ▲
LRV 74%



72BR Sand Dunes ▲
LRV 70%



01YW Sunfresh ▲
LRV 84%



08YW Lemonwater ▲
LRV 84%



81BR Lumberg ▲
LRV 49%



74BR Clay ▲
LRV 48%



03YW Oat Straw ▲
LRV 73%



10YW Flaxseed ▲
LRV 80%



83BR Kindling ▲
LRV 20%



76BR Dried Timber ▲
LRV 22%



52BR Chamois ▲
LRV 62%



11YW Daffodil
LRV 76%



85BR Medium Bronze ▲
LRV 9%



77BR Coffee Grounds ▲
LRV 12%



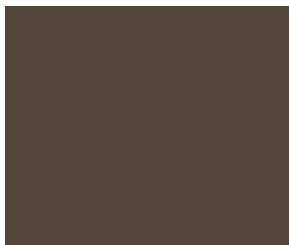
53BR Tiki Wood ▲
LRV 46%



12YW Corncob
LRV 72%



86BR Dark Bronze ▲
LRV 6%



84BR Weathered Bark ▲
LRV 11%



62BR Acorn ▲
LRV 22%



05YW Grapefruit ▲
LRV 59%

NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronar and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.

BRIGHT AND SAFETY COLORS



14YW **Canary Yellow**
LRV 64%



04SF **Tangerine Orange/Safety**
LRV 29%



10SF **Deep Blue Sea** ▲
LRV 15%



14SF **Purple Rain/Safety**
LRV 17%



02SF **Lemon Yellow/Safety** ▲
LRV 53%



06SF **Candy Apple Red/Safety** ▲
LRV 14%



11SF **True Blue/Safety** ▲
LRV 18%



13SF **Purple Mountain's Majesty**
LRV 12%



03SF **Bright Yellow**
LRV 43%



07SF **Chilean Red**
LRV 9%



12SF **Purple Haze** ▲
LRV 8%



09SF **Spearmint Green/Safety** ▲
LRV 27%



05SF **International Orange**
LRV 17%



71RD **Old Glory Red**
LRV 16%



78BL **Old Glory Blue**
LRV 7%



08SF **Hunter Green** ▲
LRV 8%

NOTE: Colors represented are digital reproductions of actual standards and will vary in appearance due to differences in monitor and video card output. These digital representations should not be used to finalize color selection(s). Please contact your local Tnemec Coatings Consultant for color-accurate samples or for assistance with suitable primer and finish coat selections and color matching.

LRV = Light Reflectance Value ▲ Standard color and gloss warranty is available in this color for Fluoronor and HydroFlon products. Other colors may be included. Contact your Tnemec representative for more information.



T N E M E C

Tnemec Company Incorporated 6800 Corporate Drive Kansas City, Missouri 64120-1372 1-800-TNEMEC1 Fax: 1-816-483-3969 www.tnemec.com

Published technical instructions and pricing are subject to change without notice. Contact your Tnemec technical representative for current technical data, instructions and pricing. Warranty information: The service life of Tnemec coatings will vary. For warranty, limitation of seller's liability and product information, please refer to Tnemec Product Data Sheets at www.tnemec.com or contact your Tnemec technical representative. Printed in the USA. ©Tnemec Company, Inc. 2008 CBOOK



CITY OF CORCORAN

8200 County Road 116 • Corcoran, MN 55340
763-420-2288 • www.corcoranmn.gov

MEMO

Meeting Date: February 22, 2024
To: City Council
From: Dwight Klingbeil, Planning Technician
Re: Planning Project Update

Projects/comments in blue italics are new.

The following is a status summary of active planning projects:

1. **Kwik Trip CUP, Lot Line Adjustment, and Site Plan (PID 12-119-23-14-0006; 12-119-23-14-0004) (City File 23-006)**

Kwik Trip Inc. submitted a Site Plan, Lot Line Adjustment and CUP application for the two parcels north of Mama G's in early 2023. A feasibility study was required to evaluate the infrastructure needs of the project. The feasibility study has been distributed to the applicant. *The applicant has resubmitted application materials for this item. Staff is currently reviewing these materials for completeness and the item is not currently scheduled for any upcoming meetings.*

2. **Commercial and Industrial Development Standards (Citywide) (City File 23-023)**

The purpose of this zoning ordinance amendment is to address and evaluate the allowed uses and use specific standards within commercial and industrial developments. The Council adopted a work plan at the November 20, 2023, regular meeting, and requested the Planning Commission to provide their initial feedback. The Planning Commission discussed this item at the December 5, 2023, meeting and expressed their desire Commercial and Industrial Development Standards address a number of items such as: specific architectural standards, infrastructure investment incentives, encouragement toward sustainable development practices, proper transitions of intensities and height, the permitted and conditional uses of each zoning type, verbiage, and lighting standards City Staff prepared a survey for current landowners and lessees to express their opinions on items to be addressed with this update. Staff mailed the online survey invitation to property owners and tenants whose property is either currently zoned, or guided for Commercial, Industrial, or Mixed-Use. The comment period for this survey closed on January 31, 2024. Staff is reviewing the responses in preparation for the draft update to the

Commercial and Industrial Standards. At the February 8, 2024, City Council meeting, staff was directed to prioritize Rural Commercial (CR) and Transitional Rural Commercial (TCR) district updates to be approved by the end of quarter 2. *Staff prepared a revised work plan to be reviewed at the March 28th Council meeting to reflect the change in direction. Staff anticipates a second Planning Commission discussion on April 4, 2024. Feedback from the Planning Commission and Business Community Survey will be shared with the City Council at the April 25, 2024, regular Council meeting for further direction.*

3. **3019 Addition Comprehensive Plan Amendment, Rezoning, and Preliminary Plat (PID 07-119-23-14-0003) (City File 23-027)**

Craig Scherber & Associates LLC applied for a Preliminary Plat, Rezoning, and Comprehensive Plan Amendment for a Residential and Commercial Development on the property at PID 07-119-23-14-0003. The application includes 15 commercial lots and 4 single-family residential lots. The applicant received Council feedback on a concept version of this proposal at the February 8, 2024, meeting. *A feasibility study is underway to evaluate the infrastructure needs of the project. This item is not currently scheduled for any upcoming meetings.*

4. **Hope Community Comprehensive Plan Amendment, Rezoning, Preliminary PUD, Preliminary Plat (PIDs 11-119-23-14-0003, 11-119-23-14-0005, 11-119-23-14-0006, and 11-119-23-11-0012) (City File 23-028).**

Hope Community Church submitted application materials for a Preliminary Plat, Preliminary PUD, Rezoning, and Comprehensive Plan Amendment to allow for a mixed-use development around Hope Community Church. The proposed development includes medical offices, retail space, market rate apartments, townhomes, senior villas, and assisted living units. The Planning Commission recommended approval after the public hearing was held for this item during the February 1, 2024, Planning Commission meeting. *During the February 22, 2024, regular Meeting, the Council voted to approve this item with additional conditions.*

5. **Khacholing Center Place of Worship CHOL IUP (PID 06-119-23-13-0002) (City File 23- 029)**

Lobsang Yeshi & Nga Thi Ngoc Nguyen, of the Khacholing Center, applied for a Interim Use Permit to hold regular religious classes within a room at 23360 Oakdale Drive. *The Public Hearing for this item was held during the March 12, 2024, Planning Commission meeting. After the public testimony, the Commission motioned to recommend denial of this item. This item has been scheduled for the March 28, 2024, City Council meeting.*

6. **Pioneer Trail Industrial Park Final Plat & Final PUD (PID 32-119-23-43-0005, 32-119-23-43-0006, 32-119-23-43-0013)(City File 23-030).**

Contour Development LLC applied for a Final Plat and a Final PUD at 6210 Pioneer Trail. The application consists of 0 lots and 3 outlots. This application is incomplete for City review and is not currently scheduled for any upcoming meetings.

7. **Tavera 6 Final Plat & Final PUD (PID 35-119-23-11-0003) (City File 23-032).**

Lennar submitted application materials for the Final Plat and Final PUD for Tavera 6th Addition, and staff is reviewing the materials for completeness. *Lennar also requests an easement vacation from the Drainage & Utility easement over outlots A, B, C, J and K of Tavera 4, to allow the platting of Tavera 6. This item is complete for City review and has been scheduled for the March 28, 2024, regular City Council meeting.*

8. Woodland Hills Preliminary Plat, Rezone, & Variance (PID 36-119-23-33-0010, 36-119-23-33-0003, 36-119-23-33-0007) (City File 23-033).

Woodland Hills of Corcoran, Inc. & Gonyea Company submitted application materials for a Preliminary Plat, Rezoning, and a Variance to develop 60 single-family lots on the northeast corner of the Hackamore Road and County Road 116 intersection. The proposal is to create 60 detached single-family lots, 1 amenity lot, and 5 outlots on a 36.74-acre site. Council provided informal feedback to the applicant's concept plan (Northeast Hackamore 116 Concept Plan) during the July 27, 2023, Regular Meeting. *The public hearing for this item was held during the March 12, 2024, Planning Commission meeting. After some discussion, the Planning Commission recommended approval of the preliminary plat, rezoning, comprehensive plan amendment, and the side-yard setback variance. The Commission recommended denial of the buffer yard variance and the variance from the maximum garage door area. This item has been scheduled for the March 28, 2024, Council Meeting.*

9. Chastek Farm Preliminary Plat, Preliminary PUD, Rezoning (PID 25-119-23-12-0002) (City File 23-034).

Trek Real Estate & Development, Inc. submitted an application for a Preliminary Plat, Preliminary Planned Unit Development (PUD), and Rezoning of the Chastek Farm located at 7600 Maple Hill Road. The request is to allow the development of 117 single-family for-sale lots on the 38.16-acre site. 101 of these lots would have a width of 55 feet, and the remaining 16 would have a width of 65 feet. *This item is complete for City review and has been scheduled for the April 4, 2024, Planning Commission Meeting.*

10. Heather Meadows 3rd Addition Preliminary Plat/OS&P (PIDs 05-119-23-31-0001 & 088-119-23-22-0011) (City File 24-002).

Mark and Markus Lee, of ML Unlimited LLC, submitted a preliminary plat application to create 12 single-family lots and 2 outlots at 22901 Oakdale Drive. The proposal includes platting the two existing homes on Oakdale Drive and extending Heather Lane southward to plat 10 additional lots. To satisfy the requirements of the Open Space & Preservation density bonuses, this proposal includes the preservation of 44.8-acres of open space in two outlots. This application is incomplete for City review and is not currently scheduled for upcoming meetings.

11. 610 Extension Business Park Concept Plan (PID 12-119-23-23-0001) (City File 24-003).

United Properties submitted a Concept Plan application to develop a business park at the Oswald Farm, located at 19510 County Road 30. The narrative provided by the applicant describes the proposed business park to range from 864,000 - 1,017,500 sq ft on the 76.89-acre parcel. *The applicant submitted revised plans which indicate two 128,000 sq ft buildings, and two 168,000 sq ft buildings. This item is expected to be discussed at the May 23, 2024, City Council meeting.*

12. Tavera 4 Vacation (PID 35-119-23-44-0115 & 35-119-23-44-0116) (City File 24-004).

Lennar has submitted an application for an easement vacation of a Drainage & Utility easement on Block 2, Lots 10 and 11. This application is complete for City review and has been scheduled for the March 28, 2024, City Council meeting.

13. Scharber Garage CUP (PID 31-119-23-14-0009) (City File 24-005).

James Scharber has applied for a Conditional Use Permit to allow the construction of an accessory structure with sidewalls that exceed 10 feet in height in the side yard of 6650 Pioneer Trail. *This item is complete for city review and has been scheduled for the April 4, 2024, Planning Commission meeting.*

14. Fairway Shores Villas at Cook Lake Preliminary Plat, Preliminary PUD, Rezoning & Comprehensive Plan Amendment (PID 25-119-23-11-0001) (City File 24-006).

Bergeron Development submitted an application for Fairway Shores Villas at Cook Lake, located at PID 25-119-23-11-0001. The application includes a preliminary plat, a preliminary PUD, a rezoning, and a Comprehensive Plan to allow for the development of 75 single family villas. This item is incomplete for City review and is not currently scheduled for any upcoming meetings.

15. Red Barn Pet Retreat Final Plat (PID 01-119-23-44-0045) (City File 24-007).

RAM General Contracting, Inc. submitted a Final Plat and Variance application for Red Barn Pet Retreat on Outlot A of Bellwether 2nd Addition. The proposed final plat includes one lot for Red Barn Pet Retreat and one outlot for future development. The applicant also requests approval of a variance to allow development prior to the availability of municipal services on the property.

16. Tonka Auto CUP (PID 26-119-23-12-0004) (City File 24-008).

Jake Hautman submitted a Conditional Use Permit application to allow the operation of an auto repair business, Tonka Auto, at 20201 County Road 50. The application is incomplete for city review and is not currently scheduled for any upcoming meetings.

17. Corcoran Industrial Northeast (PID 01-119-23-11-0001)(City File 24-010).

Hemple Real Estate is seeking Council feedback on conceptual light industrial development at 10585 County Road 101. The plan includes 2 primary industrial buildings ranging from 200,200 to 342,000 sq ft on a 78.85-acre site. This item is complete for city review and has been scheduled for the March 28, 2024, regular Council meeting.

City of Corcoran 2024 City Council Schedule

Revised Agenda Item: 13.

Below is a tentative schedule for City Council meetings. The items and schedule are subject to change.

April 4, 2024 Special Meeting

- Evaluation of Individual Performance

April 11, 2024

- **Presentation: Maria's Voice**
- **Resolution Opposing House and Senate Bills re: local authority**
- Public Hearing: Organics Requirements
- LPR Camera Discussion
- Comparable Cities Wage Study Discussion
- CIP Discussion
- Street Lighting Policy – Natalie
- Stieg Road Improvements - Bid Award
- Building Services Consultant
- NW Area Jaycees Tree Donation
- Conference Room Audio/Video Cameras
- Job Description – Utility Superintendent
- Hennepin County – Letter of Support

April 17, 2024 *(Rescheduled from April 15, 2024)*

- Rockford School Board Meeting

April 25, 2024 Work Session *(Called by Mayor on March 14)*

- Parks and Trails City Park Planning

April 25, 2024

- Proclamation – National Public Service Week
- State Public Safety Funds Plan
- K-9 Program Discussion
- Planning project update
- Chastek Farms RZ, PP, PUD (City File 23-034)
- Scharber Garage CUP (City File 24-005) - tentative
- Fairway Shores Villas – CPA, RZ, PP, PUD (City File 24-006) - tentative
- Red Barn Pet Retreat VAR and FP (City File 24-007) - tentative
- Pioneer Trail FP and FPUD (city file 23-030) – Incomplete (tentative)
- Park Signs
- THC Moratorium and Regulations
- Pioneer Trail FP and FPUD (City file 23-030)
- Construction Hours

May 9, 2024

- Proclamation – National Police Week
- Finance Policy – Spending Thresholds
- Firearms Ordinance Review

May 23, 2024 *(Called by Mayor on March 14)*

- Joint Work Session with Planning Commission (MET Council Representative)
 - Comp Plan Review

May 23, 2024

- Proclamation – National Public Works Week
- **Khalcholing CHOL IUP**

June 13, 2024

- RFP – History and Discussion of RFP Schedule
- Construction Hours Sign Update*

June 27, 2024

-

July 11, 2024

-

July 25, 2024

August 8, 2024

August 22, 2024

September 10, 2024

- [Annual Charter Commission Meeting](#)

September 12, 2024

September 26, 2024

- Communications Assistant – Transition to FT

November 14, 2024

- Tort Liability Coverage Waiver
- Certification of General Election 2024

November 25, 2024

December 16, 2024

- MS4 Permit

- ARPA Discussion

Review dates with Jay on Joint Commisison Meetings
-Parks and Trails

City of Corcoran 2024 City Council Schedule

Agenda Item: 13.

Below is a tentative schedule for City Council meetings. The items and schedule are subject to change.

April 11, 2024

- Public Hearing: Organics Requirements
- LPR Camera Discussion
- Firearms Ordinance Review
- Comparable Cities Wage Study Discussion
- CIP Discussion
- Street Lighting Policy – Natalie
- Stieg Road Improvements - Bid Award
- Building Services Consultant
- NW Area Jaycees Tree Donation
- Conference Room Audio/Video Cameras
- Job Description – Utility Superintendent
- Hennepin County – Letter of Support

April 17, 2024 *(Rescheduled from April 15, 2024)*

- Rockford School Board Meeting

April 25, 2024 Work Session *(Called by Mayor on March 14)*

- Parks and Trails City Park Planning

April 25, 2024

- Proclamation – National Public Service Week
- State Public Safety Funds Plan
- K-9 Program Discussion
- Planning project update
- Chastek Farms RZ, PP, PUD (City File 23-034)
- Scharber Garage CUP (City File 24-005) - tentative
- Fairway Shores Villas – CPA, RZ, PP, PUD (City File 24-006) - tentative
- Red Barn Pet Retreat VAR and FP (City File 24-007) - tentative
- Pioneer Trail FP and FPUD (city file 23-030) – Incomplete (tentative)
- Park Signs
- THC Moratorium and Regulations
- Pioneer Trail FP and FPUD (City file 23-030)
- Construction Hours

May 9, 2024

- Proclamation – National Police Week
- Finance Policy – Spending Thresholds

May 23, 2024 (*Called by Mayor on March 14*)

- Joint Work Session with Planning Commission (MET Council Representative)
 - Comp Plan Review

May 23, 2024

- Proclamation – National Public Works Week

June 13, 2024

- RFP – History and Discussion of RFP Schedule
- Construction Hours Sign Update*

June 27, 2024

-

July 11, 2024

-

July 25, 2024

August 8, 2024

August 22, 2024

September 10, 2024

- [Annual Charter Commission Meeting](#)

September 12, 2024

September 26, 2024

- Communications Assistant – Transition to FT

November 14, 2024

- Tort Liability Coverage Waiver
- Certification of General Election 2024

November 25, 2024

December 16, 2024

- MS4 Permit
- ARPA Discussion

Review dates with Jay on Joint Commission Meetings
-Parks and Trails