



**CITY OF CORCORAN
Corcoran Planning
Commission Agenda
June 1, 2023 - 7:00 pm**

HYBRID MEETING OPTION AVAILABLE

The public is invited to attend the regular Council meetings at City Hall.

Meeting Via Telephone/Other Electronic Means

Call-in Instructions:

+1 301 715 8592 US

Enter Meeting ID: 857 2193 3484

Press *9 to speak during the Public Comment Sections in the meeting.

Video Link and Instructions:

<https://us02web.zoom.us/j/85721933484>

visit <http://www.zoom.us> and enter

Meeting ID: 857 2193 3484

Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment sections in the meeting. Participant video feeds will be muted. **In-person comments will be received first, with the hybrid electronic means option following.**

For more information on options to provide

www.corcoranmn.gov

1. Call to Order / Roll Call

2. Pledge of Allegiance

3. Agenda Approval

4. Open Forum

5. Minutes

- a. May 4, 2023 Regular Meeting Minutes*

6. New Business – Public Comment Opportunity

- a. **Public Hearing.** Red Barn Pet Retreat. (City File No. 23-008)

- i. Staff Report
- ii. Open Public Hearing
- iii. Close Hearing
- iv. Commission Discussion & Recommendation

- b. **Public Hearing.** Zoning Ordinance Amendment to Section 1030.010 for Expansions to Nonconforming Buildings (City File No. 23-011)

- i. Staff Report
- ii. Open Public Hearing
- iii. Close Public Hearing
- iv. Commission Discussion & Recommendation

7. Reports/Information

- a. Other Business –
- b. Planning Project Update*
- c. City Council Report* – Council Liaison Vehrenkamp

8. Commissioner Liaison Calendar

City Council Meetings

6/8/2023	6/23/2023	7/13/2023	7/27/2023	8/10/2023	8/24/2023
Jacobs	Lanterman	Van Den Einde	Brummond	Horn	Jacobs

9. Adjournment

**Includes Materials - Materials relating to these agenda items can be found in the House Agenda Packet by Door.*



CITY OF CORCORAN
**Corcoran Planning
 Commission Agenda
 May 4, 2023 - 7:00 pm**

The Corcoran Planning Commission met on May 4, 2023, in Corcoran, Minnesota. All Planning Commissioners were present in the Council Chambers. Members of the public were able to participate in-person as well as through electronic means using the audio and video conferencing platform Zoom.

Present: Commissioners Lanterman, Brummond, Horn, Jacobs, and Van Den Einde

Also present: City Planner Davis McKeown, City Planner Lindahl, and Council Liaison Shultz.

1. Call to Order / Roll Call

2. Pledge of Allegiance

3. Appoint Vice-Chair

Motion made by Lanterman, seconded by Van Den Einde, to appoint Commissioner Brummond to Vice-Chair of the Planning Commission.

Voting Aye: Lanterman, Brummond, Horn, Jacobs, and Van Den Einde.
 (Motion passed 5:0)

4. Agenda Approval

Motion made by Lanterman, seconded by Horn, to approve the May 4, 2023, Planning Commission Agenda.

5. Open Forum

- a. James Tulbury, 22201 Horseshoe Trail, had questions about grading on a property near Highway 55 and Pioneer Trail.

6. Minutes

- a. April 6, 2023, Regular Meeting Minutes

Motion made by Brummond, seconded by Jacobs, to approve the April 6, 2023, Regular Meeting Minutes.

Voting Aye: Lanterman, Brummond, Horn, Jacobs, and Van Den Einde.
 (Motion passed 5:0)

7. New Business – Public Comment Opportunity

- a. **Public Hearing.** Planned Unit Development District Standards Zoning Ordinance Amendment. (City File No. 22-045)
 - i. Staff Report – Staff Report presented by Planner Davis McKeown
 - ii. Open Public Hearing
 - iii. Close Hearing

Motion made by Horn, seconded by Brummond, to close the public hearing.
 Voting Aye: Lanterman, Brummond, Horn, Jacobs, and Van Den Einde.
 (Motion passed 5:0)

- iv. Commission Discussion & Recommendation – The commission discussion included using the public benefit policy as a guidance rather than a scored rubric; potential for the City to bind itself with the point system; using the existing system; removal of point related language in the draft ordinance; adopting language to allow council discretion; the potential of a 30-acre of developable land threshold; recreational facilities allowed in open spaces; determining a points threshold; City discretion of approving alternate screening/buffer plans; clarification of which draft ordinance has the proposed points system; clarification of the 4/5ths seated council requirement; clarification of current PUD process; qualitative versus quantitative measures of PUD benefits; Maple Grove’s PUD point system; using a point system without a minimum threshold; scoring points; the potential of a point system removing innovation for benefits; subjectiveness of a point system; and the loss of incentive for further benefits for future PUD developments;

Motion made by Lanterman, seconded by Brummond, to recommend approval of the Draft Ordinance amending section 1040.140 of the City Code with an update to a PUD Public Benefits policy with added language that the guidance will change overtime.

Voting Aye: Lanterman, Brummond, Jacobs, and Van Den Einde.
 Voting Nay: Horn.
 (Motion passed 4:1)

8. Reports/Information

- a. Other Business – Planning Commission Training
 - i. Staff Presentation – Staff Presentation was presented by Planner McKeown.
 - 1. Brief overview of land use
 - 2. 2040 Comprehensive Plan Future Land Use Map
 - 3. Homeowners Association Regulations
 - 4. Commissioner Questions
- b. Planning Project Update*
- c. City Council Report* – Council Liaison Schultz – Discussion with Council Liaison Schultz included license plate cameras and an update on the Corcoran Meat Locker site.

9. Commissioner Liaison Calendar

City Council Meetings

5/11/2023	5/25/2023	6/8/2023	6/23/2023	7/13/2023	7/27/2023
Brummond	Horn	Jacobs	Lanterman	Van Den Einde	Brummond

10. Adjournment

Motion made by Van Den Einde, seconded by Lanterman, to close the May 4, 2023, Planning Commission Meeting.

Voting Aye: Lanterman, Brummond, Horn, Jacobs, and Van Den Einde.
 (Motion passed 5:0)

Meeting adjourned at 9:50 pm.

STAFF REPORT

Agenda Item 6a.

Planning Commission Meeting: June 1, 2023	Prepared By: Natalie Davis McKeown
Topic: Red Barn Pet Retreat Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Conditional Use Permit, and Site Plan (PID 01-119-23-44-0045) (City File No. 23-008)	Action Required: Recommendation

Review Deadline: July 9, 2023

1. Application Request

The applicant, Daniel Benjamin of Red Barn Pet Retreat, asks for approval of a land use application with several components: a comprehensive plan amendment (CPA), rezoning, preliminary plat, conditional use permit (CUP), and site plan. The goal of his application is to expand his existing pet daycare and boarding business that operates out of his home further west on Stieg Road in Corcoran.

2. Prior Review

A sketch plan for this proposal was reviewed by the Council on December 22, 2022, and feedback was provided to the applicant as they considered their options to move forward with a formal application.

The Parks and Trails Commission reviewed this item at their regular meeting on May 18, 2023. The Commission recommended (6-0) park dedication be accepted as cash-in-lieu of land.

3. Background

Red Barn Pet Retreat is an existing business located at 19520 Stieg Rd in Corcoran that offers pet boarding and pet daycare services. Currently, the commercial kennel operates as a conditional home occupation approved through an interim use permit (IUP) in 2016. The current location is limited to 60 dogs per day and 12 part-time employees (6 employees per shift).



The business has quickly outgrown the existing capacity of the residential property. The applicant searched for property within Corcoran that will allow his business to expand to a second location to meet the high demand of pet care in the area. The subject property proposed for the business expansion is an outlot that was reserved for future light industrial development as a part of Bellwether 2nd Addition in 2019. There are no existing structures on the site.

3. Context

Zoning and Land Use

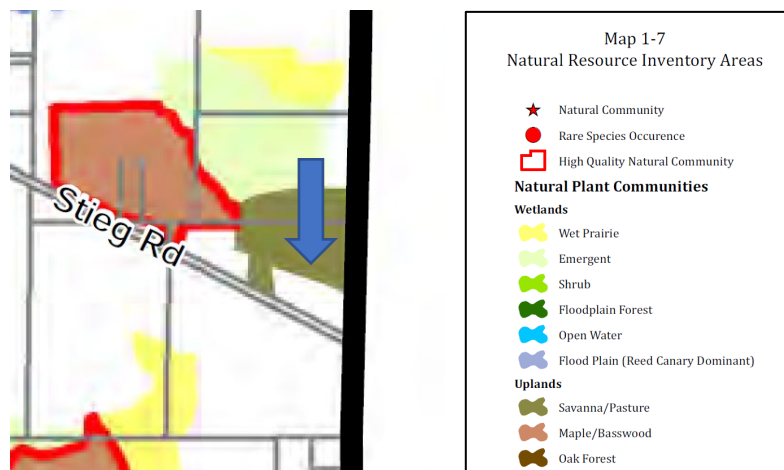
The property is currently zoned Light Industrial (I-1) and the 2040 Comprehensive Plan guides the property as Light Industrial.

Surrounding Properties

The property to the north is Nelson International, guided Light Industrial, and zoned I-1. The properties to the west are zoned Planned Unit Development (PUD) for Bellwether and guided as low-density residential. The properties to the south are guided for commercial and zoned Community Commercial (C-2). The residential properties to the east are located in the City of Maple Grove.

Natural Characteristics of the Site

The 2040 Comprehensive Plan's Natural Resource Inventory Areas map reflects savanna/pasture upland on the site. This plant community is not considered a high-quality natural community.



A wetland delineation was completed for Bellwether in 2018 that included this property. There is a small portion of a DNR protected wetland located in the northwest corner of the property with a larger DNR protected wetland located within the mid-east portion of the parcel (as indicated in purple in the image to the right). A portion of this wetland is shown as a pond in the wetland delineation report from 2018. Furthermore, there is a small, low-quality wetland located along the north property line and a larger high-quality wetland located along the west property boundary. The rough location of these wetlands can be seen in the Hennepin County Natural Resources Map attached to this report.



4. Analysis

A. Level of Discretion in Decision Making

The City has a relatively high level of discretion in approving or denying a CPA. The comprehensive use plan is the City's long-range planning tool that indicates what type of development should occur on all land within the City. It is the City's plan for directing future development and growth. The City Council may guide property as it deems necessary to protect and promote the general health, safety, and welfare of the community.

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If the proposed plat meets these standards, the City must approve the preliminary plat.

The City's discretion in approving or denying a CUP is based on whether the proposal meets the standards outlined in the City Code. If it meets these standards, the City should approve the CUP.

The City's discretion in approving or denying a site plan is limited to whether the proposal meets the performance standards outlined in the City Code. If it meets these standards, the City must approve the site plan.

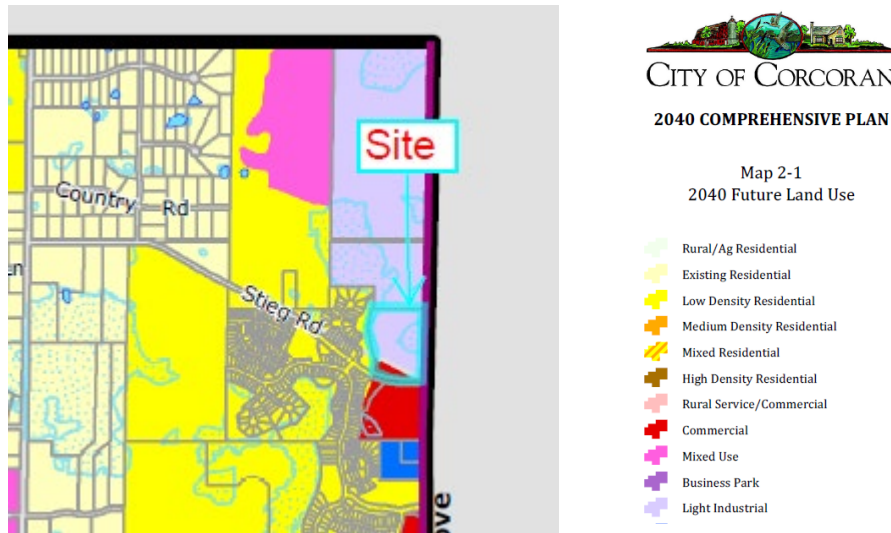
B. Consistency with Ordinance Standards

Staff reviewed the application for consistency with the 2040 Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, and other City Code requirements as well as

City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memos and the approval conditions require compliance with these memos. The engineering memos are consistent with guidance provided to the applicant in the feasibility study completed in February 2023.

Comprehensive Plan Amendment

The primary request of the applicant is to develop a portion of the property for use as a commercial kennel. Commercial kennels are not an allowed use within the I-1 district. Commercial kennels are allowed through a CUP in the C-2 district. Since the existing underlying land use is industrial, the property cannot be rezoned to C-2 without a CPA to re-guide the property to commercial in the 2040 Future Land Use Map. Therefore, the first component of the application to consider is the CPA request.



The Comprehensive Plan is a living document. When the City finds evidence to support a change to the plan, the City Council has the discretion to make a change. The City should consider the following issues when reviewing a CPA request:

- Evidence submitted by the applicant demonstrating the reason(s) that the plan should be changed, including, but not limited to, whether new information has become available since the Comprehensive Plan was adopted that supports re-examination of the plan, or that existing or proposed development offers new opportunities or constraints that were not previously considered by the plan.
- Whether or not the change is needed to allow reasonable development of the site.
- The relationship of the proposed amendment to the supply and demand for particular land uses within the City and the immediate vicinity of the site.
- A demonstration by the applicant that the proposed amendment has merit beyond the interests of the proponent.

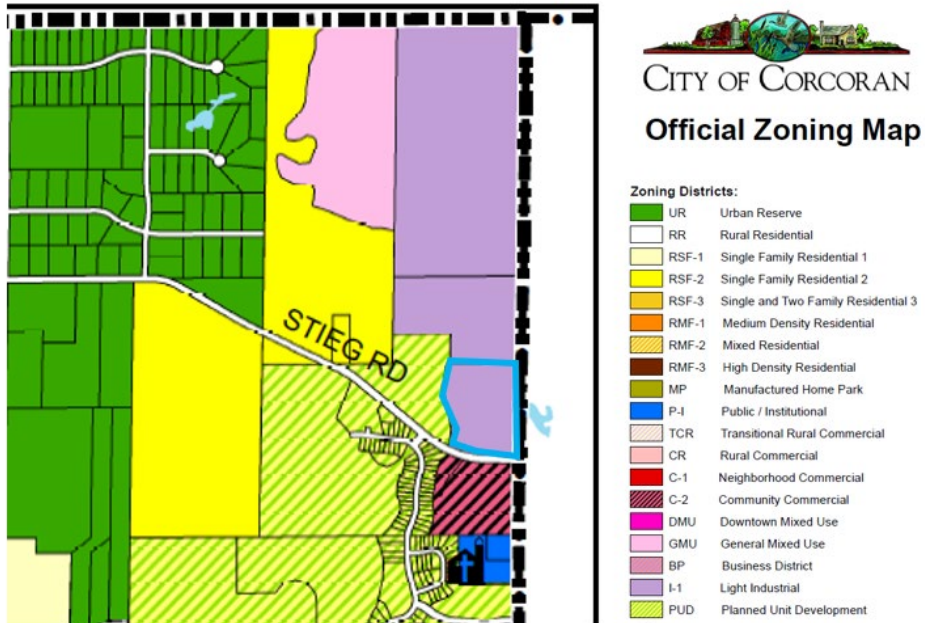
- The possible impacts of the amendment on all specific elements of the Comprehensive Plan as may be applicable, including, but not limited to:
 - o Transportation;
 - o Sanitary Sewer, including existing and proposed sanitary sewer flows as compared to the adopted plan;
 - o Housing, including the extent to which the proposal contributes to the City's adopted housing goals;
 - o Surface water, including compliance with the City's goals for water quality as well as water quantity management;
 - o Water supply; and.
 - o Park and open space
- Consideration of the impact of the proposed amendment upon current and future special assessments and utility area charges, future property tax assessments, or other fiscal impacts upon the City.

This is a policy decision for the City Council. The City should evaluate all of these issues when considering the decision. Staff believes there is merit to the request. The property directly south across Stieg Rd is zoned for commercial use, so this request would simply extend the boundary of an existing land use within the vicinity. The commercial intent is consistent with the overall vision for the Northeast District as a job-creation zone that provides a non-residential tax base to the City. Further, commercial uses on this property may be more compatible to the adjacent residential neighborhood to the west than light industrial uses. The land use plan change may be consistent with the goals of the Comprehensive Plan as it will allow reasonable development of the site while supporting the growth of an existing business within the community.

Adjacent jurisdictions were notified of the proposed CPA as required. As of May 25, 2023, all responses received so far have had no comments or concerns. These responses are attached to this report.

Rezoning

The subject property is currently zoned I-1 which allows for low impact manufacturing and warehousing. The applicant requests that the property be rezoned to C-2 which allows for retail and service businesses oriented towards motorists. The change in zoning will allow for a portion of the property to be developed as a commercial kennel for the applicant's pet daycare and boarding business which is an allowed use through a CUP.



The following criteria should be considered when evaluating a rezoning request:

- A. *The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Plan, including public facilities and capital improvement plans.*

If granted, the rezoning request will reduce the available amount of light industrial acreage available for development within the Northeast District and overall city. However, rezoning the property to C-2 may move forward the following goal of the 2040 Comprehensive Plan as it relates to land use:

Goal 3: Create new land use opportunities to expand and diversify the City's tax base by encouraging new commercial development.

Further, one of the underlying development goals of the Northeast District is to facilitate a job creation zone. The proposal appears to be consistent with the City's guiding documents, and the request does not conflict with public facilities or capital improvement plans.

- B. *The proposed action meets the purpose and intent of this Ordinance or in the case of a map amendment it meets the purpose and intent of the individual district.*

The rezoning request is considered a zoning map amendment. The purpose and intent of the C-2 district requested for the subject property is stated as follows:

This district is intended to provide for a variety of retail and service businesses serving the region, which are oriented towards motorists and require high volumes of traffic and visibility from major roads. The service area for this area

will extend beyond the boundaries of Corcoran. New development within this district will be allowed only when a full range of municipal services and facilities are available to serve the area.

The rezoning request for this property may be consistent with the purpose of the C-2 district. This general area can accommodate the purpose and anticipated uses of the C-2 district as evidenced by the existing C-2 district boundaries to the south of the subject property.

C. There is adequate infrastructure available to serve the proposed action.

The feasibility study confirmed there is adequate infrastructure available to serve the rezoning request.

D. There is an adequate buffer or transition provided between potentially incompatible districts.

Stieg Road currently acts as a delineation between the C-2 and I-1 district. This request will simply extend the C-2 district northwards across Stieg Road to encompass the subject property. The C-2 district is relatively compatible with the I-1 district and existing use of the adjacent property to the north. Rezoning the subject property to a C-2 district may arguably provide a better transition in intensity/uses to the Bellwether neighborhood to the west and the I-1 district to the north.

Preliminary Plat

Lot Standards

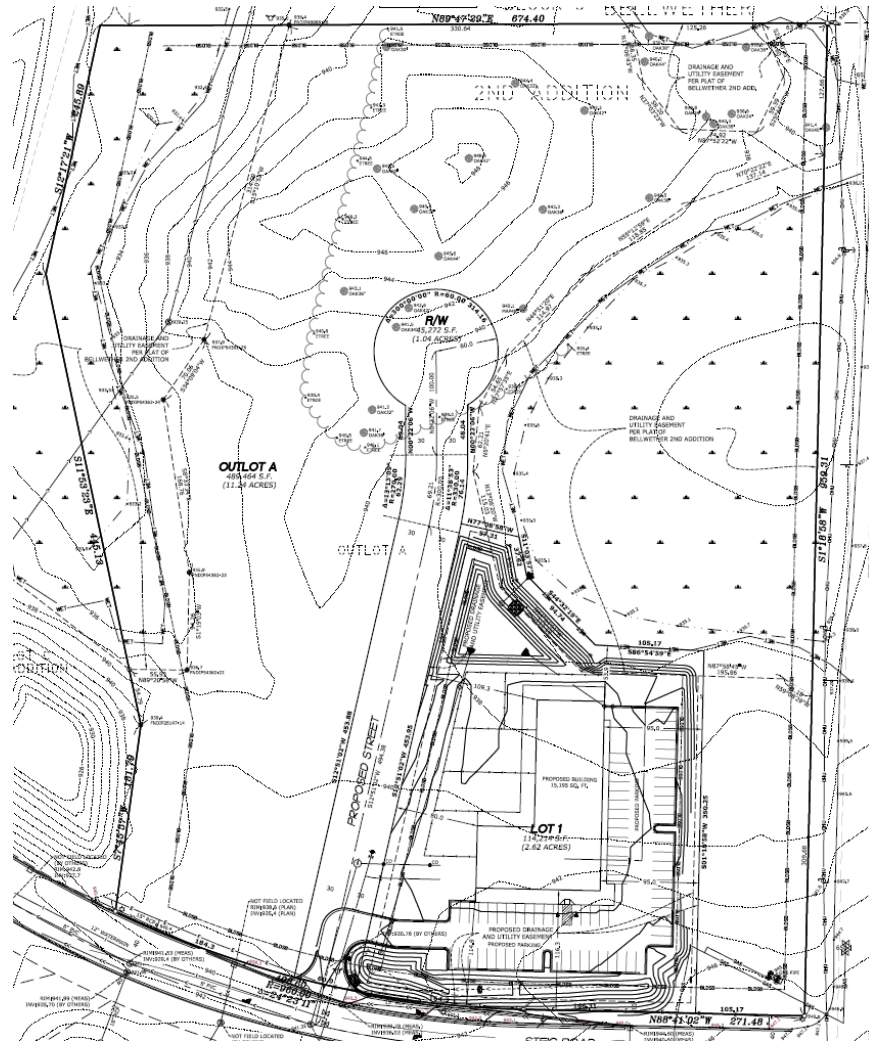
Assuming the City approves the CPA and rezoning components of the application, the proposed preliminary plat (entitled Red Barn Pet Retreat) should be reviewed bases on the following lot standards for the C-2 district:

Lot Requirements	Minimum Standard
Minimum Lot Area	1 acre
Minimum Lot Width	100 ft.
Minimum Lot Depth	200 ft.

The proposed preliminary plat is enclosed to this report and consists of two lots: Lot 1 and Outlot A. The preliminary plat and ghost plat show Lot 1 is proposed to be 2.62 acres. Lot 1 would serve as the site for the proposed Red Barn Pet Retreat. Outlot A is proposed to be 11.24 acres and would be undevelopable without an additional subdivision application. The applicant provided a ghost plat showing how the property could be subdivided in the future which is attached to this report.

Both lots in the preliminary plat meet the minimum lot area and lot width requirements. While the northern tip of Lot 1 has a depth as low as 57.31', the majority of the parcel exceeds the minimum depth of 200'. The code requires the measurement of the lot

depth be calculated based on the average depth of the lot; therefore, staff finds Lot 1 complies with the lot depth standard.



Drainage and Utility (D&U) Easements and Right-of-Way (ROW)

A public street with a 60' ROW and cul-de-sac will be dedicated to the City as part of this plat. However, the applicant requests that he not be required to build the public street at this time as it will be unnecessary for the current phase of development which is limited to Lot 1. The street would be built out at the time of additional phases of development. For the interim, the applicant will construct a driveway in the public ROW to serve Lot 1. This will require an encroachment agreement with the City.

There are several D&U easements that must be added to the plat as noted in the Engineering memo. The following should be encompassed by a D&U:

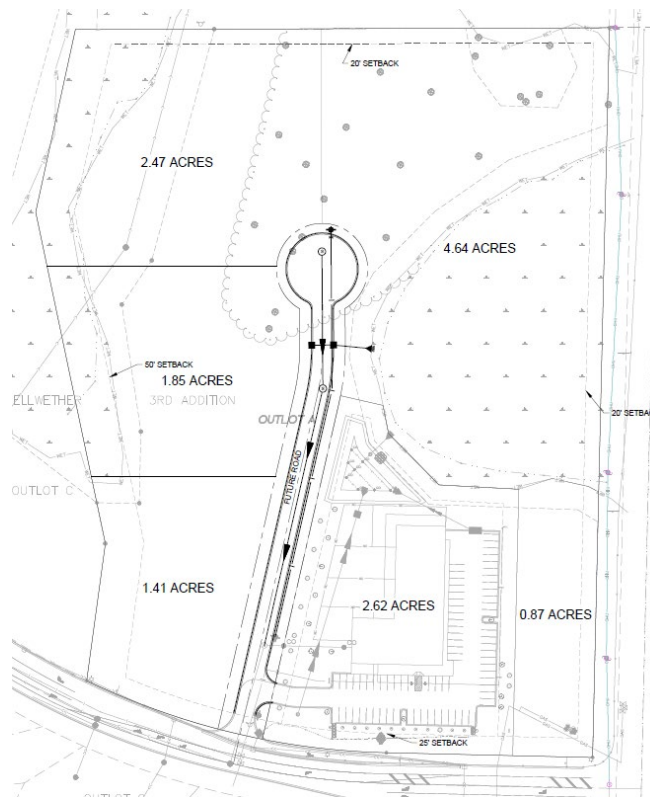
- All basins and ponds.
- All storm sewer pipes required for the operation of the ponding/treatment system.
- All pond and wetland access routes.

- The existing easement for the trunk sewer line to the northwest.
- The entirety of Outlot A.

Future Development

The ghost plat shows that the proposed public street and remainder of Outlot A will be able to facilitate four more lots ranging from 1.41 – 4.64-acres in size. The ghost plat confirms most of these lots meet the minimum lot dimensions for the district. However, it also shows an orphaned lot to the east of Lot 1 of 0.87 acres. This lot would not comply with the lot standards for the district. The applicant must revise the current plat for Lot 1 to include the easterly 0.87 acres as the large wetland complex prevents it from being accessible and usable space for the larger 4.64-acre lot to the north shown on the ghost plat. The additional 0.87 acres can be useful to accommodate performance and engineering standards discussed in the site plan analysis portion of this report and Engineering Memo (landscaping, turnaround for parking, and stormwater ponding). The ghost plat must also be revised accordingly. The changes are expected to result in the following lot sizes for the preliminary plat under review:

- Lot 1 3.49 acres
- Outlot A 10.47 acres



Utilities

The Engineering Memo touches on various technical items related to municipal sewer and water for the site that must be addressed as the project moves forward in the review process. There are existing trunk sanitary sewer lines that run through the northwest corner of the development. The applicant will be responsible for either connecting to one of the trunk sewer manholes or the sewer stubs provided for the lot along Stieg Rd. The plans must be revised to show the existing easement for the trunk sewer line on the site. A 12" trunk watermain line is available along the northern property line and a water stub is provided at Stieg Road. To accommodate the future development plan, the watermain must be looped through the site. The anticipated timeline for Corcoran's water supply system to be operational is the end of 2024, but this date is subject to change. Until then, water would either need to be provided by the City of Maple Grove through an amendment to the existing water agreement with the City of Corcoran, or the applicant will be responsible for providing their own water supply and fire suppression system. As of the date of this report, it is unknown whether the City of Maple Grove will be willing to amend the current water agreement to include the Red Barn Pet Retreat. The City of Maple Grove was not willing to do this for Nelson International to the north but was willing to amend the agreement for Amberly and additional phases of Bellwether to the west.

If the City of Maple Grove agrees to provide an interim supply through an amendment to the existing water agreement with the City of Corcoran, the applicant will be required to pay the Maple Grove connection fees as well as the Corcoran water connection and TLAC fees. Corcoran trunk fees for sewer and water (TLAC) are due when the final plat is released for recording with Hennepin County, and the connection fees for Corcoran and Maple Grove are due at the time of building permit. If a private well is constructed to service the site on an interim basis, the applicant will be responsible for verifying the well can support a fire suppression system. Corcoran fees will still apply with the interim use of a private well. The applicant's proposed plans show both options, but the Engineering Memo clarifies that only one source for a water service shall be provided.

Trails and Park Dedication

The 2040 Comprehensive Plan shows two on-road trails (Stieg Road and County Road 101) and one off-road trail in the vicinity of this site. The off-road trail was previously dedicated with Bellwether. The on-road trails along County Road 101 are factored into the required right-of-way to be dedicated as part of the plat. A 10' trail easement shall be provided over the 10' D&U easement along Stieg Road. On-road trails do not count towards a park dedication credit due to their location within ROW or a public easement.

This subdivision requires park dedication with the creation of a new commercial lot. Staff and the Parks and Trails Commission recommend park dedication be provided as cash-in-lieu of land. With the majority of the land being placed in an outlot for future development, the estimated park dedication based on the 2023 fee schedule and the acreage of Lot 1 is expected to be \$20,472.34 (3.49 acres x \$5,866). Park dedication

will be due prior to the issuance of a building permit. Park dedication for the remainder of this site will be due when it is re-platted for future development.

Buffer Yard

Per the newly adopted buffer yard standards, a buffer yard is required when a “developing” property is adjacent to or across a local street from property in a less intensive zoning district. Proposed Outlot A is adjacent to the Bellwether development, but Outlot A is being reserved for future development. Lot 1 that is to be developed is not directly adjacent to the Bellwether development. Therefore, compliance with the buffer yard standard should be reserved for redevelopment of Outlot A when it includes proposed development adjacent to Bellwether. At that time, a “B” buffer yard class would be applied since RSF-3 would be the closest single-family residential zoning district to the Bellwether Planned Unit Development. A “B” buffer yard class can be satisfied in the following ways:

Width	Overstory Plantings ₁	Understory Plantings ₁	Shrubs or Tall Native Prairie Plantings _{1, 2}	Structures
10'	1	4	6	Min. 4' fence ₃
20'	3	6	9	None
20'	1	2	3	Min. 4' fence ₃
30'	2	4	12	None
30'	1	2	4	Min. 4' fence ₃

₁ Per 100 feet of distance.

₂ Requirement must be met by shrubs, tall native prairie plantings, or a combination deemed acceptable by the City.

₃ Fence are subject to requirements in Section 1060.080

Conditional Use Permit

Commercial kennels can be approved through a CUP in the C-2 district. Other than ongoing compliance with animal regulations as outlined in Chapter 81 of the City Code, no specific standards are outlined for commercial kennels. Ongoing compliance with Chapter 81 is listed as a specific condition of approval in the draft site plan and conditional use permit resolution. Section 1070.020 of the Zoning Ordinance outlines general evaluation criteria for CUPs.

A. Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.

Granting the CUP for a commercial kennel to allow the expansion of an existing business within the community aligns with the 2040 Comprehensive Plan. The CUP will support and promote an existing business that has proven to be viable and responsible for the needs of the community. The following land use goals of the 2040 Comprehensive Plan will be accomplished by granting the CUP:

- Goal 3: Create new land use opportunities to expand and diversify the City's tax base by encouraging new commercial development.
- Goal 4: Attract and encourage new light industrial, office-industrial, high tech and professional services, and maintain and expand existing businesses in Corcoran.

B. The establishment, maintenance, or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort.

The proposed conditional use will promote and enhance the welfare of the general public. The popularity of the applicant's existing business location is evident and the driving force behind the expansion to a second location. The applicant's narrative explains many residents of the surrounding area, including Bellwether residents, rely on his services to take care of their beloved pets.

Granting the CUP for the proposed commercial kennel is not likely to be detrimental or endanger the public health, safety, morals, or comfort of the area. The applicant was intentional with the building design in the hopes of constructing a building that is reflective of Corcoran's rural character. The proposed building pad for Red Barn Pet Retreat is centrally located on the overall plat with the front entrance facing to the south. This allows the kennel to be located a relatively far distance away from the nearby residential uses. The exterior play yards will be enclosed by a 7' tall privacy fence to significantly reduce any sound created by the dogs. The company has a "no bark policy" to promote a calm and peaceful environment. This means each bark is train corrected through positive reinforcement. The applicant commits to not allowing dogs to bark uncontrolled while outside.

C. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

It is unlikely the proposed commercial kennel will be injurious to the use, enjoyment, and property values of surrounding properties. As previously discussed, the applicant's site design and business model minimize sound and barking to the extent possible. The applicant has operated his business out of his home since 2017. The City is not aware of any complaints to suggest the use is injurious to the neighborhood, and there is no evidence the property values of the surrounding area are negatively affected by the business.

D. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

At one point, the applicant had stated to staff his intent to utilize dog walking trails. The plans do not seem to show these trails on Lot 1. It is unclear if the applicant plans to use the outlot space designated for future development for dog walking trails and how this could arguably impede normal and orderly development of the outlot. Since the outlot is meant to be set aside for future development specifically and should not be used for business operations of the Red Barn Pet Retreat, a condition of approval for the CUP is that all business operations must be contained to Lot 1. If he would like to reserve more space for walking trails, then this space should be added to Lot 1. With this condition in place, approving the CUP will not preclude additional development on the remainder of the site nor impede the development and improvement of other surrounding properties.

E. Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.

The feasibility study completed for this project confirms utilities are available to the site. The applicant will be responsible for improvements to accommodate the site. The site design will need to be modified to allow for emergency services to navigate the site, and this is included as a condition of approval in the draft resolution.

F. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The conditional use conforms, or can reasonably conform with conditions of approval, to the regulations of the C-2 zoning district and Northeast District.

G. The conditional use and site conforms to performance standards as specified by this Chapter.

Staff finds this to be true with conditions of approval to ensure conformance with performance standards. This is further discussed in the subsequent site plan analysis of this report.

Site Plan

District Size Regulations

The following dimension requirements apply to the site for the Red Barn Pet Retreat:

Structure Standards	
Front Setback, Major Roadways	100 ft.
Front Setback, All Other Streets	25 ft.

Side and Rear	20 ft.
Adjacent to Residential Setback	50 ft.
Maximum Principal Building Height	35 ft.
Maximum Impervious Surface Coverage	80%

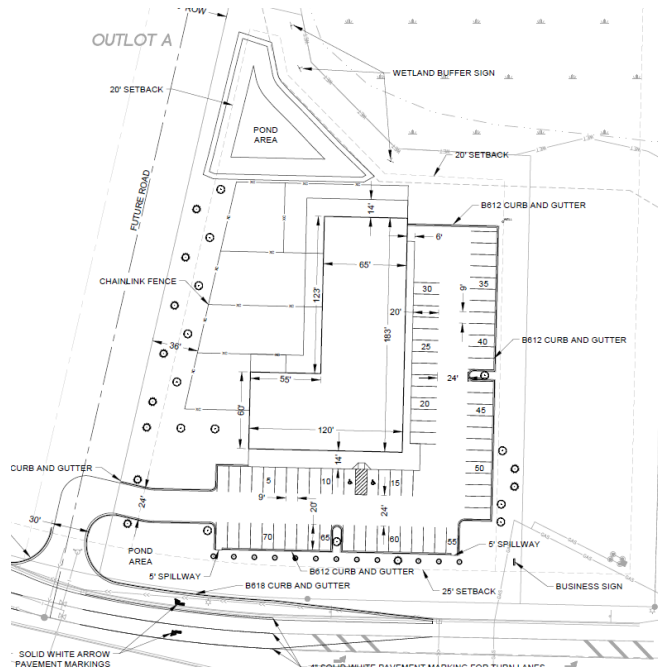
The site plan for Red Barn Pet Retreat complies with the front setbacks. However, the plans note a 20' setback along the road ROW. The plans should be revised to show a 25' setback along the west lot line for the sake of reference. However, the building and parking lots meet or exceed the applicable setbacks for the C-2 District. The proposed building far exceeds the residential setback of 50's, and the applicant does show this setback on the overall property layout for future reference.

The building plans received on May 10th show the apex of the pitched roof is just over 34'. For pitched roofs, the building height is measured by the mean distance of the highest gable. Since the highest point is under 35', the plans comply with the building height standard for the district.

The SWPPP plan provides that the post-construction impervious surface area will equal 1.54 acres. Assuming a lot size of 3.49 acres, this should comply with the 80% impervious surface coverage limit for the district. However, the synthetic turf for the play area may be considered impervious, and it is unclear whether this area was considered in the impervious surface calculations. The applicant will need to work with engineering to confirm how the proposed turf is handled for impervious surface calculations and provide an updated calculation if needed.

Refuse

It is unclear from the plans how the applicant intends to address storage of garbage for Red Barn Pet Retreat. This information (e.g., details on the trash enclosure) must be provided as a condition of approval. The applicant will be expected to comply with the following standards in Section 1060.020 of the Zoning Ordinance:



- No exterior incineration of trash or garbage.
- No exterior storage of trash or garbage except in an accessory building enclosed by walls and a roof or in closed containers within a totally screened area.

Design Guidelines and Architecture

The property is located in the Northeast District of the City and subject to the design standards of Appendix C and the performance standards in Section 1060 of the Zoning Ordinance. The NE District Plan has the following architectural requirements:

- At least 60% of each visible building façade must be of a Class 1 material as designated in the NE District Plan.
- No more than 10% of each visible building façade may be of a Class III material.
- Building elevations exceeding 80' must be broken up with at least two of the following: changes in plan, changes in color, texture, materials or masonry pattern, windows, or an equivalent element that breaks up the elevation.

All four building facades rely heavily on LP Smart Siding (also known as fiber-reinforced cement board siding which can be considered a Class I material) with a thickness of ½ inch. Fiber-reinforced cement board siding with a minimum of thickness of ¼ inch is considered a Class I material for residential uses. However, the City Council can approve the use of this material on a commercial building as an “other materials of a similar quality.” Ten percent of the south elevation includes stone veneer (which is considered architectural cladding which can be a Class I material with a thickness of 5/8 inches). The north and west elevations are comprised entirely of LP Smart Siding with versetta stone incorporated as wrapping on columns.

The plans state that the east elevation includes a combination of LP Smart Siding and 13% versetta stone. However, the use of versetta stone on this elevation doesn't seem accurate. The middle of the building shows wooden shakes with a mural. Wooden shakes do not appear to be a pre-approved material in any of the classes. However, this could be approved by the Council as a material of similar quality. If the shakes make up 13% of the east elevation as suggested by the plans, then it would need to be approved as a similar quality material as compared to the materials identified in either Class I or Class II. Staff believes Class II could make sense. Assuming the Council approves the use of LP Smart Siding and wooden shake for this site, then the building materials comply with the NE District standards with a condition of approval added in the draft resolution that the stone veneer comply with the thickness standard of at least 5/8 inches.

All of the building elevations are broken up by the use of different colors, windows, columns, and different textures. This standard is satisfied with the current plans.

Per Section 1060.050, acceptable roofing materials for non-residential structures include asphalt shingles, wood shingles (including shake), concrete, clay, or ceramic tile

roofs. Additionally, metal roofs with a pitch greater than 2:12 are permitted if the following standards are satisfied:

- Color samples shall be provided for review and approval by the City Council as part of the site plan review.
- Meets the standards of the MN State Building Code.
- Has concealed fasteners.
- Has a high-quality commercial thickness/weight.
- Has been treated with a factory applied color coating system against any fading or degradation.

The applicant proposes to use asphalt shingles for the large majority of the roof. The roof of the front porch overhang will use standing seam (metal with concealed fasteners). The proposed color is depicted in the renderings. The thickness of the metal panels does not appear to be provided in the plans, so this standard will be a condition of approval along with satisfying the standards of the MN State Building Code which will be confirmed at the time of building permit. Overall, the proposed roofing materials appear to comply with the applicable performance standards.

Lastly, architectural plans were submitted with the sketch plan, but the building has changed since submittal of those plans. The new building plans are missing key building code information. A condition of approval is for the applicant to submit updated architectural plans that include building code details, confirms the overall square footage, and the applicant's calculations used to inform other components of the site plan (e.g., parking and landscaping).



Screening

The plans do not appear to show rooftop or ground mounted mechanical equipment. Based on the building plans, it is assumed that ground mounted mechanical equipment will be utilized. A condition of approval is that a screening plan be provided for such

equipment that complies with Section 1060.030 of the Zoning Ordinance as well as the Screening portion of Appendix C. Specifically, utility service structures (such as utility meters, utility lines, transformers, aboveground tanks) and ground mounted mechanical equipment must be screened from off-site views utilizing a double row of landscaping, a privacy fence, or a wall that is at the same height as the structure it is screening or six feet, whichever is less to screen from off-site views. A chain link fence with slats shall not be accepted as screening.

Lighting

A plan addressing exterior lighting was not provided. The applicant confirmed there will be exterior lighting, and a final photometric plan will be created by the selected electrician upon preliminary approval of the project. A preliminary plan may be available prior to the Planning Commission meeting. If so, staff will forward this to the Commission and update the packet accordingly. For now, a condition of approval in the draft resolution requires compliance with Section 1060.040 of the Zoning Ordinance and a plan must be provided that confirms:

- Lights shall not exceed one foot-candle as measured from the property line or the centerline of a public street.
- Lenses, deflectors, shields, louvers, or prismatic control devices shall be used to eliminate glare beyond the property line.
- Light fixtures and freestanding luminaires shall have a cutoff angle of less than or equal to 90 degrees.
- The height of a freestanding luminaire shall not exceed 30 feet or extend above the roof line of the building, whichever is less.
- Any accent lighting must be shielded.

Parking

The proposed parking lot and drive aisle complies with the following setbacks required in Section 1060.060 of the Zoning Ordinance:

Property Line	Setback
Side (north)	10'
Front along CR 101 (east)	100'
Front along all other roads (south & west)	25'

The number of required parking stalls is based on the floor area of the building. This is to be calculated by adding up the floor area of each level minus 10% to account for stairwells and utility rooms. Based on the building plans submitted on May 10, 2023, the floor area is 17,537 square feet.

The minimum number of off-street parking spaces based on specific contemplated uses are provided in Section 1060.060, Subd. 8 of the Zoning Ordinance. Pet boarding and pet daycare are not a specific listed use in the table. In such instances, Subd. 9

provides that the Zoning Administrator will compute the minimum requirement on the same basis as required for the most similar listed uses while also consulting off-street parking reference materials.

The applicant's site layout plan shows 74 striped parking stalls including 2 handicapped spaces. The most similar use contemplated in the Subd. 8 table appears to be "office buildings, animal clinics, medical/dental clinics." This requires one parking space for each 200 square feet of floor area with a minimum of 8 spaces required. Under this formula, a minimum of 88 parking spaces are required. Considering the drop-off nature of the facility, this number may be excessive to accommodate employees and peak hours of use.

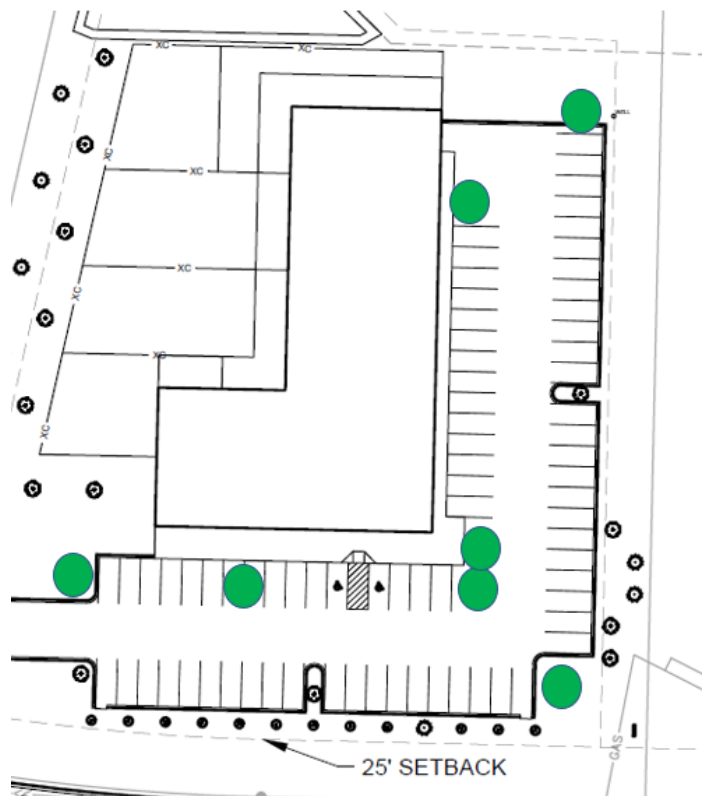
Staff consulted parking standards provided by the American Planning Association (APA). A formula of 1 space per 200 square feet is not unheard of, but it was more common for a formula of 1 space per 400 square feet of floor area or 2 spaces per 1,000 square feet of floor area. Using a formula based on 400 square feet, a minimum of 44 off-street parking spaces would be required, and the plans would comply with this standard. When the sketch plan was reviewed by the Council, the applicant was asked to provide more information regarding the maximum number of employees per shift and maximum pet occupancy of the building to help confirm a sufficient level of parking for the commercial kennel. The applicant's narrative states the intent for there to be 30-55 employees. The narrative confirms the intent for there to be 34 dedicated spaces for customer parking and 40 dedicated parking spaces for employees. Even if there was a need for 55 staff members to be on site at the same time, this would still leave 18 parking spaces for customers as they drop off and pick up their pets. Staff believes this should be a sufficient amount of parking for regular operations.

The parking lot is designed with 90-degree parking throughout. Accordingly, each parking stall must have a minimum width of 9', length of 18'6", depth of 18'6", and an aisle width of 26'. The parking stalls comply or exceed these dimensions, but the drive aisle on the site layout is 24'. A foot can be gained on both sides of the drive aisle if the stall length and depth is reduced from 20' to 19'. This would still exceed the length and depths standards in code while achieving the required drive aisle dimension. The plans must be revised accordingly as a condition of approval.

Parking areas with 4 or more stalls shall be screened from properties guided or zoned residential and from public streets. Screening to a height of at least 3 feet shall be provided to screen vehicle headlights. The landscaping plan does show flowering shrubs and a spruce tree on the south end of the parking lot. The southeast corner of the parking lot also has a handful of trees to provide screening. However, the majority of the parking lot on the east side of the building will require screening from County Road 101. The landscaping plan must be revised to provide the minimum amount of screening on the remainder of the eastern portion of the parking lot as a condition of approval.

The NE District plan has additional parking requirements that apply to the site. For starters, a bicycle rack is required for all non-residential uses. It can be placed near the entrance if a minimum 5-foot wide pedestrian access to the building entrance is maintained. Alternatively, bicycle parking may occupy up to two required parking stalls without additional parking required. A bicycle rack is not currently shown on the site layout. A condition of approval is for the site layout to be updated to include the required bicycle rack.

Secondly, parking bays shall have landscaped islands at each end of the parking bay, and intermediate islands shall break up bays in excess of 15 spaces in length. End landscape islands shall provide at least 360 square feet of area for planting trees, shrubs, and/or groundcovers. Intermediate landscape islands shall provide at least 180 square feet of planting area. The site layout shows some landscape islands. However, several are missing and/or a tree is not shown. Further, the size of the intermediate island does not appear to reach the 180 square foot minimum. While the parking lot will need to be redesigned to account for the turnaround, below is a sketch to show where additional landscaping islands (depicted by green ovals) would be needed in order to meet the requirement of the NE District plan for reference. A condition of approval in the draft resolution is for the applicant to revise the site plan and landscaping plan to include all required landscaping islands, with dimensions, with at least one tree. If designed appropriately, these landscaping islands can (and are encouraged to) double as a stormwater management strategy.



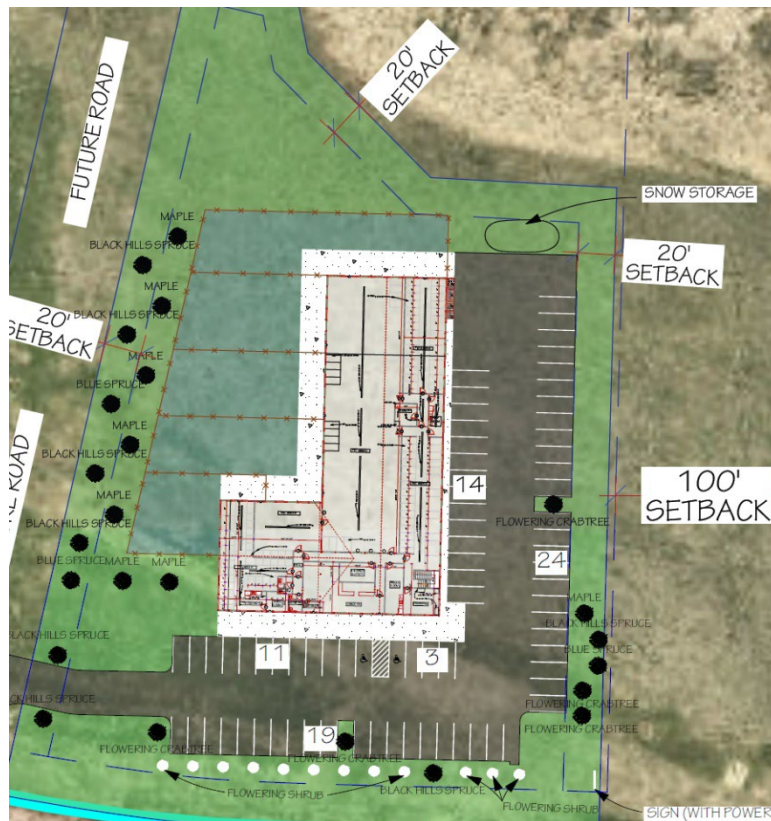
When the local street serving the larger development is constructed, there should be a landscaped buffer between the public sidewalk and the parking area. The buffer must consist of shade trees, low shrubs, or perennial flowers and a decorative fence or masonry wall. There are three trees (2 spruce and 1 flowering crabtree) currently shown on the landscaping in the buffer area between the eventual public sidewalk and the parking area. The landscaping plan should be revised to include more vegetation within the area that will eventually serve as the required buffer from the sidewalk.

During the review, staff noted the parking lot in the site layout does not match up with the parking lot shown in the landscaping plan do not quite line up, particularly near the northeast end of the building. The plans must be revised to be consistent throughout.

Landscaping

Section 1060.070 of the Zoning Ordinance requires non-residential uses to provide the following landscaping:

- One overstory tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter, whichever is greater.
- One understory shrub for each 300 square feet of building or one tree per 30 lineal feet of site perimeter, whichever is greater.



The gross building floor area is calculated at 19,485.7 feet. The site perimeter of Lot 1 (with the addition of the 0.87 acres to the east) is 1,640 feet. For overstory trees, the greater calculation is reached by using the site perimeter for a required total of 30 trees. For the understory shrub, the greater calculation is reached using the gross building floor area for a minimum of 65 understory trees. The applicant's landscape plan shows 18 overstory trees and 17 understory trees and shrubs. A condition of approval is to revise the landscaping plan to include the minimum number of trees throughout the site. As noted previously, some of this vegetation should be included in the following areas of the site:

- The southwest corner of the site where a landscaped buffer should be provided between the parking area and eventual public sidewalk along the future road.
- Along the entire east side of the parking lot.
- Within landscaping islands for the parking lot.

Further, the Engineering Memo requires that proposed landscaping be moved out of the D&U easement along the future road.

The NE District Plan has additional landscaping requirements that apply to this site. A full complement of hardy overstory, ornamental, and evergreen trees as well as shrubbery and ground covers are required. Alternatives to traditional lawns are encouraged. The applicant's turf establishment plan shows the majority of the site to be seeded with a turfgrass mix with incorporation of a native grass mix with the stormwater ponding. This appears to comply with the desire of the NE District Plan. A maintenance plan must be provided for the native prairie plantings for approval by the City, which is a condition of approval. This is in addition to requirements for the wetland buffers.

The NE District has a preferred trees list. The applicant's landscaping plan utilizes Black Hills Spruce which is a preferred species of coniferous trees. This is enough to comply with the minimum standard that development within the NE District must select from the preferred trees list. It is possible that the maple, flowering crabtrees, and flowering shrubs indicated on the landscaping plan may also be a preferred species, but the exact species would need to be identified. Regardless, specification of the exact species is a requirement of the landscaping plan requirement, particularly to confirm that no more than 33% of the required number of plantings are from a single species. This is included as a condition of approval.

Signage

The building and site plans show two signs for Red Barn Pet Retreat. One wall sign on the south elevation over the primary entrance. A second monument sign in the southeast corner of Lot 1. The wall sign looks to be well within the parameters for wall signs outlined in Chapter 84.05 of the City Code. The plans do not indicate if there will be a lighting component to the sign. If there is this would be reviewed with the eventual sign permit application and shall meet the lighting and brightness standards in Chapter 84.04, para. 8.

The applicant confirmed plans for the monument sign to be identical to the monument sign at his residence. This does include an external shielded light that is allowed if it complies with the lighting and brightness standards. The size will need to be confirmed, but a size copy area of 64' and a height of 16' is allowed in commercial districts. With this in mind, staff believes the sign will more than comply.

The location of the freestanding sign may need to be adjusted as the applicant works through landscaping, parking, and stormwater. There should be plenty of space to accommodate the sign as only a 10' setback from all property lines is required. Compliance with all sign regulations will be confirmed with the submittal of a sign permit.



Streets and Access

Access to the site would be provided via a new 60-foot wide ROW along the south property line on Stieg Road. The applicant would construct a private driveway in the ROW, and the street will be fully constructed upon further subdivision of Outlot A. This is similar to the private improvements allowed in a public right-of-way or dedicated

public street easement for Park Place Storage and Nelson International. The private improvement will require a formalized encroachment agreement.

While the interim driveway location is allowable as shown, Public Safety will need to see a turn radius to confirm emergency vehicles will be able to navigate the site. If not, the driveway will need to be modified to accommodate emergency vehicles. Further, staff strongly recommends that the applicant consider relocating the driveway access for Red Barn Pet Retreat further north (as far north as can be accommodated) to plan and allow for better stacking, site circulation, and business operations into the future as the other sites are developed. The applicant will be required to comply with all technical requirements of the attached Engineering Memo.

The feasibility study completed for this project identified the need for the applicant to construct a westbound right turn lane on Stieg Road and restripe an eastbound left turn lane on Stieg Road. These improvements are shown on the plans; however, restriping of the westbound left turn lane will not be required at this time. The Engineering Memo further details additional requirements to finalize the plans for the turn lanes.

Since there is only one access point for the site and the parking lot along the eastern portion of the building exceeds 150', a turnaround for emergency vehicles is required. The turnaround must be constructed to the standards outlined in the City's standard detail plates.

Stormwater

An Engineering Memo dedicated to stormwater is attached to this report. There are several technical aspects within the memo that must be resolved for the project to move forward. Compliance with this memo is a condition of approval. While there are several issues, one in particular worth calling out is the need to relocate the south pond outside of the ROW and roadway D&U easements. As stated earlier in this report staff recommends the preliminary plat be revised to extend Lot 1 to the east to incorporate the 0.87-acres up against County Road 101. This area can be used to accommodate the required ponding. The NE District also requires non-residential uses to submit a Chloride Management Plan. This is included as a condition of approval in the draft resolution.

Wetlands

A wetland delineation was completed for this property in 2018 as a part of the delineation completed for Bellwether. The exact date of the delineation is unknown and has not been confirmed by the Elm Creek Watershed (which was the Local Government Unit for wetland delineations in 2018). Since wetland delineations are only good for 5 years, the Engineering Memo requires the applicant to confirm the date of the wetland delineation used for their plans. If the wetland delineation is expired, it will need to be updated.

Drainage and utility easements were placed over the wetlands and buffers as part of the Bellwether 2nd Addition plat and are shown on the preliminary plat. Wetland buffer monuments are required per Section 1050.010 of the Zoning Ordinance, but these are not shown on the certificate of survey or preliminary plat. The preliminary plat must be revised to show permanent wetland buffer monuments to be installed at each lot line where it crosses a wetland buffer, and where needed to indicate the contour of the buffer, with a maximum spacing of 200 feet of wetland edge. Not enough information is provided on the wetlands to confirm the buffer requirements are satisfied. As stated in the Engineering Memo, the applicant will be required to submit a plan for staff review that identifies wetland buffers including which buffers the applicant believes may qualify as an existing buffer as well as which buffers will need to be established with the project and how this will be accomplished.

Lastly, there is a 15' structure setback from the edge of the wetland buffer. As the Engineering Memo states, plans must be revised to reflect the setback. This setback will apply to the turf pet area, fence, concrete pavement, and building. This is included as a condition of approval.

Resiliency Strategies

All developments within the Northeast District are required to choose 3 resiliency strategies. The applicant's narrative did not explain which 3 are intended to be incorporated into the plans. Based on review, it appears the applicant may be close to achieving the following strategies:

- Xeriscaping
- Rain gardens/Bioretenion Systems
- Landscaping with Native Species

As part of the landscaping plan revisions, the applicant must specify the tree and shrubbery species proposed to further verify the selection will satisfy the xeriscaping and native specie requirements as outlined in Appendix C. It appears the south pond is proposed to be a rain garden/bioretenion system. However, this pond must be relocated, so the presence of the strategy will need to be confirmed with revised stormwater plans. If this strategy is not present, one of the remaining resiliency options must be selected and incorporated into the site design. This is included as a condition of approval.

5. Recommendation

With several conditions of approval, staff recommends a motion to recommend approval of the draft resolution approving the CPA, rezoning, preliminary plat, CUP, and site plan.

If the Planning Commission believes the City should use its discretion in denying a CPA and/or rezoning, the Commission should recommend denial of the draft resolution.

Attachments:

1. Draft Resolution 2023- Approving the Comprehensive Plan Amendment
2. Draft Ordinance 2023- Rezoning Property from I-1 to C-2
3. Draft Resolution 2023- with Findings of Fact for Rezoning
4. Draft Resolution 2023- Approving the Preliminary Plat
5. Draft Resolution 2023- Approving the Site Plan and Conditional Use Permit
6. Applicant's Narrative
7. Hennepin County Natural Resources Map
8. Certificate of Survey dated 3/28/2023
9. Preliminary Plat "Red Barn Pet Retreat" dated 5/8/2023
10. Civil Plans dated 5/5/2023
11. Landscape Plan dated 5/5/2023
12. Building Plans dated 5/10/2023
13. Building Renderings
14. City Engineer's Preliminary Plat Memo dated 5/24/2023
15. City Engineer's Stormwater Memo dated 5/24/2023
16. Public Safety Memo dated 5/11/2023
17. Hennepin County Comments dated 5/10/2023
18. CPA Comments from Adjacent Jurisdictions as of 5/25/2023

RESOLUTION NO. 2023-

Motion By:
Seconded By:

**APPROVING A COMPREHENSIVE PLAN AMENDMENT FOR “RED BARN PET RETREAT”
AT THE NORTHWEST CORNER OF STIEG ROAD AND COUNTY ROAD 101 (PID 01-119-
23-44-0045) (CITY FILE 23-008)**

WHEREAS, Daniel Benjamin (“the applicant”) requested a Future Land Use plan amendment to re-guide approximately 15 acres from light industrial to commercial on land legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the requested amendments at a duly called Public Hearing and recommends approval;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that the Corcoran City Council approves the request for a comprehensive plan amendment for the above referenced parcel, based on the following findings and subject to the following conditions:

1. The amendment will allow for new opportunities not previously considered by the 2040 Comprehensive Plan including providing a better transition from the lower intensity residential use to the west of the referenced parcel to the existing and contemplated light industrial uses north of the referenced parcel.
2. Reclassifying this site is needed to allow reasonable development of the site that responds to current market conditions.
3. Development of the site as part of the larger development will facilitate other planned infrastructure improvements, including stormwater improvements, sanitary sewer extension, municipal water extension and transportation improvements that will have regional benefits.
4. With the planned infrastructure improvements developed with this project, there is adequate public infrastructure planned to serve the site.
5. The amendment is consistent with the goals of the Comprehensive Plan as it will support the growth of an existing business within the community and will support the job creation goal of the Northeast District.

RESOLUTION NO. 2023-

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22nd day of June 2023.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2023-

ATTACHMENT A

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

ORDINANCE NO. 2023-

Motion By:
Seconded By:

AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CITY CODE TO CLASSIFY CERTAIN LAND LOCATED AT THE NORTHWEST CORNER OF STIEG ROAD AND COUNTY ROAD 101 (PID 01-119-23-44-0045) (CITY FILE NO. 23-008)

THE CITY OF CORCORAN ORDAINS:

Section 1. Amendment of the City Code. Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the classification on the City of Corcoran Zoning Map from Light Industrial (I-1) to Community Commercial (C-2), on land legally described as follows:

See Attachment A

Section 2. Effective Date. This amendment shall take effect upon adoption of the resolution approving the final plat for this project.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22nd day of June 2023.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

ORDINANCE NO. 2023-

ATTACHMENT A

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

RESOLUTION NO. 2023-

Motion By:
Seconded By:

**APPROVING FINDINGS OF FACT FOR REZONING FOR PROPERTY LOCATED AT THE
NORTHWEST CORNER OF STIEG ROAD AND COUNTY ROAD 101 (PID 01-119-23-44-
0045) (CITY FILE NO. 23-008)**

WHEREAS, Daniel Benjamin (“the applicant”) requested approval to rezone approximately 15 acres of land legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing and recommends approval, and;

WHEREAS, the City Council adopted an ordinance rezoning the affected parcels from Light Industrial (I-1) to Community Commercial (C-2);

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it approves the request for the reclassification of the property, based on the following findings and conditions:

1. Rezoning the referenced parcel to C-2 is not in conflict with the Comprehensive Plan. The rezoning will move forward the goal of the Comprehensive Plan to create new land opportunities while expanding and diversifying the City’s tax base. The rezoning is consistent with the underlying goal of the Northeast District to serve as a job creation zone. The plan incorporates the trail, park and street connections anticipated within the site.
2. The rezoning meets the purposes and intent of the individual district. The purpose and intent of the proposed C-2 district is to provide a variety of retail and service businesses serving the region, which are oriented towards motorists and require high volumes of traffic and visibility from major roads. The general vicinity of the subject property can accommodate the purpose and anticipated uses of the C-2 district as evidenced by the existing C-2 district boundaries to the south of the subject property.
3. There is adequate infrastructure available to serve the proposed action as confirmed in a feasibility study completed in February 2023.
4. There is an adequate buffer or transition provided between potentially incompatible districts. The C-2 district will provide a better transition in intensity and uses between the Bellwether development to the west and the light industrial uses to the north whereas such a transition is unlikely if the subject property were developed for light industrial uses based on the existing zoning for the property.

RESOLUTION NO. 2023-

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 13th day of April 2023.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2023-

ATTACHMENT A

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

RESOLUTION NO. 2023-

Motion By:
Seconded By:

**A RESOLUTION APPROVING A PRELIMINARY PLAT FOR “RED BARN PET RETREAT”
ON PROPERTY LOCATED AT THE NORTHWEST CORNER OF STIEG ROAD AND
COUNTY ROAD 101 (PID 01-119-23-44-0045) (CITY FILE NO. 23-008)**

WHEREAS, Daniel Benjamin (“the applicant”) requests approval of “Red Barn Pet Retreat” a commercial subdivision on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the plan at a duly called Public Hearing and recommends approval;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a preliminary plat, subject to the following conditions:

1. A preliminary plat is approved to create one lot and one outlot for “Red Barn Pet Retreat” in accordance with the plans and application received by the City on May 10, 2023, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the comprehensive plan amendment and rezoning for “Red Barn Pet Retreat.”
3. The applicant shall comply with all requirements of the City Engineer’s Plat Review Memo and City Engineer’s Stormwater Memo dated 5/24/2023.
4. The applicant shall comply with all requirements of the Public Safety memo dated May 11, 2023.
5. Prior to release of final plat for recording, the applicant shall enter into the following:
 - a. A development agreement to provide a financial guarantee to protect the work.
 - b. An encroachment agreement for site improvements within City right-of-way or easements.
 - c. Stormwater maintenance agreement.
6. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
 - a. Wetland signs must be purchased from the City.
 - b. Wetland signs must be installed on treated 4x4 wooden posts.
 - c. Wetland buffer signs must be installed prior to issuance of building permits.
 - d. The installation of the wetland monument buffer signs according to the approved plan must be certified by a registered land surveyor.
 - e. Wetland buffers must be planted and inspected by the City prior to issuance of building permits.

RESOLUTION NO. 2023-

- f. Where buffer areas are not vegetated or have been disturbed within the last 10 years, such buffer areas shall be replanted and maintained according to the standards in Section 1050.010, Subd. 8(C) of the Zoning Ordinance.
 - g. Wetland buffers, plantings, seeding areas, and monument signs shall be shown on the landscape plan.
 7. Park dedication shall be satisfied by cash-in-lieu of land. Park dedication will be based on the park dedication ordinance in place at the time the final plat is approved.
 - a. Park dedication is required based on the finding that the development will add one new commercial property to the City.
 - b. Employees of the commercial development will need and enjoy access to nearby existing and future trails that do not exist today as guided by the Comprehensive Plan.
 - c. Cash-in-lieu of land will be used only for the acquisition and development of parks recreational facilities, playgrounds, trails, wetlands, or open space based on the approved park plan in the Comprehensive Plan.
 - d. Park dedication funds will be collected at the time of final plat in accordance with the City Code requirements. Code stipulates a dedication requirement of 4% of land or equivalent market value in cash, resulting in estimated park dedication fees of \$20,472.34.
 8. Prior to submittal of the final plat, the plans must be revised to show the following:
 - a. Lot 1 expanded to include the orphaned 0.87 acres to the east of Lot 1.
 - b. An updated ghost plat reflecting the required changes to Lot 1.
 - c. Compliance with the Engineering Plat Review Memo, including the following:
 - i. All drainage and utility easements.
 - ii. Roadway design and layout in compliance with City standard details.
 - iii. Elevations for future sanitary sewer information including anticipated building pad elevations.
 - iv. Identification of the future watermain corridor which should be looped through the site.
 - v. Plans and profiles of all utilities.
 - vi. Elevations on the grading plan along the proposed curb in the proposed right turn lane.
 - vii. A 15' setback from the wetland buffer.
 - viii. Show pond access routes around all ponds.
 - d. Compliance with the Public Safety Memo including the following:
 - i. A turn radius exhibit showing circulation of emergency vehicles utilizing the driveway and parking lot of Lot 1 based on dimensions provided by the Rogers Fire Department.
 9. Prior to submittal of the final plat, the applicant must provide the following:
 - a. Verification of the date of the wetland delineation used for the project. If the delineation is more than 5 years old, it shall be updated.
 - b. A 10' trail easement must be provided over the 10' drainage and utility easements along Stieg Road.

RESOLUTION NO. 2023-

10. All utility facilities, including but not limited to telephone, CATV, natural gas and electric power, shall be located underground. Underground service connections to the street property line of each platted lot shall be installed at the subdivider's expense.
11. If water services from Maple Grove cannot be provided prior to the availability of Corcoran's water supply, the applicant must:
 - a. Provide a private well permitted with the Minnesota Department of Health.
 - b. Review fire suppression plan with the building official.
12. Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of the final plat.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22nd day of June 2023.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2023-

ATTACHMENT A

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

RESOLUTION NO. 2023-

Motion By:
Seconded By:

A RESOLUTION APPROVING A SITE PLAN AND CONDITIONAL USE PERMIT FOR A DEVELOPMENT LOCATED AT THE NORTHWEST CORNER OF STIEG ROAD AND COUNTY ROAD 101 (PID 01-119-23-44-0045) (CITY FILE NO. 23-008)

WHEREAS, Daniel Benjamin (“the applicant”) requests approval of a site plan and conditional use permit for “Red Barn Pet Retreat,” a commercial development on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the plan at a duly called Public Hearing and recommends approval;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a site plan and conditional use permit, subject to the following conditions:

1. A site plan and conditional use permit are approved to allow for the construction of building addition as shown on application and plans received by the City on May 10, 2023, except as amended by this resolution.
2. A conditional use permit is approved to allow a commercial kennel subject the following conditions and findings:
 - a. Business operations must continuously remain in compliance with Chapter 81 (Animals) of the City Code.
 - b. Business operations must be contained to Lot 1 of the “Red Barn Pet Retreat” plat.
 - c. The site design must be revised to satisfy standards for emergency services.
 - d. Dogs and animals shall not be allowed to continuously make repetitive sounds (e.g., barking) for long periods of time while outside.
 - e. Applicable criteria are satisfied as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
 - i. The use complies with the Comprehensive Plan, including public facilities and capital improvement plans. Granting the conditional use permit will support the expansion of an existing business that is proven to be viable and responsible for the needs of the community. This satisfies Goal 3 and Goal 4 of the Land Use chapter in the 2040 Comprehensive Plan.
 - ii. The establishment and ongoing use of the commercial kennel will promote the general public welfare by meeting the pet care needs of the

RESOLUTION NO. 2023-

surrounding residents and community. The intentional design of the building reflect Corcoran's rural character and pushes the building as far southeast from the nearby residential area as doable for the overall site design. The exterior play yards will be enclosed by a 7' tall privacy fence to significantly reduce any sound created by the dogs. The company has a "no bark policy" to promote a calm and peaceful environment. The applicant commits to not allowing dogs to bark uncontrolled while outside.

- iii. The commercial kennel will not be injurious to the use, enjoyment, and property values of surrounding properties. The site design and business model minimize sound and barking to the extent possible. The applicant has operated his business out of his home since 2017. The City is not aware of any complaints to suggest the use is injurious to the neighborhood, and there is no evidence the property values of the surrounding area are negatively affected by the business.
 - iv. The establishment of the commercial kennel with the above listed conditions will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - v. Adequate public facilities can be reasonably provided to accommodate commercial use as confirmed in the feasibility study completed for the project. The applicant shall be responsible for improvements to accommodate the site. Reasonable modifications to the site design as required above will allow for emergency services to navigate the site.
 - vi. The conditional use conforms or can reasonably conform with modifications included as conditions of approval, to the regulations of the C-2 zoning district and the Northeast District.
 - vii. The commercial kennel and site can reasonably conform to performance standards as specified by the Zoning Ordinance with required modifications to the submitted plans.
3. The Council approves LP Smart Siding with a thickness of ½ inch to be used as a Class I material to satisfy the building standards of the Northeast District Plan and Design Guidelines.
 4. The Council approves wooden shake to be used as a Class II material to satisfy the building standards of the Northeast District Plan and Design Guidelines.

RESOLUTION NO. 2023-

5. The applicant shall comply with all requirements of the City Engineer Plat Review Memo and Stormwater Memo dated May 24, 2023.
6. The applicant shall comply with all requirements of the Public Safety memo dated May 11, 2023.
7. Trees, ponds, curbs, retaining walls, and other private improvements shall be located outside of the public street easement and drainage and utility easement.
8. The applicant must enter into an encroachment agreement for the private driveway within the City right-of-way.
9. A building permit is required prior to beginning construction.
10. All signage must comply with the standards in Chapter 84 of the City Code and a sign permit for each sign prior to construction of the signs.
11. The applicant must enter into a Developers Agreement to cover the public and private improvements for the project. This must be executed by the developer and the City, financial guarantees in place and fees paid.
12. Prior to release for recording, the site plans must be revised to show the following:
 - a. Compliance with the Engineering Memos dated May 24, 2023.
 - b. Compliance with the Public Safety memo dated May 11, 2023.
 - c. Confirmed impervious surface calculations.
 - d. Details for refuse storage.
 - e. Confirmation the thickness of the stone veneer utilized on the building plans is at least 5/8 inches.
 - f. Updated architectural plans that summarize building code details, overall square footage, and calculations used to inform parking and landscaping requirements.
 - g. Placement of mechanical equipment and/or utility service structures.
 - i. These items must be screened in compliance with Section 1060.030 and Appendix C in the Zoning Ordinance.
 - h. A lighting plan must be submitted for any exterior lighting. This must be in compliance with Section 1060.040 of the Zoning Ordinance.
 - i. The parking must be modified as follows:
 - i. A turnaround is required for the parking along the east side of the building.
 - ii. The drive aisle must be increased to a minimum width of 26' throughout the parking lot.
 - iii. Screening of at least 3' must be provided on the entirety of the eastern portion of the parking lot facing County Road 101.
 - iv. A bicycle rack must be provided.
 - v. Additional end and intermediate landscaping islands are required with at least 1 tree each. These islands must be clearly identified on the plan with dimensions.

RESOLUTION NO. 2023-

- vi. The parking lot layout is inconsistent between the site layout and landscaping plans. All plans must be revised for consistency.
 - j. The landscaping plan must be modified as follows:
 - i. A minimum of 30 overstory trees and 65 understory trees are required and must be shown on the landscaping plan.
 - ii. Specific species must be identified. No more than 33% of the required trees can be of the same species.
 - iii. More vegetation should be placed within the area that will eventually serve as the required buffer from the public sidewalk along the future roadway.
 - iv. Landscape screening should be provided along the eastern portion of the parking area facing County Road 101.
 - v. Wetland buffers, plantings, seeding areas, and monument signs shall be shown on the landscape plan.
 - vi. A maintenance plan must be submitted for native grasses.
 - k. Plans must be revised to reflect a 15' setback from the wetland buffer. This setback applies to the building, fence, turf pet area, and concrete pavement.
 - l. A chloride management plan must be submitted for approval.
 - m. Details must be provided to confirm the presence of three resiliency strategies.
13. FURTHER, the following conditions must be met prior to issuance of building permits:
- a. Record the approving resolutions and associated documents with Hennepin County and provide proof of recording to the City.
 - b. The applicant shall submit any and all necessary permits to the watershed and receive approval and provide proof of permits to the City.
 - c. Plans must be submitted to confirm the metal roof material for the front porch overhang meets the following standards:
 - i. Compliance with the MN State Building Code
 - ii. Has a high-quality commercial thickness/weight
14. FURTHER, the following conditions must be met prior to release of remaining escrow:
- a. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project Landscape Architect. A letter signed by the project Landscape Architect verifying plantings (including wetland and pond buffers) have been correctly installed in compliance with the plans and specifications will suffice.
 - b. Any request for the City to inspect the required pond and wetland buffers in order to reduce financial guarantees must be accompanied by a recertification/verification of field inspection by the project Landscape Architect. A letter signed by the Landscape Architect verifying buffers have been correctly seeded in compliance with the plans and specifications will suffice.
15. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

RESOLUTION NO. 2023-

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 22nd day of June 2023.

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal

RESOLUTION NO. 2023-

ATTACHMENT A

Legal Description Prior to Subdivision:

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

Anticipated Legal Description Upon Subdivision:

Lot 1, RED BARN PET RETREAT ADDITION, Hennepin County, Minnesota.

PROJECT NARRATIVE - RED BARN PET RETREAT

PID# 01-119-23-44-0045 is currently zoned light industrial which I request to change to community commercial (C-2). This zoning is a much better fit for the surrounding residential community and will act as a transition between the light industrial lot to the north and the busy county road. The new commercial lot will also facilitate the type of future businesses that can better serve the surrounding community's needs, just like the commercial lot across the street.

I plan to sever PID# 01-119-23-44-0045 into two parcels. Lot 1 is 2.34 acres and will be used to develop a new location for Red Barn Pet Retreat.

I believe there will be little to no negative impact on the community but do anticipate a positive impact. North of the lot is light industrial, south is commercial, east is a busy county road then a vacant wetland and west there is a large distance before reaching a residential community. I already have many customers that use my services from Bellwether and the surrounding neighborhoods. I've been in business since 2017 with zero complaints! Red Barn will be providing very high demand services to the growing community. The fact that Red Barn is an award-winning company with such a great reputation means that we have customers coming from as far as East St Paul, Stillwater, and St. Cloud.

The building type will be polished high-end country themed post frame. This is in line with Corcoran's Northeast district future development design principles. "Development in this district should be thoughtfully designed to reflect Corcoran's rural character." The building will face south and be centrally located east to west to maintain a long distance from the surrounding residential community. The exterior play yards will be surrounded by a 7' tall white vinyl privacy fence. This will significantly reduce any noise caused by the dogs. Our boarding and daycare program is unique to Red Barn. We use positive reinforcement training to stimulate the dogs and keep a structured environment. We have a no bark policy and train correction for every bark. This is done to reduce stress and noise which encourages a calm peaceful safe environment.

Red Barn Pet Retreat is a luxury dog day care and boarding business that also offers services such as grooming. In this new location we will have roughly 115 overnight suites with room to grow, five large indoor playrooms and five exterior play yards covered with synthetic turf to accommodate our dog day care customers as well. We are going to add cat boarding to the second level and a retail space in the front intake office. I also plan to add two types of training programs (puppy classes and advanced training.) We will have a beautiful walking path and many additional services to come.

The anticipated hours of operation will be M-F 6:30am-7pm Saturday 8am-6pm and Sunday 9-6pm and the training classes may go as late 9:30pm.

I plan to have between 30-55 employees.

The entrance location was chosen to line up with the entrance of future development across the street and allow for ample distance from County Road 101. A turn lane was added to facilitate the anticipated traffic flow. There are 34 dedicated spaces for customer parking and 39 for employees.

There will be no septic system as we will be hooked up to city sewer. I plan to connect to city water. If Maple Grove does not approve my application I may put in a well.

There should be very little impact on the environment. The development doesn't remove a single tree. There is crushed limestone beneath the turf to neutralize any acidic properties from dog urine which is also hosed down in real time. Dog waste is picked up immediately and then the area is hosed down. All dog waste is removed off site.

There will be trees and shrubs planted for screening. As mentioned above the 7' fence provides both a visual and sound barrier and methods also assist with noise.

Completion date will depend on the length of the review process. I was told that the construction time is 20 weeks. Project completion is planned to be in 2024.

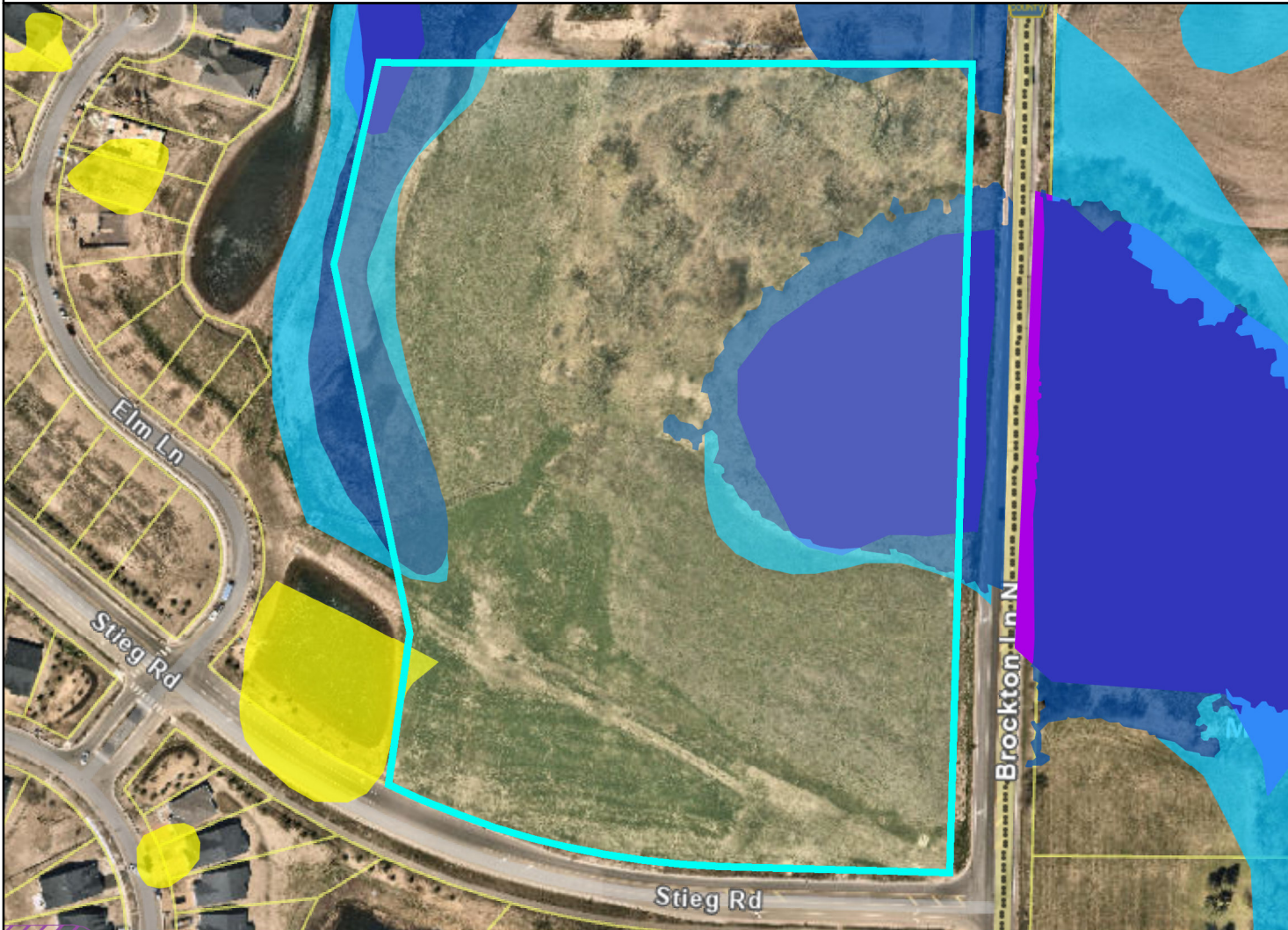
The remaining land will be Outlot A.

Daniel Benjamin
Red Barn Pet Retreat







Hennepin County Natural Resources Map

Date: 12/15/2022








Legend

Wetlands

-  Potential Wetland - HCWI
-  Probable Wetland - HCWI
-  Probable Wetland - NWI
-  DNR Public Waters

FEMA Floodplains - 100 Year

-  A
-  AE FLOODPLAIN
-  AH
-  AO
-  AE FLOODWAY

PID: 0111923440045
 Address: 52 Address Pending,
 Corcoran 00000
 Owner: J R & M S Martin Trust
 Acres: 14.89

Comments:

1 inch = 200 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

COPYRIGHT © HENNEPIN COUNTY 2022

CERTIFICATE OF SURVEY

~for~ RAM GENERAL CONTRACTING
~of~ RED BARN PET RETREAT



NORTH
GRAPHIC SCALE



1 INCH = 50 FEET

GENERAL NOTES

- Fee ownership is vested in (Fee Owner) Parcel ID Number: 01-119-23-44-0045.
- Address of the surveyed premises: Unassigned
- Bearings shown hereon are based on the Hennepin County Coordinate System.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map Community No. 270155 Panel No. 0044 Suffix F by the Federal Emergency Management Agency, effective date November 4, 2016.
- Boundary area of the surveyed premises: 648,951± sq. ft. (14.90 acres).
- A zoning endorsement letter was not furnished to the surveyor. A search of the City of Corcoran's web site indicates that the surveyed premises shown on this survey is currently zoned I-1-(Light Industrial). Under the applicable zoning regulations, the current setbacks are:
 - Minimum lot area 1 acre
 - Minimum lot width 100 feet
 - Minimum lot depth 200 feet
 Minimum Principal Structure Setbacks:
 Front, From Major Roadways* 100 feet
 Front, From all other streets 50 feet
 Side 20 feet
 Rear 20 feet
 Adjacent to Residential 50 feet
 Maximum Principal Building Height 45 feet
 Maximum Impervious Surface Coverage 70%
- For additional information contact the Land Use and Development Department at the City of Corcoran at 763-338-9290.
- Wetland delineation by Kjoahung Environmental Services in May of 2018.
- The surveyed premises has adjoins Brockton Lane North and Steig Road. No physical access exists to these roads.
- Location of utilities existing on or serving the surveyed property determined by:
 - Observed evidence collected pursuant to Section 5.E.iv.
 - Record drawings provided by the City of Corcoran's engineering department.
 Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.

TREE INVENTORY

TREE NUMBER	TREE DESCRIPTION
1079	OAK30"
1080	OAK33"
1081	OAK42"
1082	OAK44"
1083	OAK38"
1084	OAK36"
1085	OAK40"
1086	OAK24"
1087	OAK38"
1088	OAK34"
1089	OAK36"
1090	OAK36"
1091	OAK42"
1092	OAK60"
1093	OAK36"
1094	OAK44"
1095	OAK42"
1096	OAK34"
1097	OAK32"
1098	OAK38"
1099	MAP48"
1237	ETREE
1238	ETREE
1239	ETREE
1240	ETREE
1241	ETREE
1242	ETREE
1243	ETREE
1244	OAK36"
1245	ETREE
1246	ETREE
1247	ETREE
1248	ETREE

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES BOLLARD
- DENOTES CATCH BASIN
- ⊠ DENOTES ELECTRICAL BOX
- ⊡ DENOTES EXISTING SPOT ELEVATION
- ⊢ DENOTES HYDRANT
- ⊣ DENOTES GUY WIRE
- ⊤ DENOTES LIGHT POLE
- ⊥ DENOTES POWER POLE
- ⊦ DENOTES SANITARY SEWER MANHOLE
- ⊧ DENOTES SIGN
- ⊨ DENOTES STORM SEWER APRON
- ⊩ DENOTES STORM SEWER MANHOLE
- ⊪ DENOTES WATER VALVE
- ⊫ DENOTES WET LAND
- ⊬ DENOTES EXISTING CONTOURS
- ⊭ DENOTES TREE LINE
- ⊮ DENOTES EXISTING SANITARY SEWER
- ⊯ DENOTES EXISTING STORM SEWER
- ⊰ DENOTES EXISTING WATER MAIN
- ⊱ DENOTES OVERHEAD UTILITY
- ⊲ DENOTES BITUMINOUS SURFACE
- ⊳ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER HENNEPIN COUNTY TAX INFORMATION)

LEGAL DESCRIPTION

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

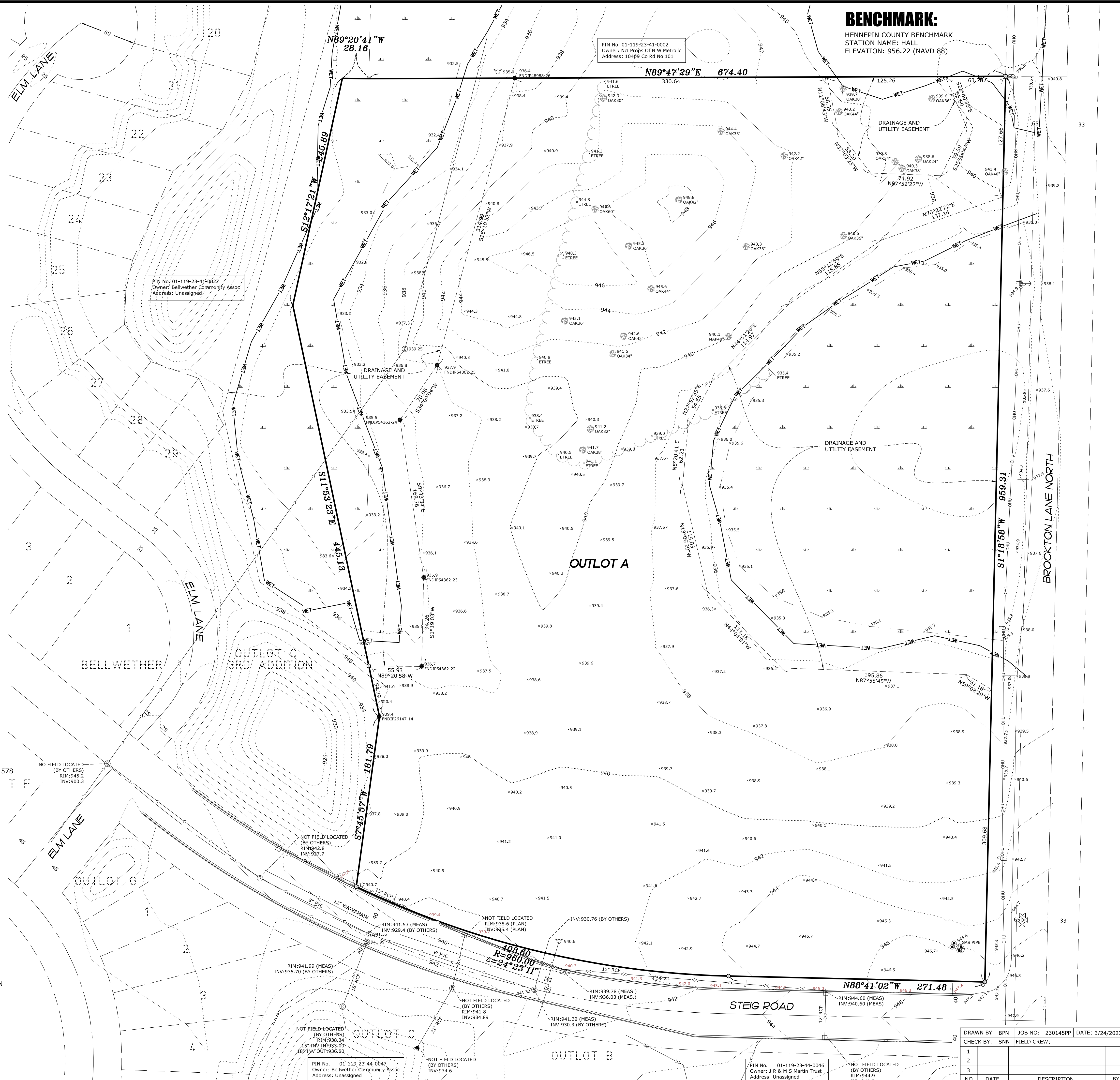
Samuel N. Niemela
SAMUEL N. NIEMELA

Date: 3/28/2023 License No. 52705

E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE



BENCHMARK:

HENNEPIN COUNTY BENCHMARK
STATION NAME: HALL
ELEVATION: 956.22 (NAVD 88)

PIN No. 01-119-23-41-0002
Owner: N.J. Props Of N.W. Metrolic
Address: 10499 Co Rd No 101

PIN No. 01-119-23-41-0027
Owner: Bellwether Community Assoc
Address: Unassigned

PIN No. 01-119-23-44-0047
Owner: Bellwether Community Assoc
Address: Unassigned

PIN No. 01-119-23-44-0046
Owner: J.R. & M.S. Martin Trust
Address: Unassigned

NOT FIELD LOCATED (BY OTHERS)
RIM: 941.0
INV: 941.0

NO.	DATE	DESCRIPTION	BY
1			
2			
3			

PRELIMINARY PLAT

~for~ RAM GENERAL CONTRACTING
~of~ RED BARN PET RETREAT

OWNER: DANIEL BENJAMIN
19520 STEIG ROAD
CORCORAN, MN 55374

ENGINEER: SHORT ELLIOTT HENDRICKSON, INC.
2351 CONNECTICUT AVENUE, SUITE 300
SARTELL, MN 56377-2485

GENERAL NOTES

- Fee ownership is vested in (Fee Owner) Parcel ID Number: 01-119-23-44-0045.
- Address of the surveyed premises: Unassigned
- Bearings shown hereon are based on the Hennepin County Coordinate System.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain,) according to Flood Insurance Rate Map Community No. 270155 Panel No. 0044 Suffix F by the Federal Emergency Management Agency, effective date November 4, 2016.
- Boundary area of the surveyed premises: 648,951± sq. ft. (14.90 acres).
- A zoning endorsement letter was not furnished to the surveyor. A search of the City of Corcoran's web site indicates that the surveyed premises shown on this survey is currently zoned I-1-(Light Industrial). Under the applicable zoning regulations, the current setbacks are:

Minimum lot area 1 acre
Minimum lot width 100 feet
Minimum lot depth 200 feet

Minimum Principal Structure Setbacks:
Front, From Major Roadways* 100 feet
Front, From all other streets 50 feet
Side 20 feet
Rear 20 feet
Adjacent to Residential 50 feet
Maximum Principal Building Height 45 feet
Maximum Impervious Surface Coverage 70%

For additional information contact the Land Use and Development Department at the City of Corcoran at 763-338-9290.

- Wetland delineation by Kjøhaug Environmental Services in May of 2018.
- The surveyed premises has adjoins Brockton Lane North and Steig Road. No physical access exists to these roads.
- Location of utilities existing on or serving the surveyed property determined by:
 - Observed evidence collected pursuant to Section 5.E.I.v.
 - Markings requested by E.G. Rud and Sons, Inc. per Gopher State One Call Ticket No. 230880260.
 - Record drawings provided by the City of Corcoran's engineering department.
 Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Proposed Site Plan by Short Elliot Hendrickson.
- The proposed plat of RED BARN PET RETREAT includes all of Outlot A, BELLWETHER 2ND ADDITION, which is commonly owned contiguous land.

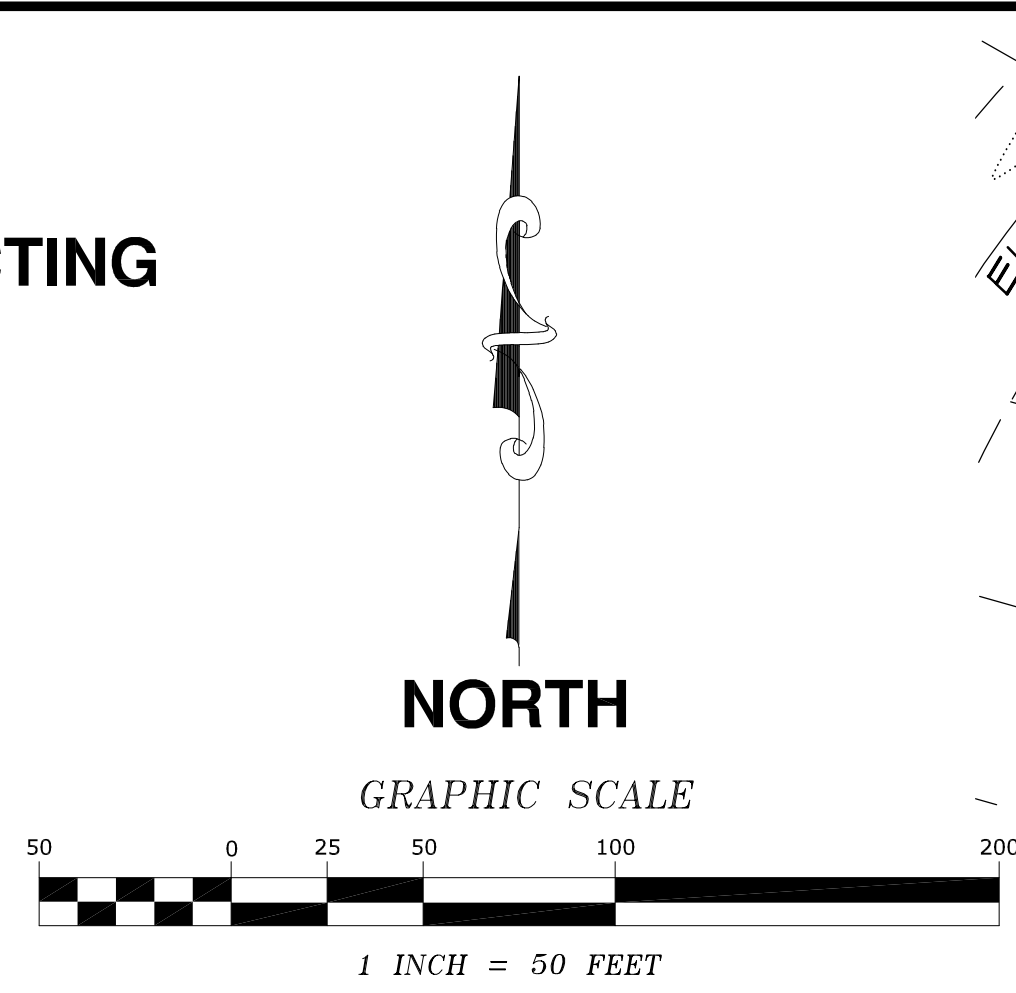
LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES BOLLARD
- ⊠ DENOTES CATCH BASIN
- ⊡ DENOTES ELECTRICAL BOX
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- ⊴ DENOTES BITUMINOUS SURFACE
- ⊵ DENOTES WET LAND
- ⊶ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER HENNEPIN COUNTY TAX INFORMATION)

TREE DETAIL

- ⊕ DENOTES ELEVATION
- ⊖ DENOTES TREE QUANTITY
- ⊗ DENOTES TREE SIZE IN INCHES
- ⊘ DENOTES TREE TYPE

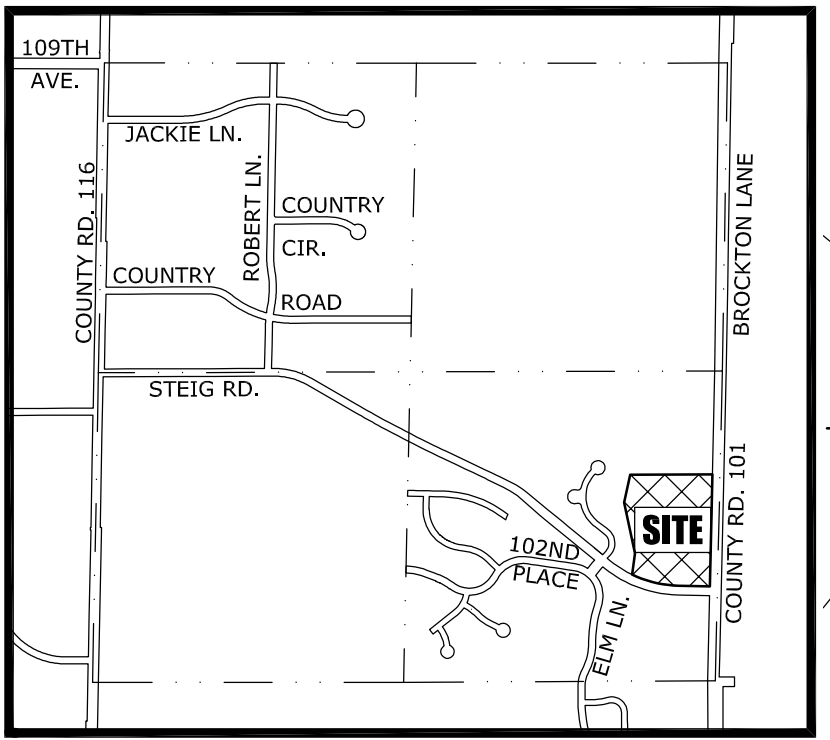
E.G. RUD & SONS, INC.
EST. 1977 Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701



PARCEL TABLE	
PARCEL	AREA
LOT 1	2.62 ACRES / 114,214 SQ. FT.
OUTLOT A	11.24 ACRES / 489,464 SQ. FT.
R/W	1.04 ACRES / 45,272 SQ. FT.
TOTAL BOUNDARY AREA	14.90 ACRES / 648,951 SQ. FT.

VICINITY MAP

PART OF SEC. 1, TWP. 19, RNG. 23



HENNEPIN COUNTY, MINNESOTA
(NO SCALE)

LEGAL DESCRIPTION

Outlot A, BELLWETHER 2ND ADDITION, Hennepin County, Minnesota.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Samuel N. Niemela
SAMUEL N. NIEMELA
Date: 5/8/2023 License No. 52705



DRAWN BY: BPN		JOB NO: 230145PP		DATE: 4/18/2023	
CHECK BY: SNL		FIELD CREW:			
1	5/8/2023	REVISED LAYOUT		BPN	
2					
3					
NO.	DATE	DESCRIPTION	BY		

RAM GENERAL CONTRACTING INC.

REVIEW PLANS FOR

GRADING, UTILITIES, SURFACING, AND TURF ESTABLISHMENT

RED BARN PET RETREAT SITE DESIGN

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN EXCEPT AS MODIFIED BY THE SPECIFICATIONS FOR THIS PROJECT.

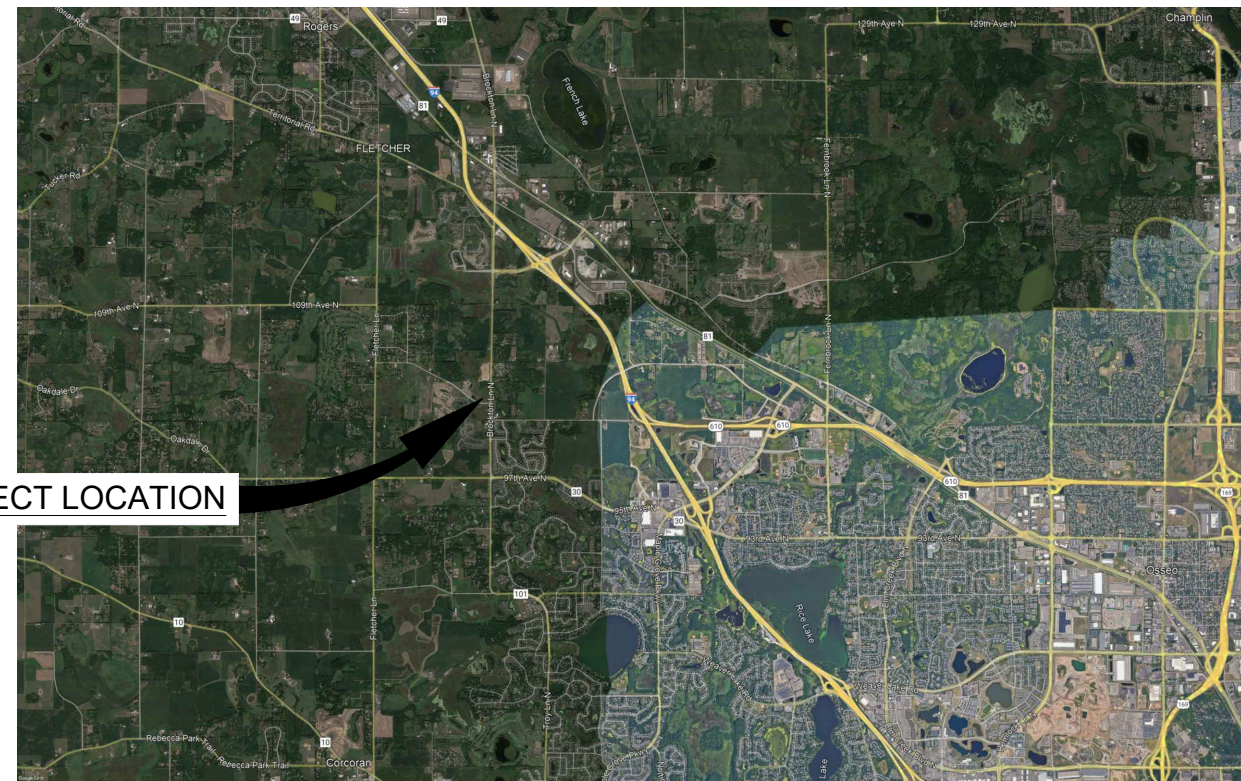
ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

INDEX

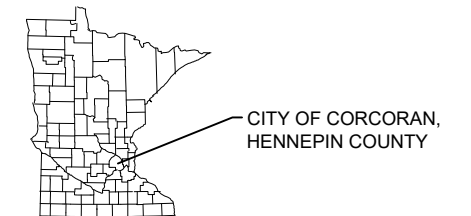
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	REMOVAL PLAN
3	OVERALL PROPERTY LAYOUT
4	SITE LAYOUT
5	GRADING PLAN
6	UTILITY PLAN
7	SURFACING PLAN
8	TURF ESTABLISHMENT PLAN
9-13	CIVIL DETAILS
14-15	POND DETAILS
16-17	SWPPP
18	FUTURE DEVELOPMENT

THIS PLAN CONTAINS 18 SHEETS.

EXISTING	
---	RIGHT OF WAY
---	PERMANENT EASEMENT
---	PROPERTY LINE
△ XX	HORIZONTAL CONTROL POINT
X BM	BENCHMARK
● #	SURVEY MARKER
○	SOIL BORING
—○—	SANITARY SEWER AND MANHOLE
—○—	FORCE MAIN AND LIFT STATION
—○—	SANITARY SEWER SERVICE & CLEANOUT
—○—	WATER MAIN, HYDRANT, VALVE AND MANHOLE
—○—	WATER SERVICE AND CURB STOP BOX
—○—	STORM SEWER, MANHOLE AND CATCH BASIN
—○—	CULVERT AND APRON ENDWALL
—○—	GAS MAIN, VALVE, VENT AND METER
—○—	HANDHOLE
—○—	BURIED FIBER OPTIC CABLE AND MANHOLE
—○—	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
—○—	BURIED TV CABLE, PEDESTAL AND MANHOLE
—○—	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
—○—	OVERHEAD WIRE, POLE AND GUY WIRE
—○—	LIGHT POLE
—○—	TRAFFIC SIGNAL
—○—	STREET NAME SIGN
—○—	SIGN (NON STREET NAME)
|||||	RAILROAD TRACKS
○	DECIDUOUS AND CONIFEROUS TREE
○	BUSH / SHRUB AND STUMP
.....	EDGE OF WOODED AREA
WET	WETLAND
—	BUILDING
X	FENCE (UNIDENTIFIED)
X	BARBED WIRE FENCE
XC	CHAIN LINK FENCE
XE	ELECTRIC WIRE FENCE
XWD	WOOD FENCE
XWW	WOVEN WIRE FENCE
—	PLATE BEAM GUARDRAIL
—	CABLE GUARDRAIL
○ P	POST / BOLLARD
—	RETAINING WALL
6+00	PROPOSED
---	STREET CENTERLINE
---	RIGHT-OF-WAY
---	PERMANENT EASEMENT
---	TEMPORARY EASEMENT
---	CONSTRUCTION LIMITS
—○—	SANITARY SEWER, BULKHEAD AND MANHOLE
—○—	FORCE MAIN
—○—	SANITARY SERVICE AND CLEANOUT
—○—	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
—○—	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
—○—	WATER SERVICE AND CURB STOP BOX
—○—	STORM SEWER, MANHOLE AND CATCH BASIN
—○—	CULVERT AND APRON ENDWALL
—○—	DRAIN TILE
—○—	DITCH / SWALE
—○—	RIPRAP
—○—	STREET NAME SIGN
—○—	SIGN (NON STREET NAME)
—	RETAINING WALL



PROJECT LOCATION



CORCORAN, MINNESOTA

SEH
 PHONE: 320.229.4300
 2351 CONNECTICUT AVE. S
 SUITE 300
 SARTELL, MN 56377
 www.sehinc.com



Know what's below.
 Call before you dig.

NOTE:
 THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE GOPHER STATE ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Bryan Remer
 Signature
 BRYAN REMER, PE

Date: 05-05-23 Lic. No. 47588

PROJECT NO.

RAMGC - 172432

1
 of 18

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Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
B	UPDATED SITE PLAN	5/5/2023			
A	ISSUED FOR REVIEW	4/18/2023			



REMOVE EXISTING BITUMINOUS PAVEMENT

SALVAGE EXISTING HYDRANT
SEE UTILITY PLAN FOR PROPOSED LOCATION

REMOVE EXISTING B618
CURB AND GUTTER

REMOVE EXISTING PAVEMENT MARKINGS

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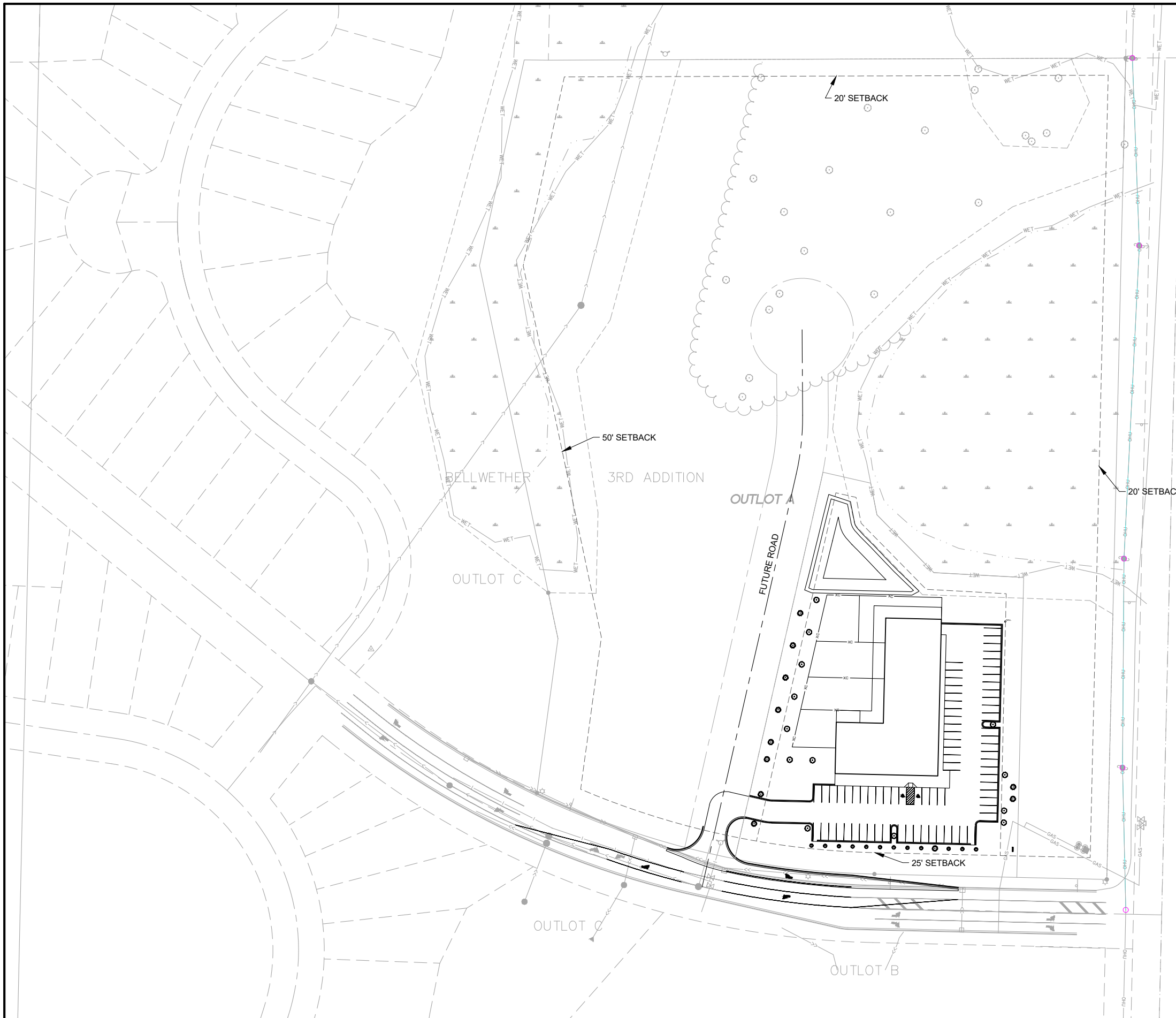
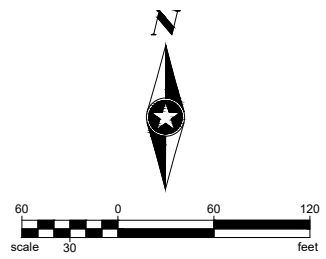
SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Bryan Remer
BRYAN REMER, PE
DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

REMOVAL PLAN



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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		



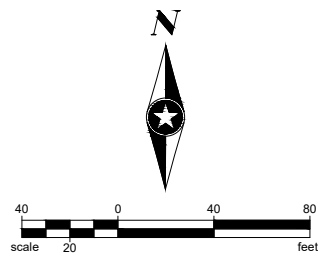
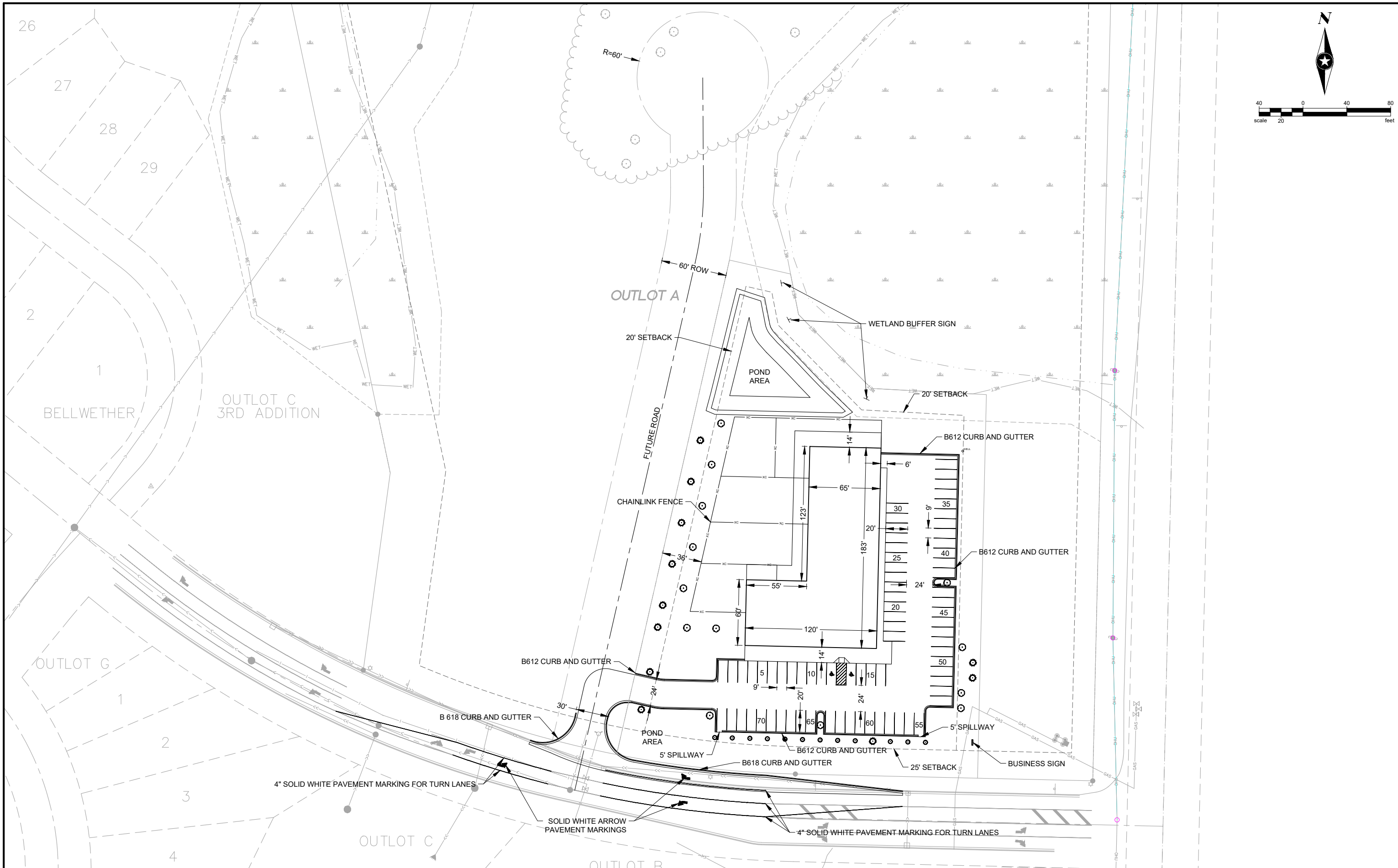
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Bryan Remer
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588


RED BARN PET RETREAT SITE DESIGN
 CORCORAN, MINNESOTA

OVERALL PROPERTY LAYOUT

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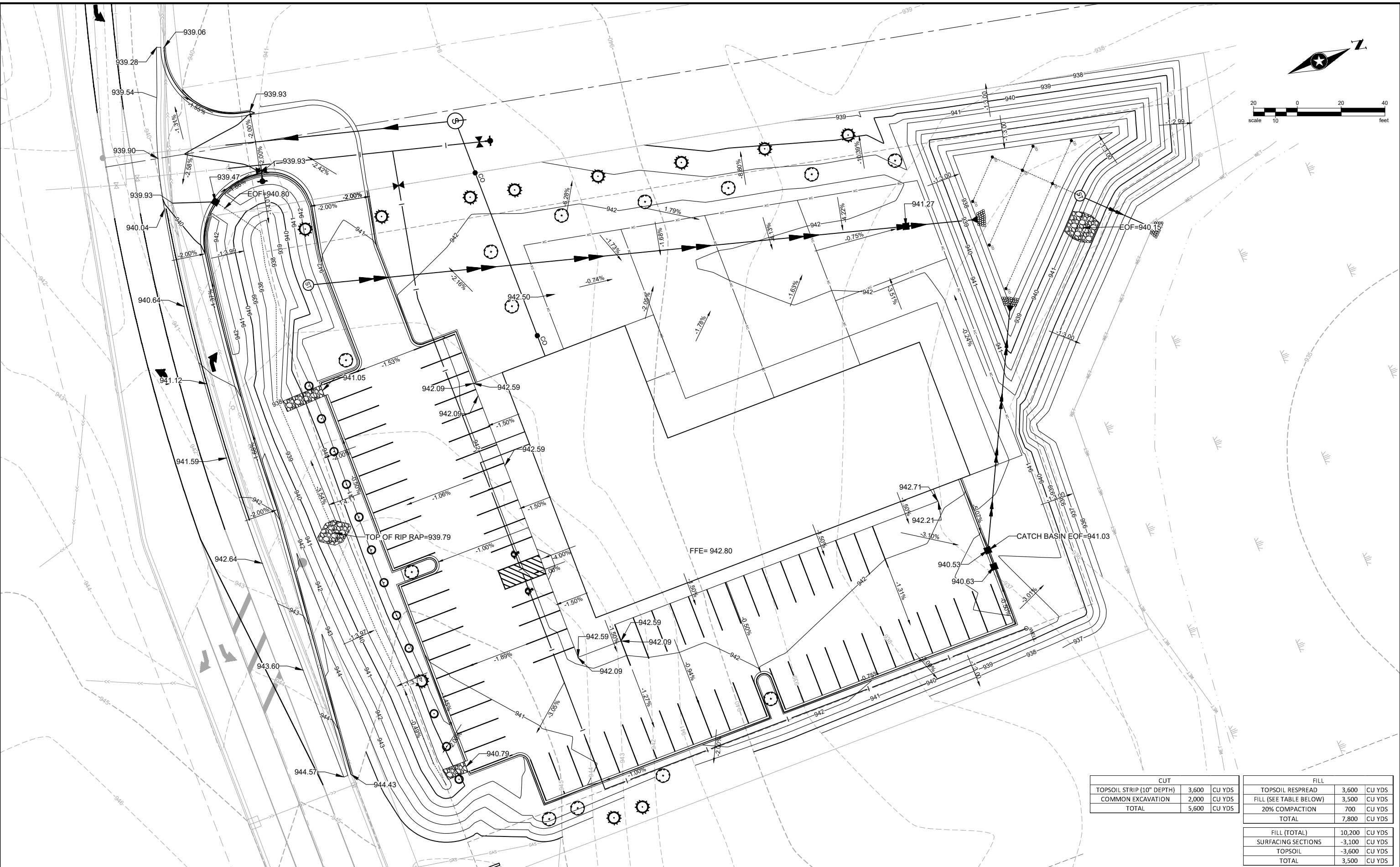


SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		


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 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

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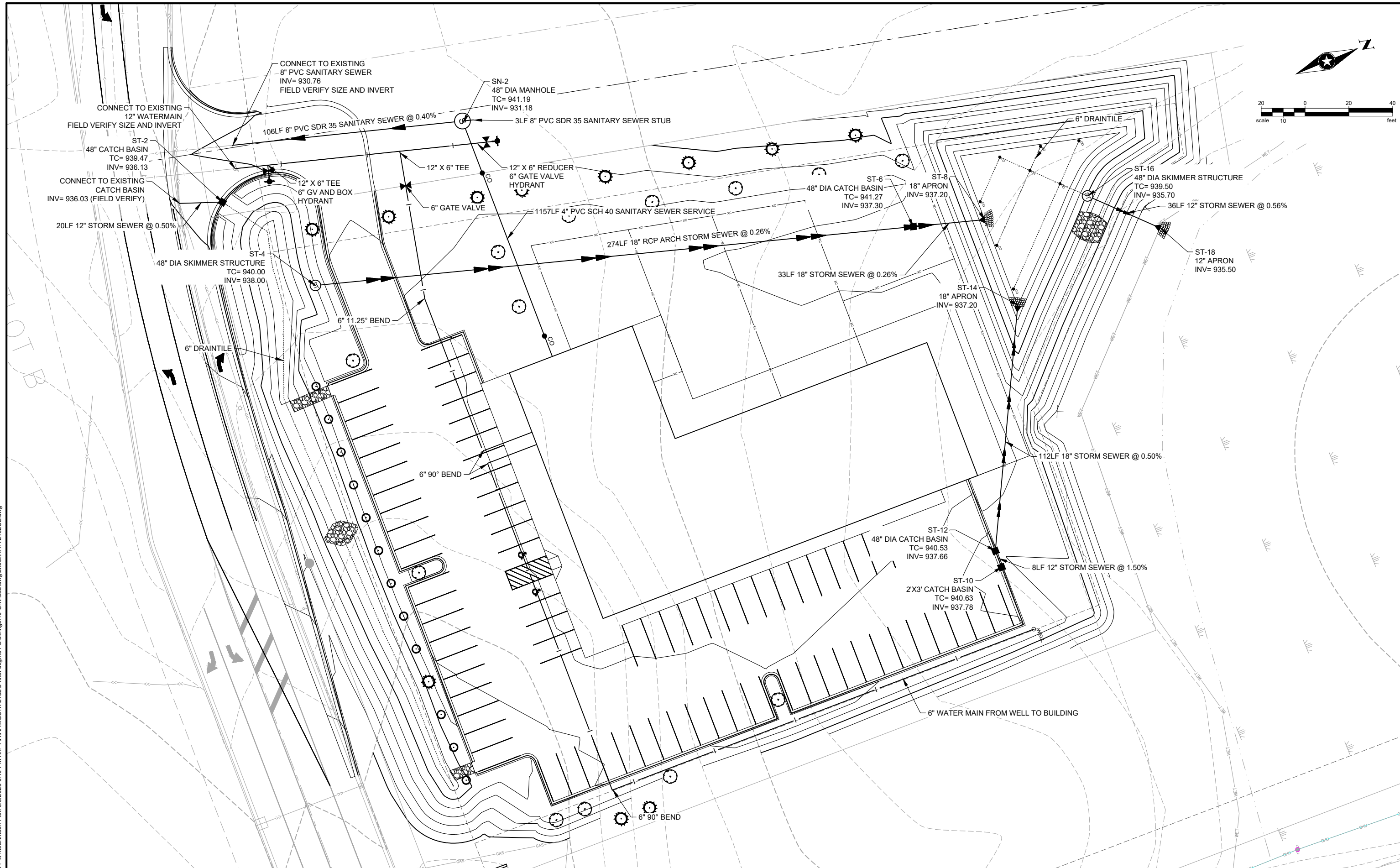
CUT			FILL		
TOPSOIL STRIP (10" DEPTH)	3,600	CU YDS	TOPSOIL RESPAWD	3,600	CU YDS
COMMON EXCAVATION	2,000	CU YDS	FILL (SEE TABLE BELOW)	3,500	CU YDS
TOTAL	5,600	CU YDS	20% COMPACTION	700	CU YDS
			TOTAL	7,800	CU YDS
			FILL (TOTAL)	10,200	CU YDS
			SURFACING SECTIONS	-3,100	CU YDS
			TOPSOIL	-3,600	CU YDS
			TOTAL	3,500	CU YDS

SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

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SEH
BRYAN REMER, PE
DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA



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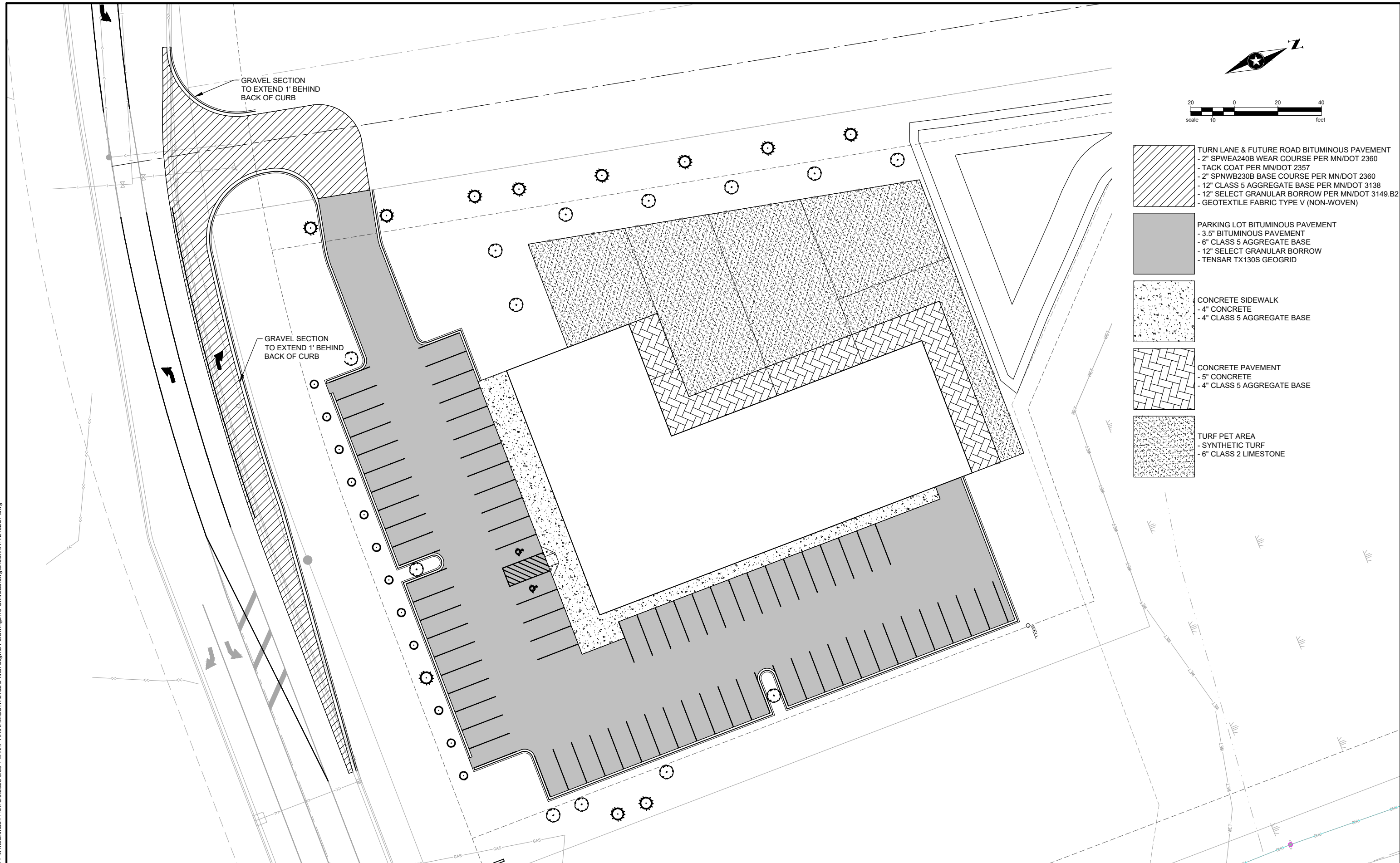
SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

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Bryan Remer
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588



- TURN LANE & FUTURE ROAD BITUMINOUS PAVEMENT**
 - 2" SPWEA240B WEAR COURSE PER MN/DOT 2360
 - TACK COAT PER MN/DOT 2357
 - 2" SPNWB230B BASE COURSE PER MN/DOT 2360
 - 12" CLASS 5 AGGREGATE BASE PER MN/DOT 3138
 - 12" SELECT GRANULAR BORROW PER MN/DOT 3149.B2
 - GEOTEXTILE FABRIC TYPE V (NON-WOVEN)
- PARKING LOT BITUMINOUS PAVEMENT**
 - 3.5" BITUMINOUS PAVEMENT
 - 6" CLASS 5 AGGREGATE BASE
 - 12" SELECT GRANULAR BORROW
 - TENSAR TX130S GEOGRID
- CONCRETE SIDEWALK**
 - 4" CONCRETE
 - 4" CLASS 5 AGGREGATE BASE
- CONCRETE PAVEMENT**
 - 5" CONCRETE
 - 4" CLASS 5 AGGREGATE BASE
- TURF PET AREA**
 - SYNTHETIC TURF
 - 6" CLASS 2 LIMESTONE



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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

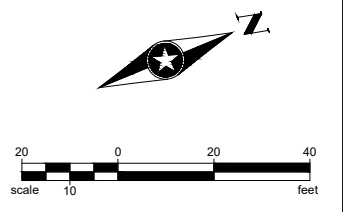
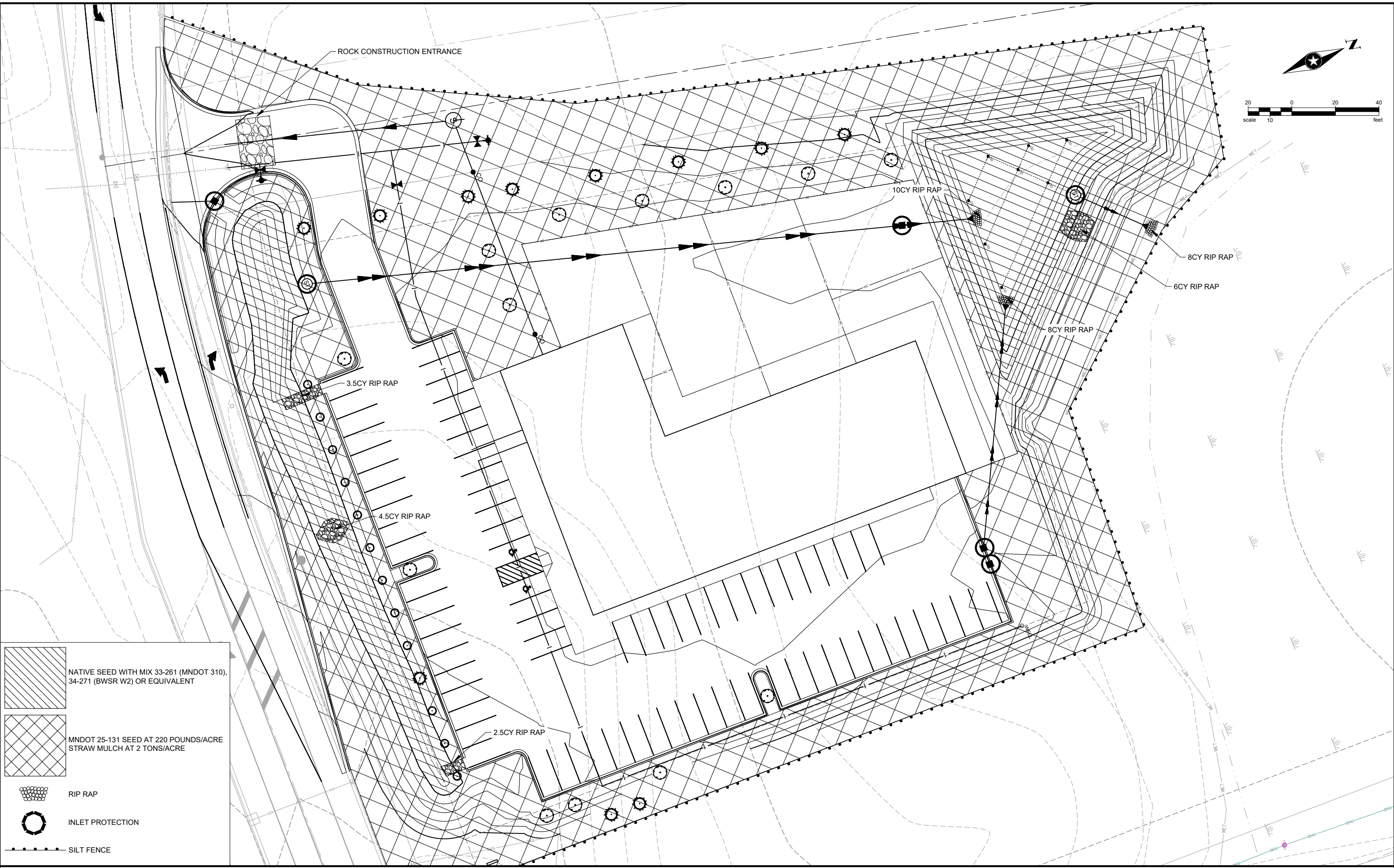
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

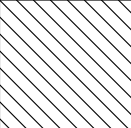
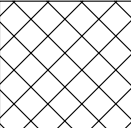



Bryan Remer
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
 CORCORAN, MINNESOTA


SURFACING PLAN

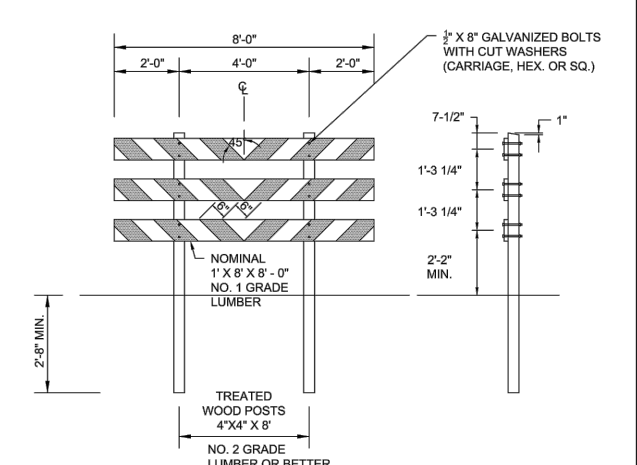
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	NATIVE SEED WITH MIX 33-261 (MNDOT 310), 34-271 (BWSR W2) OR EQUIVALENT
	MNDOT 25-131 SEED AT 220 POUNDS/ACRE STRAW MULCH AT 2 TONS/ACRE
	RIP RAP
	INLET PROTECTION
	SILT FENCE

SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		


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 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588



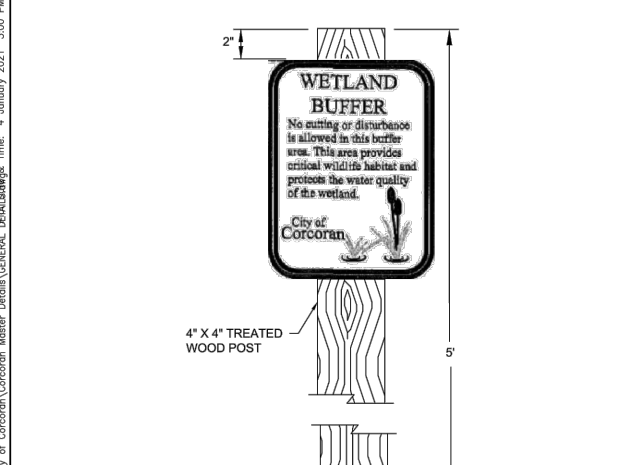
NOTE
THE BARRICADE BOARD FACE SURFACES SHALL BE FULLY REFLECTORIZED IN ALTERNATE SILVER-WHITE AND RED STRIPING, USING A REFLECTIVE SHEETING CONFORMING TO THE REQUIREMENTS OF SPEC. 3352.2A29, STANDARD NO. 2.

PRIOR TO INSTALLING THE REFLECTIVE SHEETING, THE BARRICADE BOARDS SHALL BE GIVEN A COMPLETE COATING OF WHITE WOOD PRIMER PAINT FOLLOWED BY A SECOND COAT OF WHITE EXTERIOR APPLIED ONLY TO THE SURFACES NOT COVERED WITH REFLECTIVE SHEETING.

THE BARRICADE BOARDS SHALL BE COMPLETELY PAINTED AND REFLECTORIZED SHEETING APPLIED BEFORE BEING INSTALLED ON THE POSTS.

THE PLACEMENT OF THE BARRICADE SHALL BE 10'-0" FROM THE END OF THE BITUMINOUS ROAD WITH THE BARRICADE CENTERED ON THE ROADWAY FACING THE FLOW OF TRAFFIC.

WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	PERMANENT BARRICADE	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			FEB 2015	SKH	RWS
APP'D	DWG DATE	SCALE			



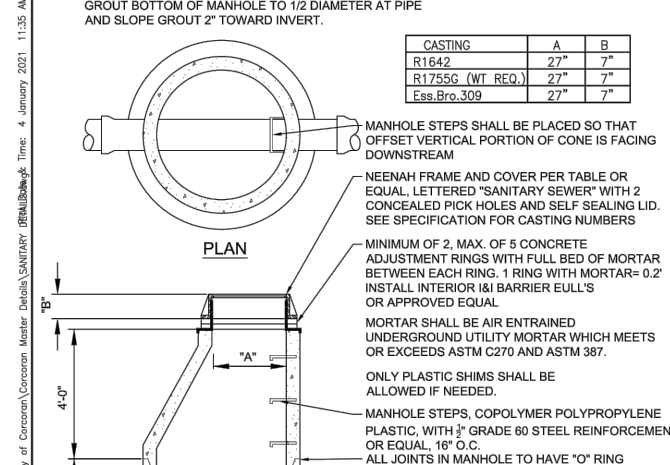
NOTE: ALL SIGNS SHALL BE OBTAINED AT CITY HALL.
WETLAND BUFFER POSTS TO BE INSTALLED AT EVERY PROPERTY CORNER AND AT ANGLE POINTS OF WETLAND BUFFER

WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	WETLAND BUFFER SIGN	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			JAN 2019	SKH	RWS
APP'D	DWG DATE	SCALE			

MANDREL SIZE				
SDR 35 (DEPTH=16)				
PIPE SIZE (IN)	BASE I.D. (IN)	% DEFLECTION (IN)	AIR TEST (PSIG/TIME (MIN))	
4	3.874	3.68	4	2
6	5.742	5.45	4	3
8	7.665	7.28	4	4
10	9.569	9.08	4	5
12	11.361	10.79	4	6
15	13.888	13.2	4	7.5

PS 115 (DEPTH=16)				
PIPE SIZE (IN)	BASE I.D. (IN)	% DEFLECTION (IN)	AIR TEST (PSIG/TIME (MIN))	
4	3.934	3.74	4	3
6	5.802	5.61	4	4
8	7.725	7.53	4	5
10	9.648	9.45	4	6
12	11.571	11.36	4	7
15	14.098	13.89	4	8.5

WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	PIPE MATERIAL AND TESTING DEVELOPMENT	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			JAN 2021	NPW	RWS
APP'D	DWG DATE	SCALE			



NOTE: MANHOLE STEPS SHALL BE PLACED SO THAT OFFSET VERTICAL PORTION OF CONE IS FACING DOWNSTREAM.

NEENAH FRAME AND COVER PER TABLE OR EQUAL, LETTERED "SANITARY SEWER" WITH 2 CONCEALED PICK HOLES AND SELF SEALING LID. SEE SPECIFICATION FOR CASTING NUMBERS

MINIMUM OF 2, MAX. OF 5 CONCRETE ADJUSTMENT RINGS WITH FULL BED OF MORTAR BETWEEN EACH RING. 1 RING WITH MORTAR= 0.2" INSTALL INTERIOR I&I BARRIER EULL'S OR APPROVED EQUAL

MORTAR SHALL BE AIR ENTRAINED UNDERGROUND UTILITY MORTAR WHICH MEETS OR EXCEEDS ASTM C270 AND ASTM 387.

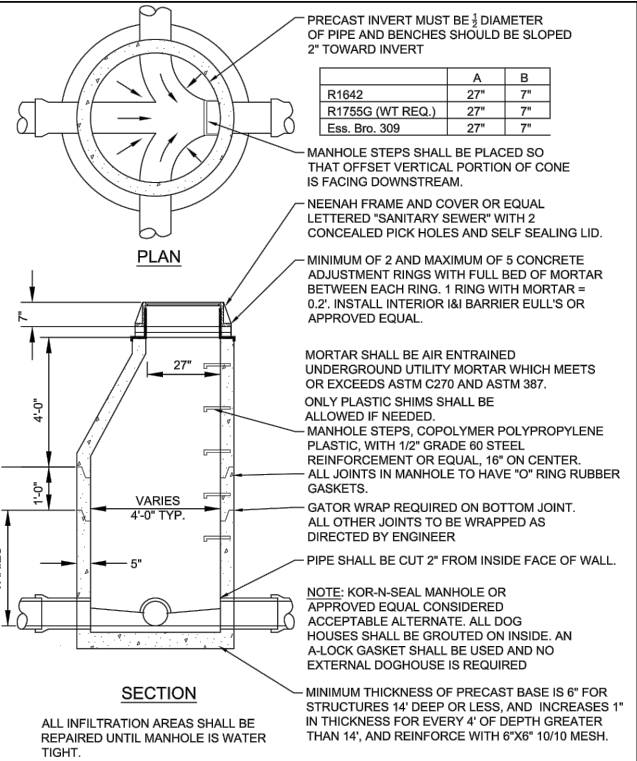
ONLY PLASTIC SHIMS SHALL BE ALLOWED IF NEEDED.

PIPE SHALL NOT BE CUT 2" FROM INSIDE FACE OF WALL

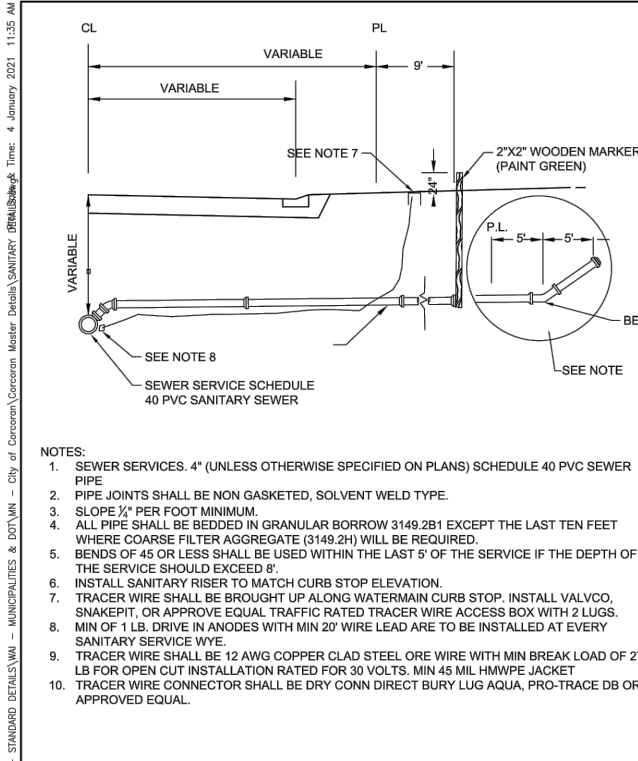
NOTE: KOR-N-SEAL MANHOLE OR APPROVED EQUAL CONSIDERED ACCEPTABLE ALTERNATE. ALL DOG HOUSES SHALL BE GROUDED ON INSIDE. AN A-LOCK GASKET SHALL BE USED AND NO EXTERNAL DOGHOUSE IS REQUIRED

MINIMUM THICKNESS OF PRECAST BASE IS 6" FOR STRUCTURES 14" DEEP OR LESS, AND INCREASES 1" IN THICKNESS FOR EVERY 4" OF DEPTH GREATER THAN 14", AND REINFORCE WITH 6" X 6" 10/10 MESH

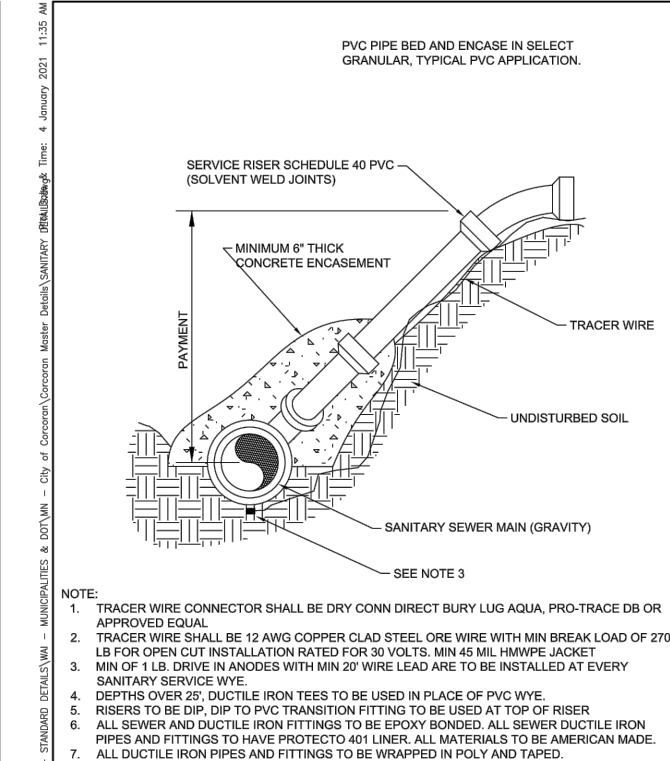
WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	SANITARY SEWER MANHOLE	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			JAN 2021	SKH	RWS
APP'D	DWG DATE	SCALE			



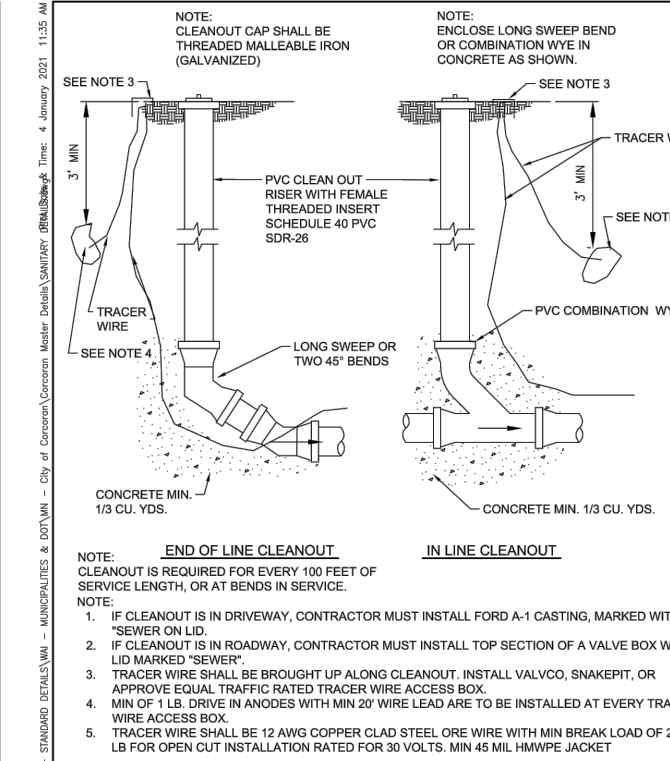
WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	SANITARY SEWER JUNCTION MANHOLE	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			FEB 2012	SKH	RWS
APP'D	DWG DATE	SCALE			



WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	SEWER SERVICE CONNECTION	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			JAN 2021	SKH	RWS
APP'D	DWG DATE	SCALE			



WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	SEWER SERVICE RISER	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			JAN 2021	SKH	RWS
APP'D	DWG DATE	SCALE			



WENCK ASSOCIATES		CLIENT	CITY OF CORCORAN	PROJECT	STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		SHEET TITLE	PVC SERVICE LINE CLEANOUTS	PROJECT NO.	2294-00
REV	DWN	APP	REV DATE	DWN BY	CHK'D
			FEB 2017	SKH	RWS
APP'D	DWG DATE	SCALE			

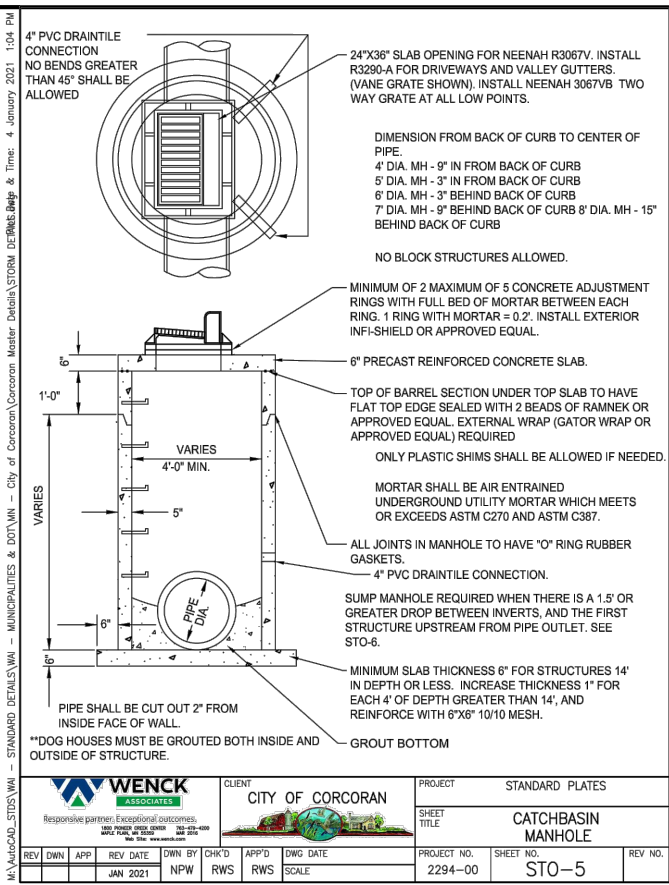
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SEH Project	RAMGC - 172432	Rev.#		Revision Issue Description	Date	Rev.#	
Drawn By	MJW						
Designed By	MJW	B		UPDATED SITE PLAN	5/5/2023		
Checked By	BJR	A		ISSUED FOR REVIEW	4/18/2023		

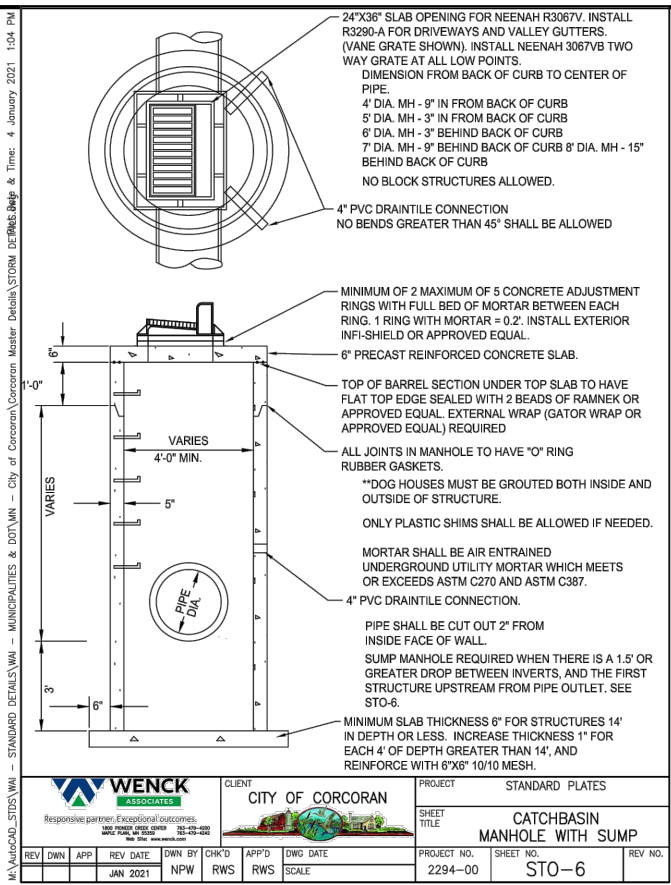
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

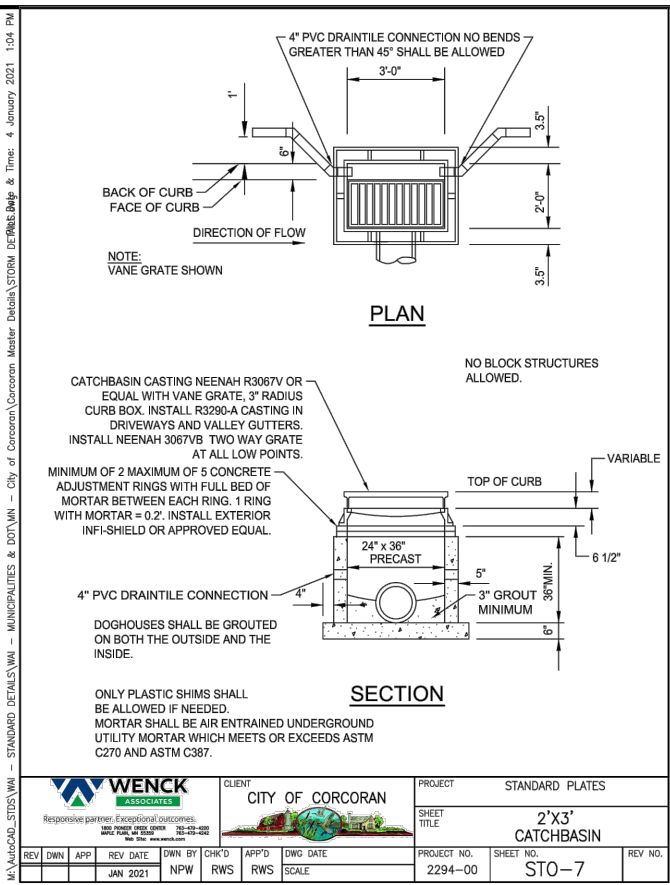
BRYAN REMER, PE
DATE: 05-05-23 LICENSE NO. 47588



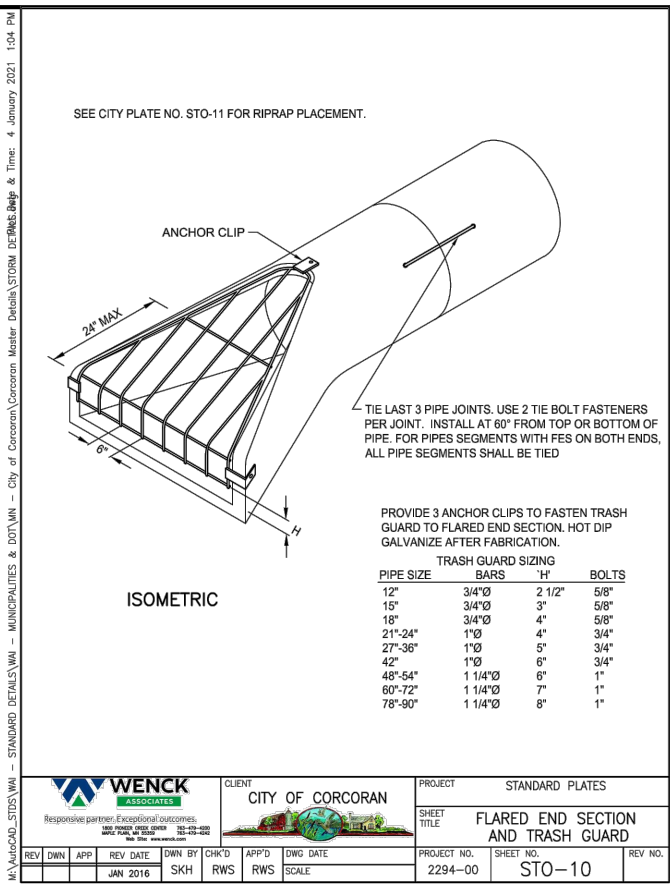
WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										CATCHBASIN MANHOLE			STO-5			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			JAN 2021	NPW	RWS	RWS		2294-00								



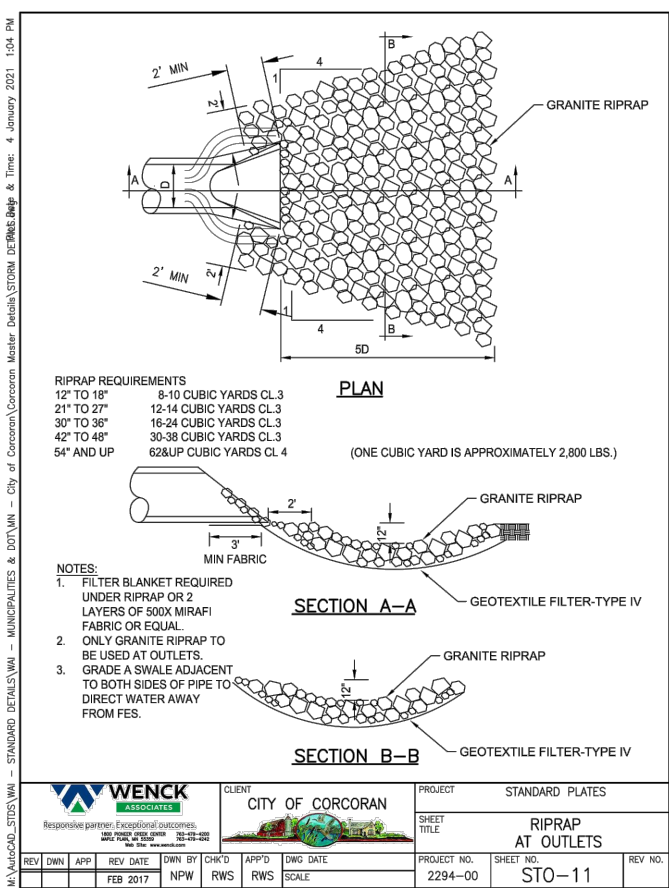
WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										CATCHBASIN MANHOLE WITH SUMP			STO-6			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			JAN 2021	NPW	RWS	RWS		2294-00								



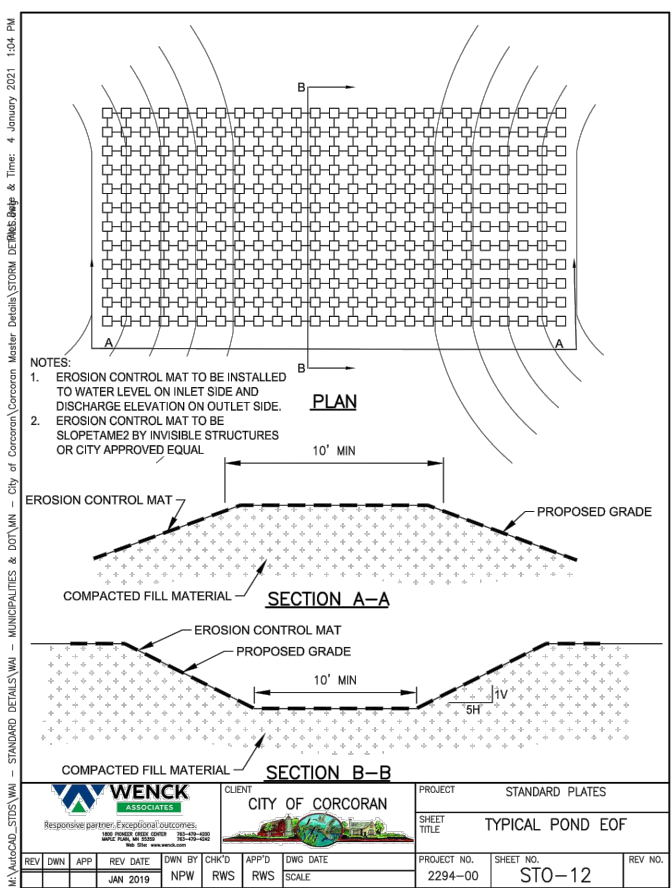
WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										2'x3' CATCHBASIN			STO-7			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			JAN 2021	NPW	RWS	RWS		2294-00								



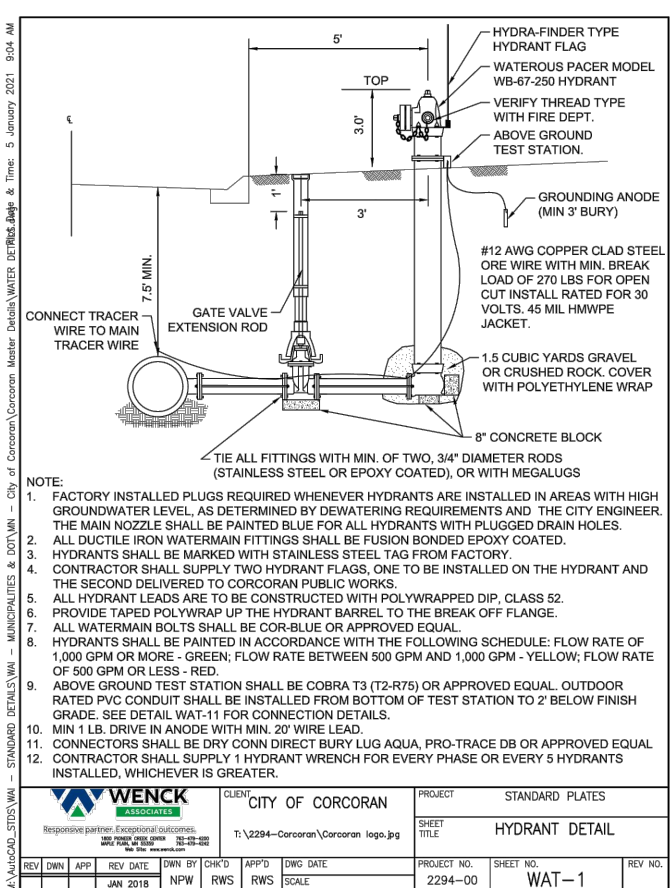
WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										FLARED END SECTION AND TRASH GUARD			STO-10			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
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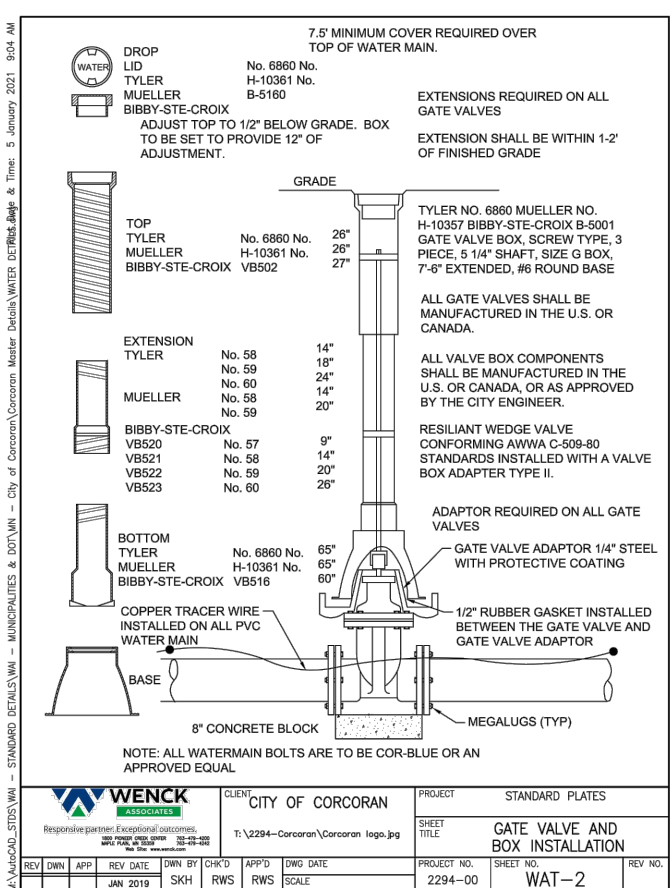
WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										RIPRAP AT OUTLETS			STO-11			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			FEB 2017	NPW	RWS	RWS		2294-00								



WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										TYPICAL POND EOF			STO-12			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			JAN 2019	NPW	RWS	RWS		2294-00								



WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										HYDRANT DETAIL			WAT-1			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
			JAN 2018	NPW	RWS	RWS		2294-00								



WENCK ASSOCIATES										CITY OF CORCORAN			STANDARD PLATES			
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES										GATE VALVE AND BOX INSTALLATION			WAT-2			
REV	DWN	APP	REV DATE	DWN BY	CHK'D	APP'D	DWG DATE	PROJECT NO.	SHEET NO.	REV NO.						
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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description		Date	Rev.#	Revision Issue Description		Date	I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
Drawn By	MJW	.			.	.			.	RED BARN PET RETREAT SITE DESIGN	
Designed By	MJW	B	UPDATED SITE PLAN		5/5/2023	.			.	CORCORAN, MINNESOTA	
Checked By	BJR	A	ISSUED FOR REVIEW		4/18/2023	.			.	CIVIL DETAILS	



BRYAN REMER, PE
DATE: 05-05-23
LICENSE NO. 47588

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NOTES:

- ALL NEW CURB BOXES MUST HAVE RISER RODS ADJUSTABLE UP AND DOWN FOR 8" OF COVER. WHEN AN EXISTING CURB BOX IS ON A CONSTRUCTION OR RECONSTRUCTION PROJECT, RISER RODS SHALL BE INSTALLED TO ALL CURB BOXES ON THAT PROJECT.
- PLACEMENT OF CURB STOP AND BOX ON PRIVATE STREETS SHALL BE 9' BEHIND THE PROPERTY LINE WITH NO COPPER STUBBED PAST THE CURB STOP AND BOX.
- COPPER IS TO BE ONE PIECE, NO JOINTS, COUPLINGS, ETC., ALLOWED FROM MAIN TO CURB STOP. WATER SERVICE AND SANITARY SEWER SERVICE SHALL HAVE A 3" HORIZONTAL SEPARATION.
- CURB BOXES LOCATED IN DRIVEWAYS OR PARKING LOTS SHALL BE COVERED WITH A FORD A-1 METER BOX COVER.
- A "W" STAMP PER CITY PLATE #STR-24 MUST BE PLACED ON THE FACE OF CURB WHEREVER CURB AND GUTTER CROSSES A WATER SERVICE.
- METAL FENCE POST AT END OF WATER AND SANITARY SERVICE. 4" ABOVE GRADE WATER FENCE POST TO BE PAINTED BLUE. SANITARY FENCE POST TO BE PAINTED GREEN.
- ALL PIPE SHALL BE BEDDED IN GRANULAR BORROW 3149.2B1.
- TRACER WIRE SHALL BE BROUGHT UP ALONG WATERMAIN CURB STOP. INSTALL VALVCO, SNAKEPIT, OR APPROVE EQUAL TRAFFIC RATED TRACER WIRE ACCESS BOX WITH TWO LUGS.
- MIN OF 1LB. DRIVE IN ANODES WITH MIN 20' WIRE LEAD ARE TO BE INSTALLED AT EVERY TRACE WIRE ACCESS BOX.
- TRACER WIRE SHALL BE 12AWG COPPER CLAD STEEL ORE WITH MIN BREAK LOAD OF 270LB FOR OPEN CUT INSTALLATION RATED FOR 30 VOLTS. MIN 45 MIL HMWPE JACKET.
- TRACER WIRE CONNECTOR SHALL BE DRY CONN DIRECT BURY LUG AQUA, PRO-TRACE DB OR APPROVED EQUAL.

WATER SERVICE CONNECTION

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: WATER SERVICE CONNECTION
PROJECT NO.: 2294-00
SHEET NO.: WAT-5

PACER HYDRANT

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: PACER HYDRANT
PROJECT NO.: 2294-00
SHEET NO.: WAT-11

B618 CURB TRANSITION AT CATCH BASIN

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: B618 CURB TRANSITION AT CATCH BASIN
PROJECT NO.: 2294-00
SHEET NO.: STR-7

CURB AND GUTTER TRANSITIONS

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: CURB AND GUTTER TRANSITIONS
PROJECT NO.: 2294-00
SHEET NO.: STR-8

BEDDING METHODS FOR PVC

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: BEDDING METHODS FOR PVC
PROJECT NO.: 2294-00
SHEET NO.: BED-1

BEDDING METHODS FOR RCP, CMP & DIP

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: BEDDING METHODS FOR RCP, CMP & DIP
PROJECT NO.: 2294-00
SHEET NO.: BED-2

SILT FENCE MACHINE SLICED

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: SILT FENCE MACHINE SLICED
PROJECT NO.: 2294-00
SHEET NO.: ERO-1A

EROSION CONTROL BLANKET INSTALLATION

WENCK ASSOCIATES
CITY OF CORCORAN
PROJECT: STANDARD PLATES
SHEET TITLE: EROSION CONTROL BLANKET INSTALLATION
PROJECT NO.: 2294-00
SHEET NO.: ERO-2

SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#
Drawn By	MJW	.	.	.	.
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.

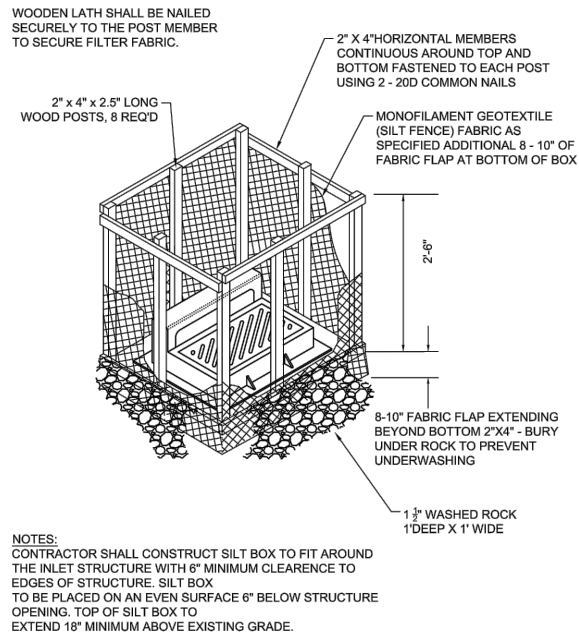
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRYAN REMER, PE
DATE: 05-05-23
LICENSE NO.: 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

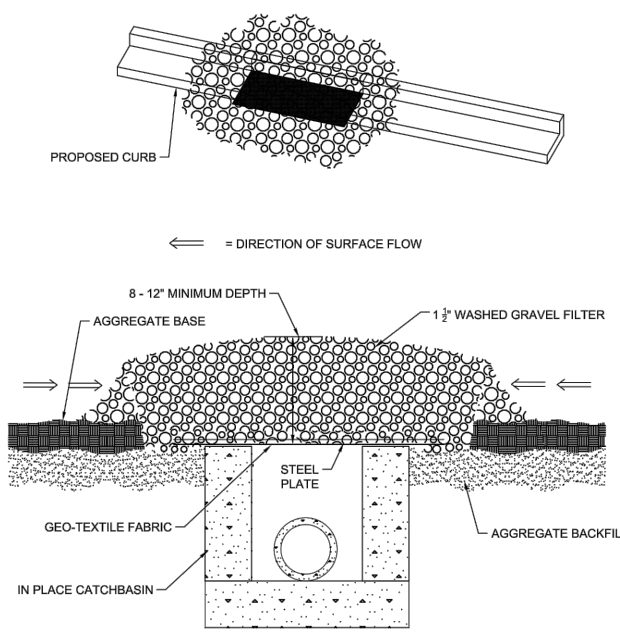
CIVIL DETAILS

11
of 18

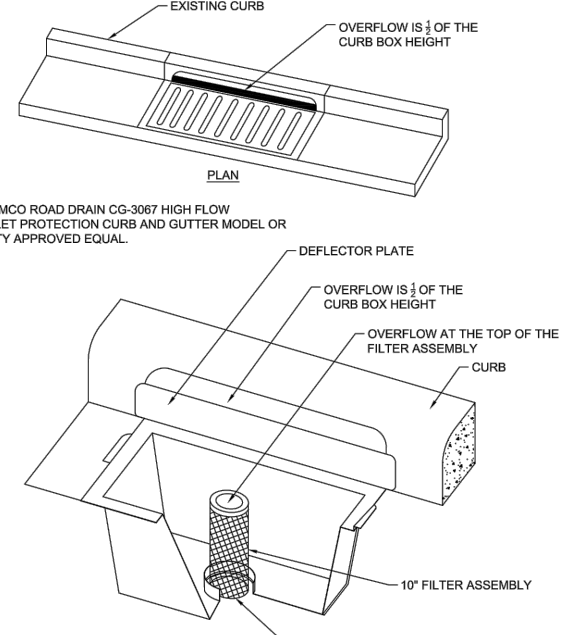


NOTES:
CONTRACTOR SHALL CONSTRUCT SILT BOX TO FIT AROUND THE INLET STRUCTURE WITH 6" MINIMUM CLEARANCE TO EDGES OF STRUCTURE. SILT BOX TO BE PLACED ON AN EVEN SURFACE 6" BELOW STRUCTURE OPENING. TOP OF SILT BOX TO EXTEND 18" MINIMUM ABOVE EXISTING GRADE.

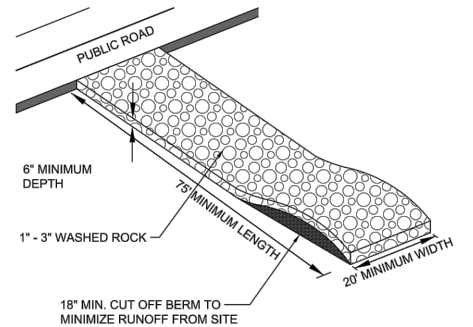
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RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		T: \\2294-Corcoran\Corcoran logo.jpg	
SHEET TITLE: INLET PROTECTION SILT BOX FOR CATCH BASIN		PROJECT NO.: 2294-00	SHEET NO.: ERO-4A
REV	DWN	APP	REV DATE
			FEB 2015
CHK'D	RWS	APP'D	RWS
SKH	RWS	RWS	RWS
DWN BY		SCALE	



WENCK ASSOCIATES		CLIENT: CITY OF CORCORAN	PROJECT: STANDARD PLATES
RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		T: \\2294-Corcoran\Corcoran logo.jpg	
SHEET TITLE: INLET PROTECTION CATCH BASIN ROCK FILTER		PROJECT NO.: 2294-00	SHEET NO.: ERO-4B
REV	DWN	APP	REV DATE
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CHK'D	RWS	APP'D	RWS
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DWN BY		SCALE	

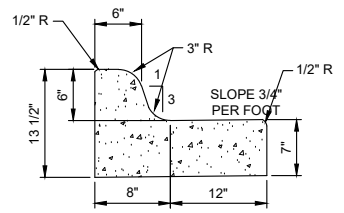


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RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		T: \\2294-Corcoran\Corcoran logo.jpg	
SHEET TITLE: INLET PROTECTION CATCH BASIN INSERT		PROJECT NO.: 2294-00	SHEET NO.: ERO-4C
REV	DWN	APP	REV DATE
			FEB 2015
CHK'D	RWS	APP'D	RWS
SKH	RWS	RWS	RWS
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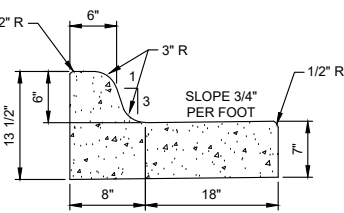


NOTE:
FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH ROCK. ENTRANCE MUST BE MAINTAINED TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCKS WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

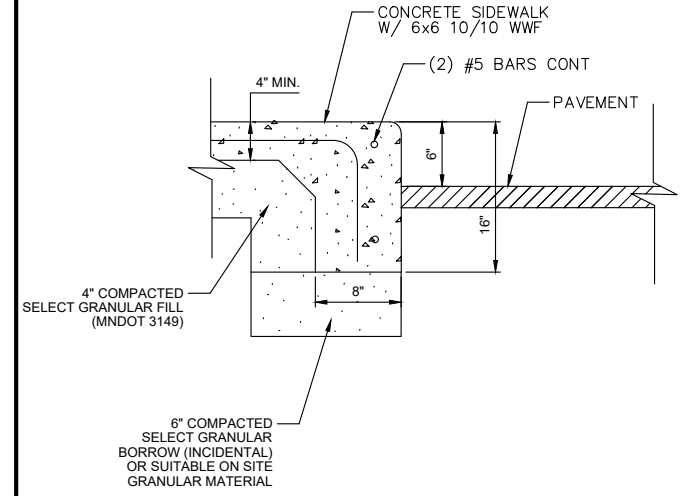
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RESPONSIVE PARTNER: EXCEPTIONAL OUTCOMES		T: \\2294-Corcoran\Corcoran logo.jpg	
SHEET TITLE: CONSTRUCTION ENTRANCE (ROCK)		PROJECT NO.: 2294-00	SHEET NO.: ERO-6
REV	DWN	APP	REV DATE
			FEB 2015
CHK'D	RWS	APP'D	RWS
SKH	RWS	RWS	RWS
DWN BY		SCALE	



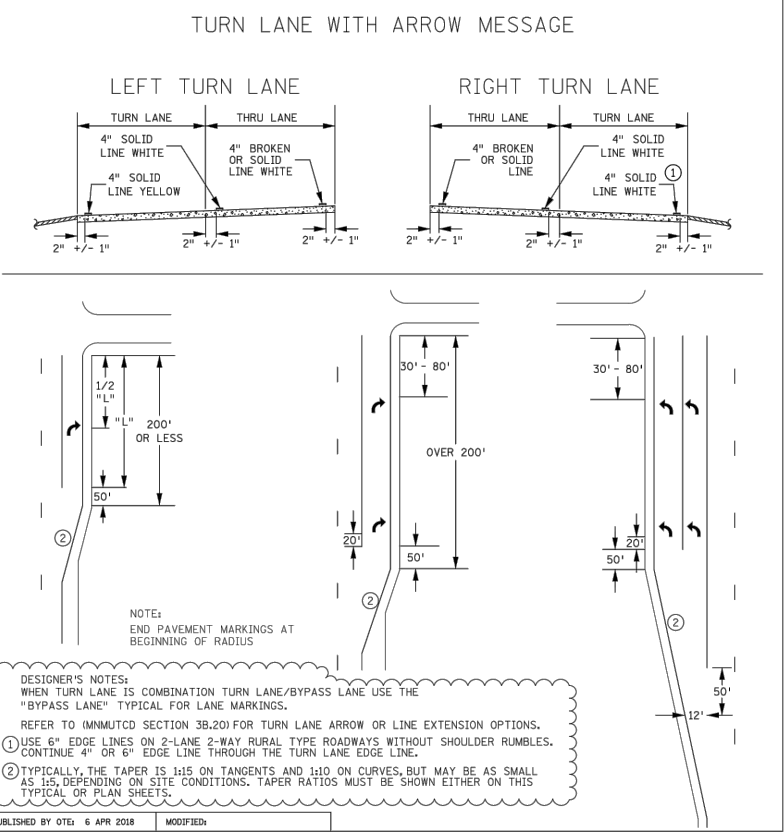
B612



B618



NTS



DESIGNER'S NOTES:
WHEN TURN LANE IS COMBINATION TURN LANE/BYPASS LANE USE THE "BYPASS LANE" TYPICAL FOR LANE MARKINGS.
REFER TO (MNMUTCD SECTION 38.20) FOR TURN LANE ARROW OR LINE EXTENSION OPTIONS.
① USE 6" EDGE LINES ON 2-LANE 2-WAY RURAL TYPE ROADWAYS WITHOUT SHOULDER RUMBLES. CONTINUE 4" OR 6" EDGE LINE THROUGH THE TURN LANE EDGE LINE.
② TYPICALLY, THE TAPER IS 1:15 ON TANGENTS AND 1:10 ON CURVES, BUT MAY BE AS SMALL AS 1:5, DEPENDING ON SITE CONDITIONS. TAPER RATIOS MUST BE SHOWN EITHER ON THIS TYPICAL OR PLAN SHEETS.

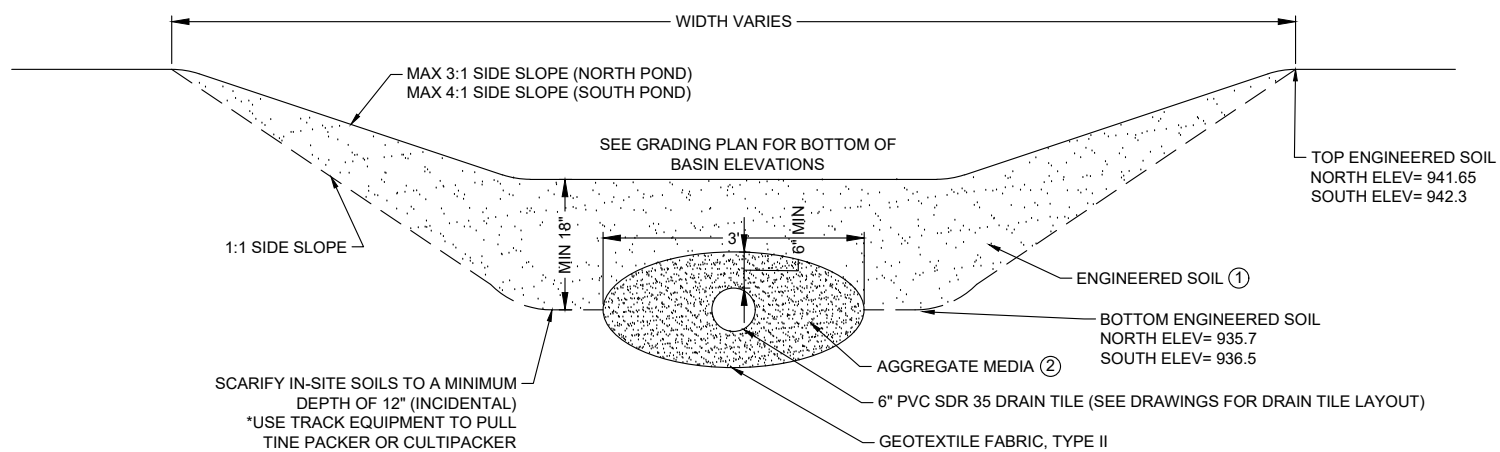
SEH	CURB AND GUTTER		Revised:
			Oct. 2011
SEH	MONOLITHIC SIDEWALK EDGE		SEH Plate No.
			STR-19

SEH Project	RAMGC - 172432	Rev.#		Revision Issue Description	Date	Rev.#		Revision Issue Description	Date
Drawn By	MJW	.	.			.	.
Designed By	MJW	B	A	UPDATED SITE PLAN ISSUED FOR REVIEW	5/5/2023				
Checked By	BJR				4/18/2023				

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
BRYAN REMER, PE
DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

CIVIL DETAILS



ENGINEERED SOIL
- BLEND OF EQUAL PARTS ONSITE TOPSOIL, COMPOST, SELECT GRANULAR BORROW. (LESS THAN 10% PASSING 200 SIEVE)

AGGREGATE MEDIA
- WASHED COARSE AGGREGATE MEDIA
- MNDOT 3149.2H "COARSE FILTER AGG."



FILTRATION BASIN DETAIL

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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

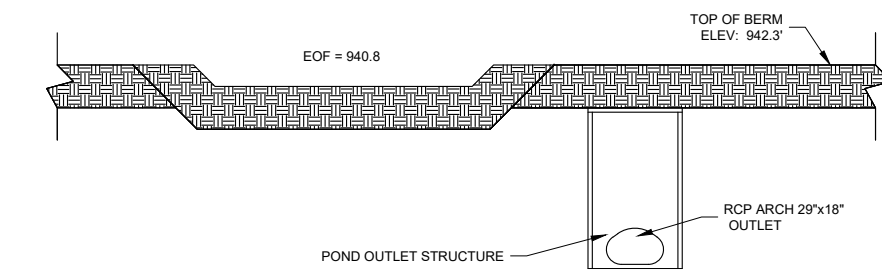
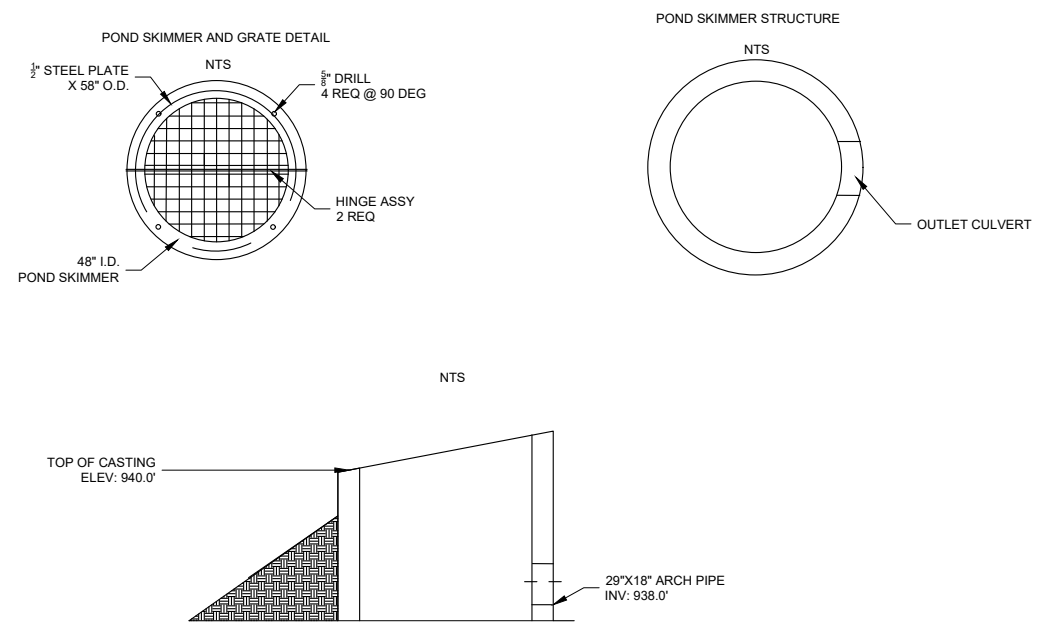


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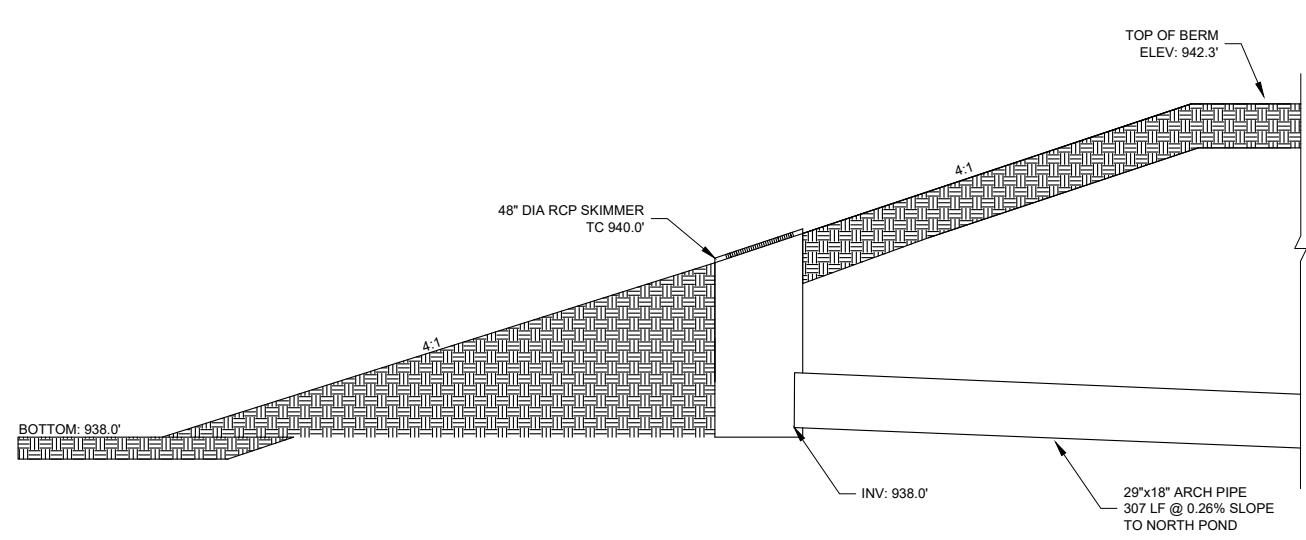
Bryan Remer
BRYAN REMER, PE
DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
CORCORAN, MINNESOTA

CIVIL DETAILS



- NOTES:
1. GRATE TO BE MADE IN TWO (2) PIECES
 2. ALL METAL SHALL BE HOT-DIPPED GALVANIZED
 3. FASTEN GRATE TO STRUCTURE WITH FOUR (4) 1/2"-13 UNC HEX HEAD SS BOLTS W/ NUTS & WASHERS
 4. EXCAVATION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR STRUCTURE



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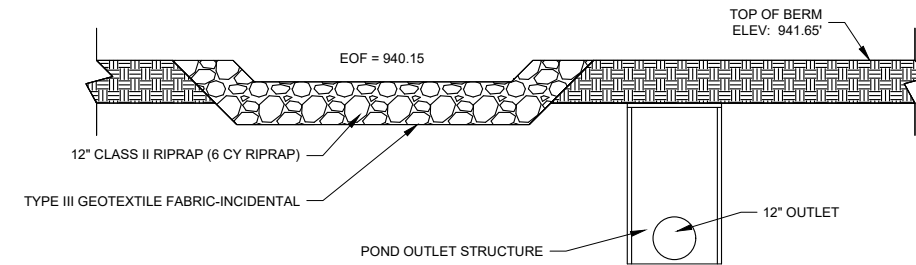
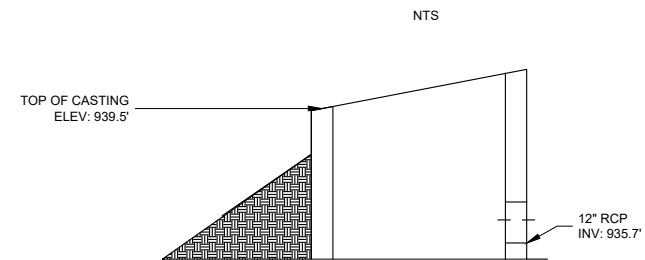
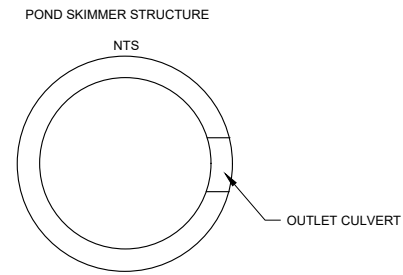
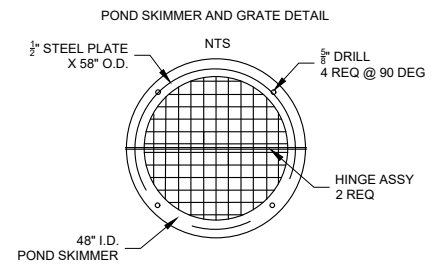
SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

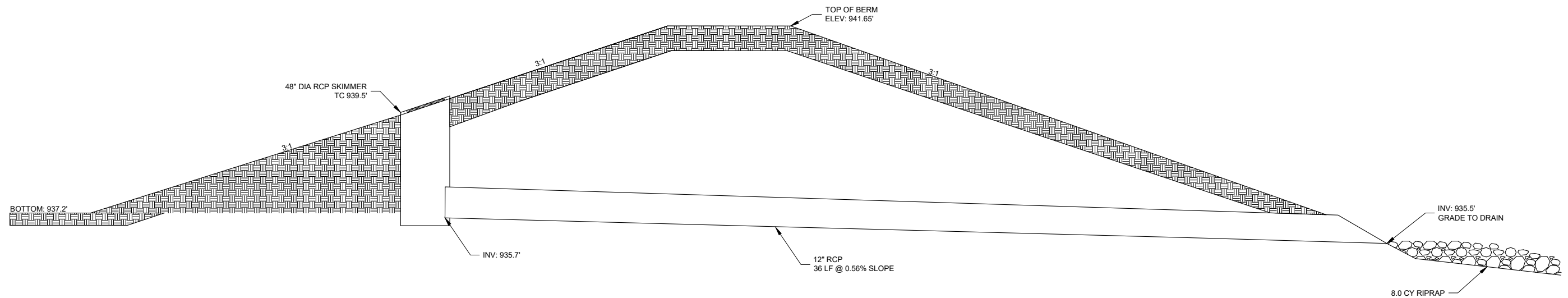
Bryan Remer
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
 CORCORAN, MINNESOTA

SOUTH POND DETAILS



- NOTES:
1. GRATE TO BE MADE IN TWO (2) PIECES
 2. ALL METAL SHALL BE HOT-DIPPED GALVANIZED
 3. FASTEN GRATE TO STRUCTURE WITH FOUR (4) 1/2"-13 UNC HEX HEAD SS BOLTS W/ NUTS & WASHERS
 4. EXCAVATION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR STRUCTURE



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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	B	UPDATED SITE PLAN	5/5/2023	.		
Checked By	BJR	A	ISSUED FOR REVIEW	4/18/2023	.		

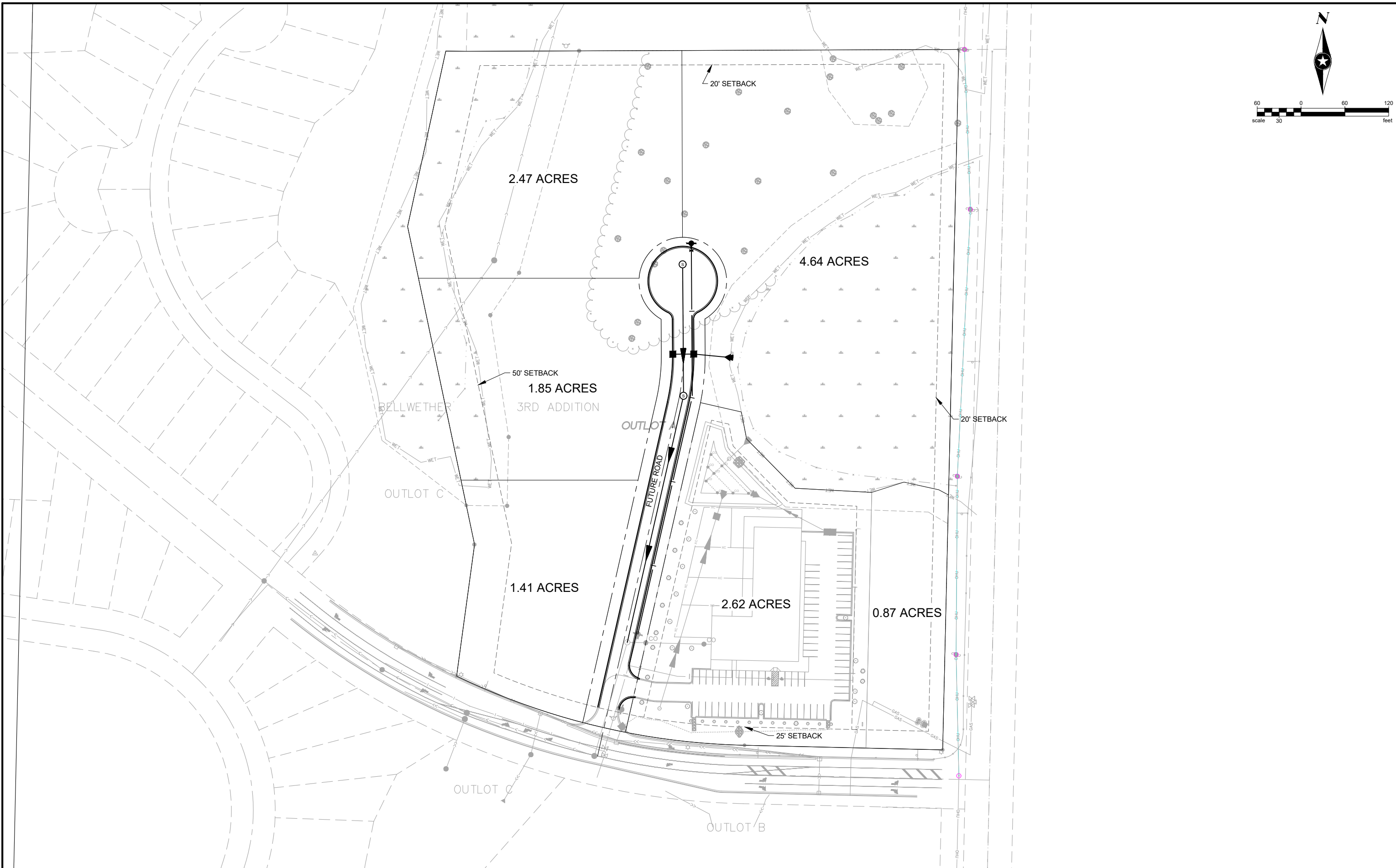
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Bryan Remer
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588


RED BARN PET RETREAT SITE DESIGN
 CORCORAN, MINNESOTA

NORTH POND DETAILS

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SEH Project	RAMGC - 172432	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	MJW	.			.		
Designed By	MJW	.			.		
Checked By	BJR	A	ISSUED FOR REVIEW	5/5/2023	.		

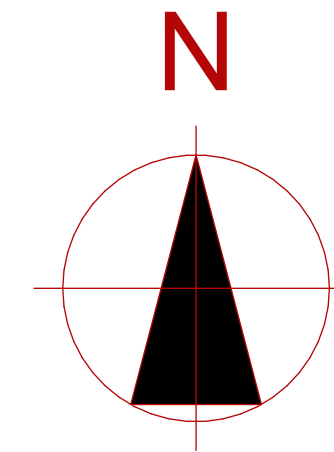

 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 BRYAN REMER, PE
 DATE: 05-05-23 LICENSE NO. 47588

RED BARN PET RETREAT SITE DESIGN
 CORCORAN, MINNESOTA



- GRASS (49,930 SQ. FT.)
- ARTIFICIAL TURF (13,225 SQ. FT.)
- ASPHALT (29,620 SQ. FT.)
- EXTERIOR CONCRETE (6,136 SQ. FT.)
- 7' TALL VINYL PRIVACY FENCING (650 LF)
- 73 PARKING SPACES & 2 HANDICAPP SPACES

- (8) MAPLE
- (7) BLACK HILL SPRUCE
- (3) BLUE SPRUCE
- (5) FLOWERING CRABTREE
- (12) FLOWERING SHRUB



1" = 50'-0"

PROJECT: #P1n
DATE: 5/5/2023
DRAWN: S.K.

NO.	PLAN ITEM	BY	DATE
1			
2			
3			
4			
5			

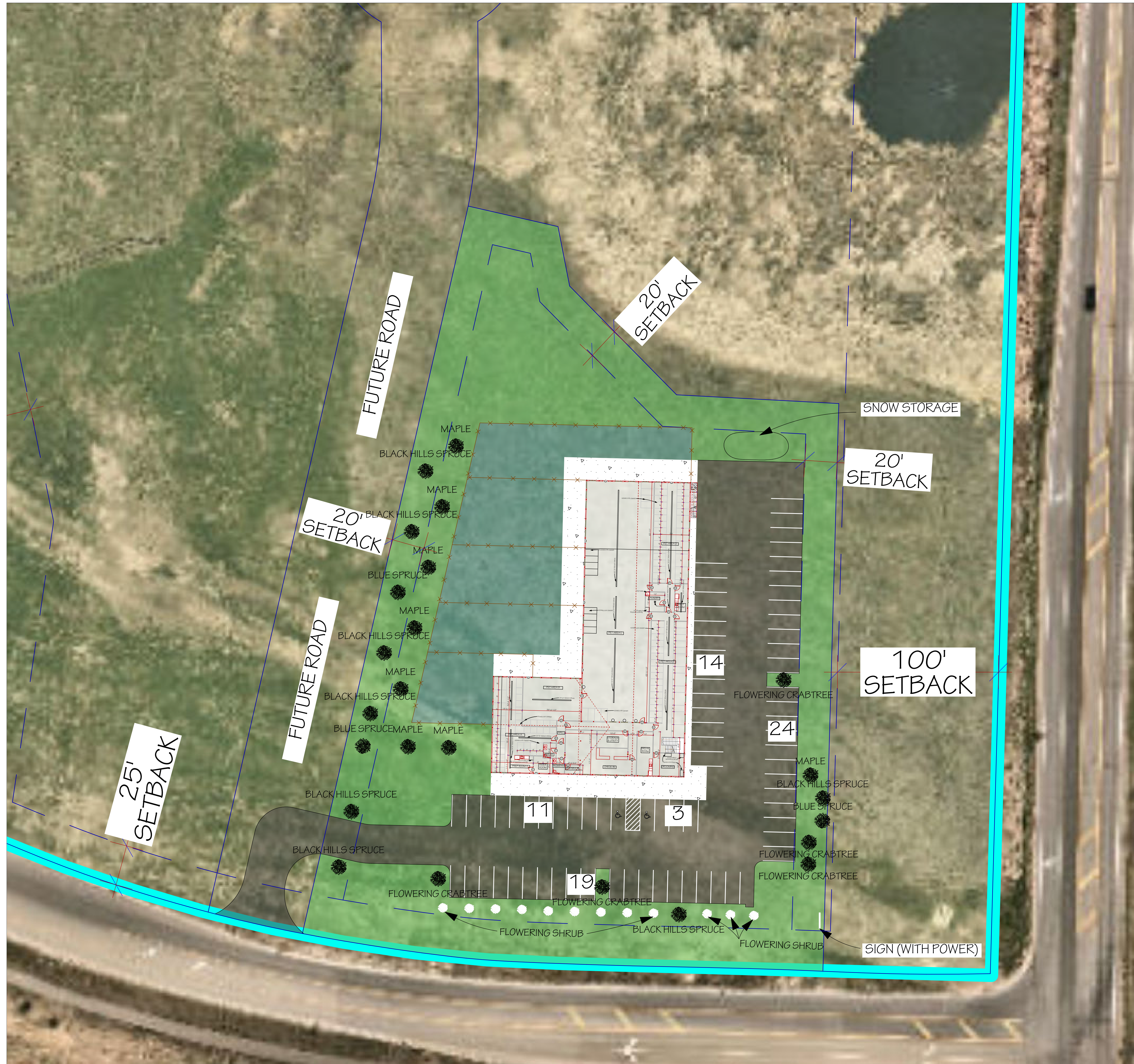
Red Barn Fez Retreat
Corcoran, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

592 Industrial Drive
Winnet, Minnesota 55395
320-485-2844 800-770-4726
Fax 320-485-3625
www.rambls.com



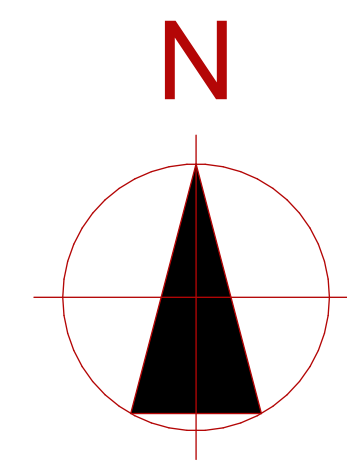
SHEET

OF 10



- GRASS (49,930 SQ. FT.)
- ARTIFICIAL TURF (13,225 SQ. FT.)
- ASPHALT (29,620 SQ. FT.)
- EXTERIOR CONCRETE (6,136 SQ. FT.)
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- (8) MAPLE
- (7) BLACK HILL SPRUCE
- (3) BLUE SPRUCE
- (5) FLOWERING CRABTREE
- (12) FLOWERING SHRUB



1" = 30'-0"

PROJECT: #P1n	DATE: 5/5/2023	DRAWN: S.K.
PLAN ITEM	BY	DATE
NO	BY	DATE
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Red Barn Feb Retreat
Corcoran, MN

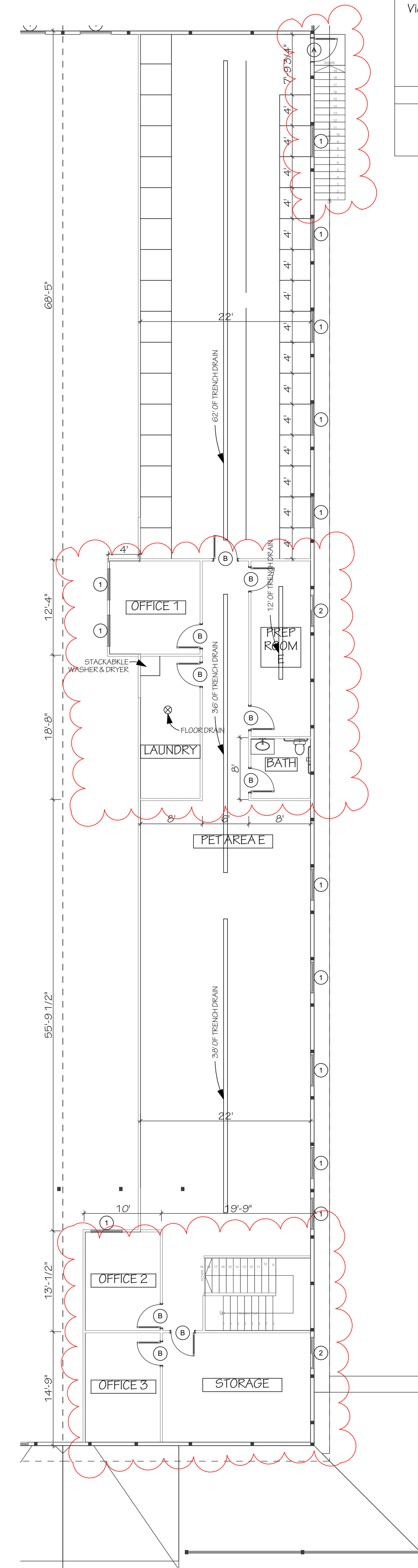
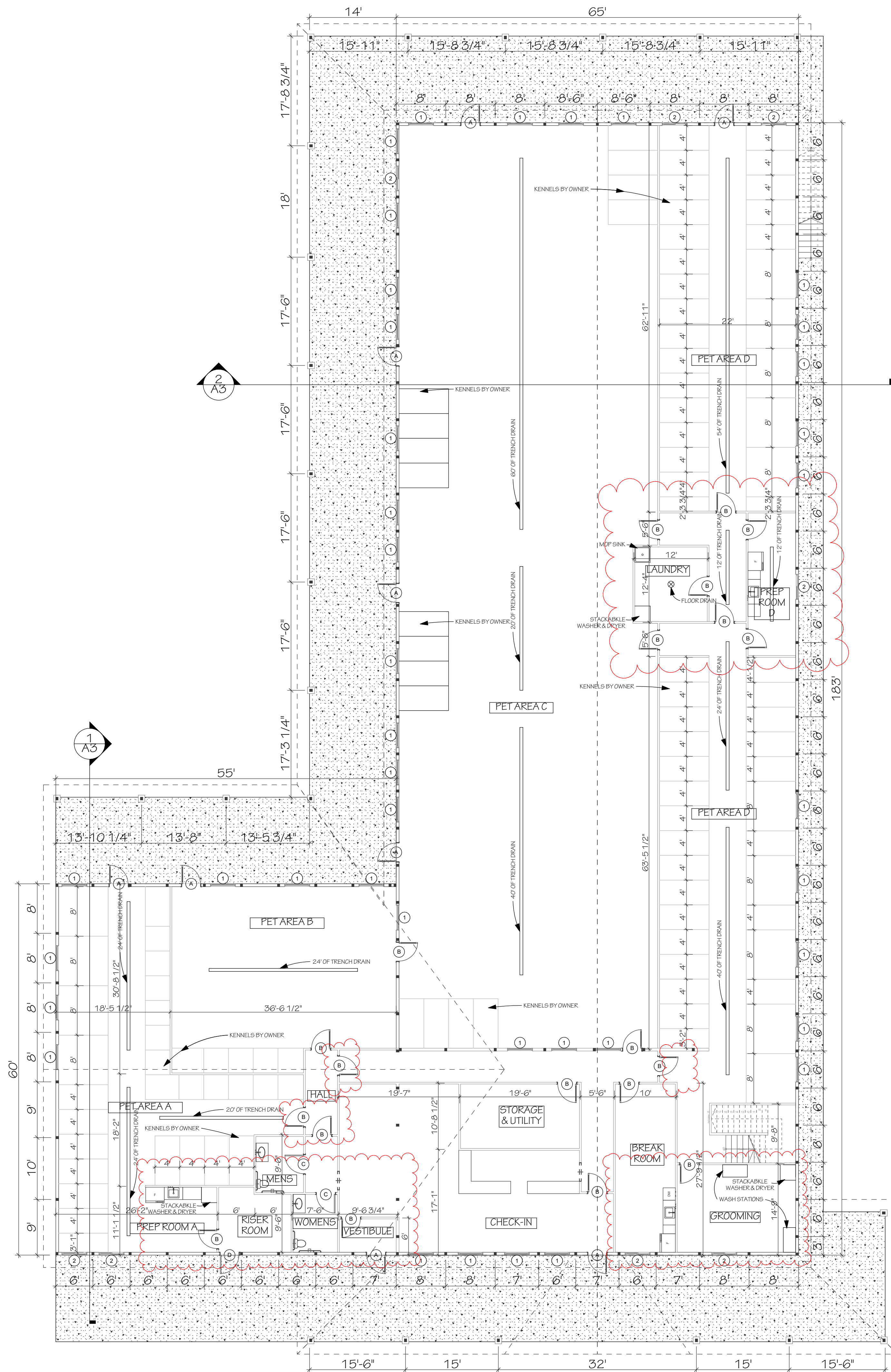
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

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Fax 320-485-3625 www.rambls.com

CONSTRUCTION SERVICES

SHEET

OF 10



DOOR & WINDOW TYPES						
Element ID	1	2	A	B	C	D
Quantity	56	33	10	29	2	1
View from Reveal Side						
Dimensions	---	---	3'x7'	3'x6'-8"	3'x6'-8"	3'x7'
Remarks	4030 VINYL FIXED WINDOWS	4030 VINYL SLIDING WINDOWS	AJ 7100 SERIES HALF-LITE WALKDOOR	AJ 5100 SERIES HALF-LITE WALKDOOR	AJ 5100 SERIES SOLID WALKDOOR	AJ 7100 SERIES SOLID WALKDOOR

MAIN LEVEL ROOM FINISH SCHEDULE

NUMBER	ROOM	FLOOR	WALLS	CEILING	BASE	CEILING HGT.	REMARKS
MAIN LEVEL							
	CHECK-IN	EP	GBP	STEEL		10'-0"	
	BREAK ROOM	EP	GBP	STEEL		8'-0"	
	STORAGE & UTILITY	EP	GBP	STEEL		10'-0"	
	GROOMING	EP	GBP	STEEL		8'-0"	
	HALL	EP	GBP	STEEL		10'-0"	
	VESTIBULE	EP	GBP	STEEL		14'-0"	
	MENS	EP	FRP	ACT		8'-0"	
	WOMENS	EP	FRP	ACT		8'-0"	
	RISER ROOM	EP	GBP	STEEL		14'-0"	
	PREP ROOM A	EP	STEEL	STEEL		14'-0"	
	PET AREA A	EP	STEEL	STEEL		14'-0"	
	PET AREA B	EP	STEEL	STEEL		14'-0"	
	PET AREA C	EP	STEEL	STEEL		10'-0"	
	PET AREA D	EP	STEEL	STEEL		8'-0"	
	PREP ROOM D	EP	STEEL	STEEL		8'-0"	
	LAUNDRY	EP	GBP	STEEL		8'-0"	
SECOND LEVEL							
	PET AREA E	EP	STEEL	STEEL		8'-0"	
	PREP ROOM E	EP	STEEL	STEEL		8'-0"	
	BATH	EP	GBP	STEEL		8'-0"	
	OFFICE 1	EP	GBP	STEEL		8'-0"	
	OFFICE 2	EP	GBP	STEEL		8'-0"	
	OFFICE 3	EP	GBP	STEEL		8'-0"	
	LAUNDRY	EP	GBP	STEEL		8'-0"	
	STORAGE	EP	GBP	STEEL		8'-0"	

ABBREVIATIONS:
 ACT SUSPENDED CEILING
 EP EPOXY
 FRP FIBERGLASS REINFORCED PLASTIC
 GBP GYPSUM BOARD - PAINTED
 STEEL STEEL LINER

REMARKS:

PROJECT: #Pn
DATE: 5/10/2025
DRAWN: S.K.

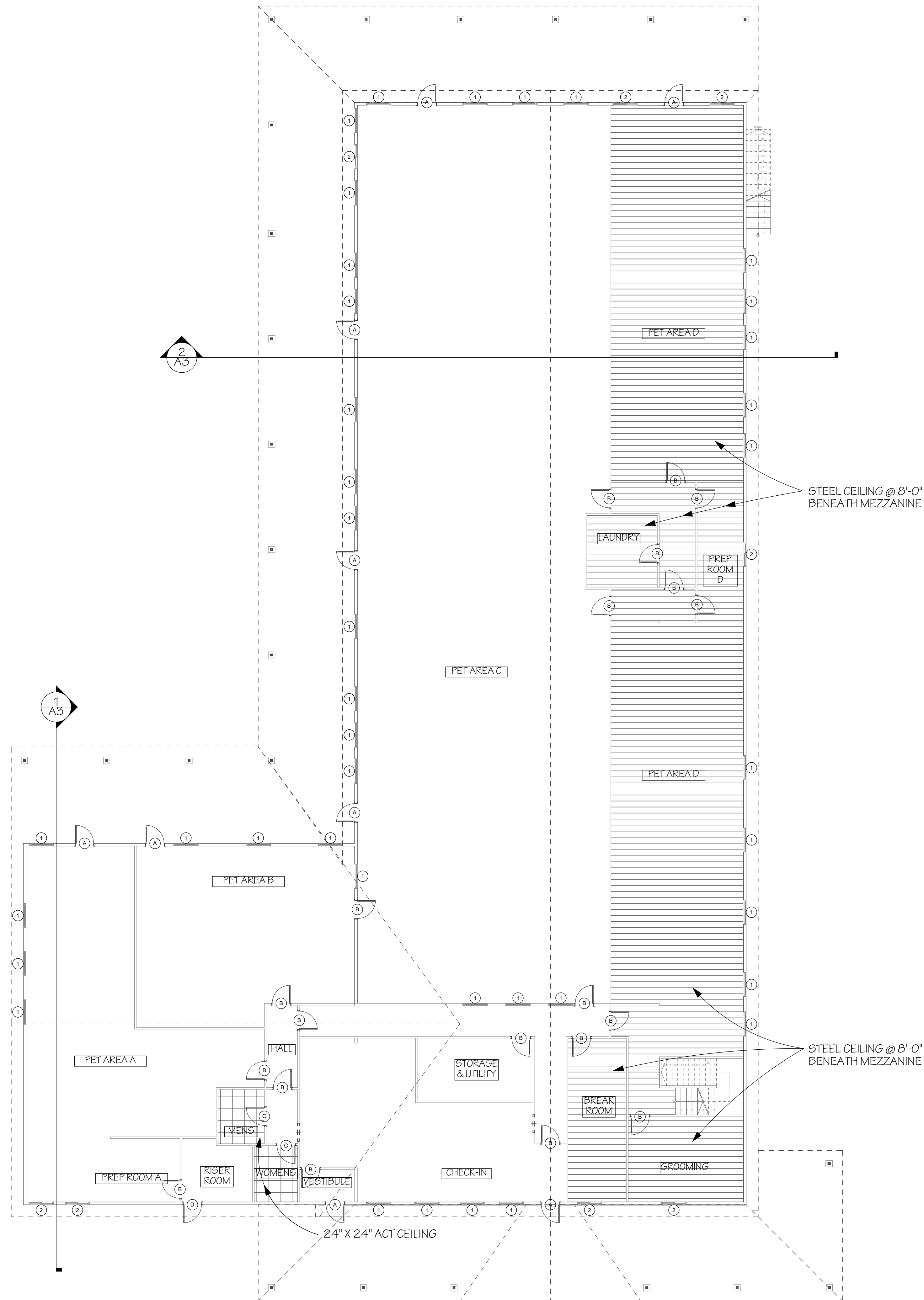
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Red Barn Pet Retreat
Corcoran, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

582 Industrial Drive
Winnet, Minnesota 55395
320-485-2844 800-710-4726
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SHEET
A1
OF 10



1
A2 RCP
SCALE: 1" = 10'

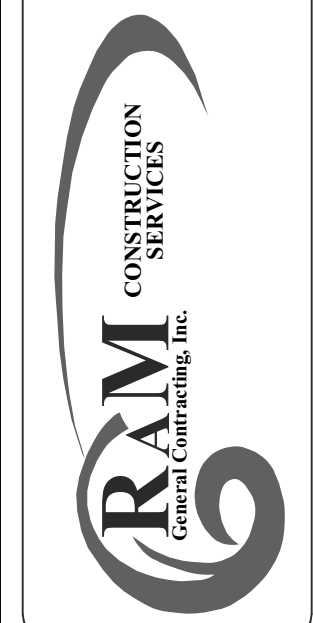
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PROJECT: #P1n
DATE: 5/10/2025
DRAWN: S.K.

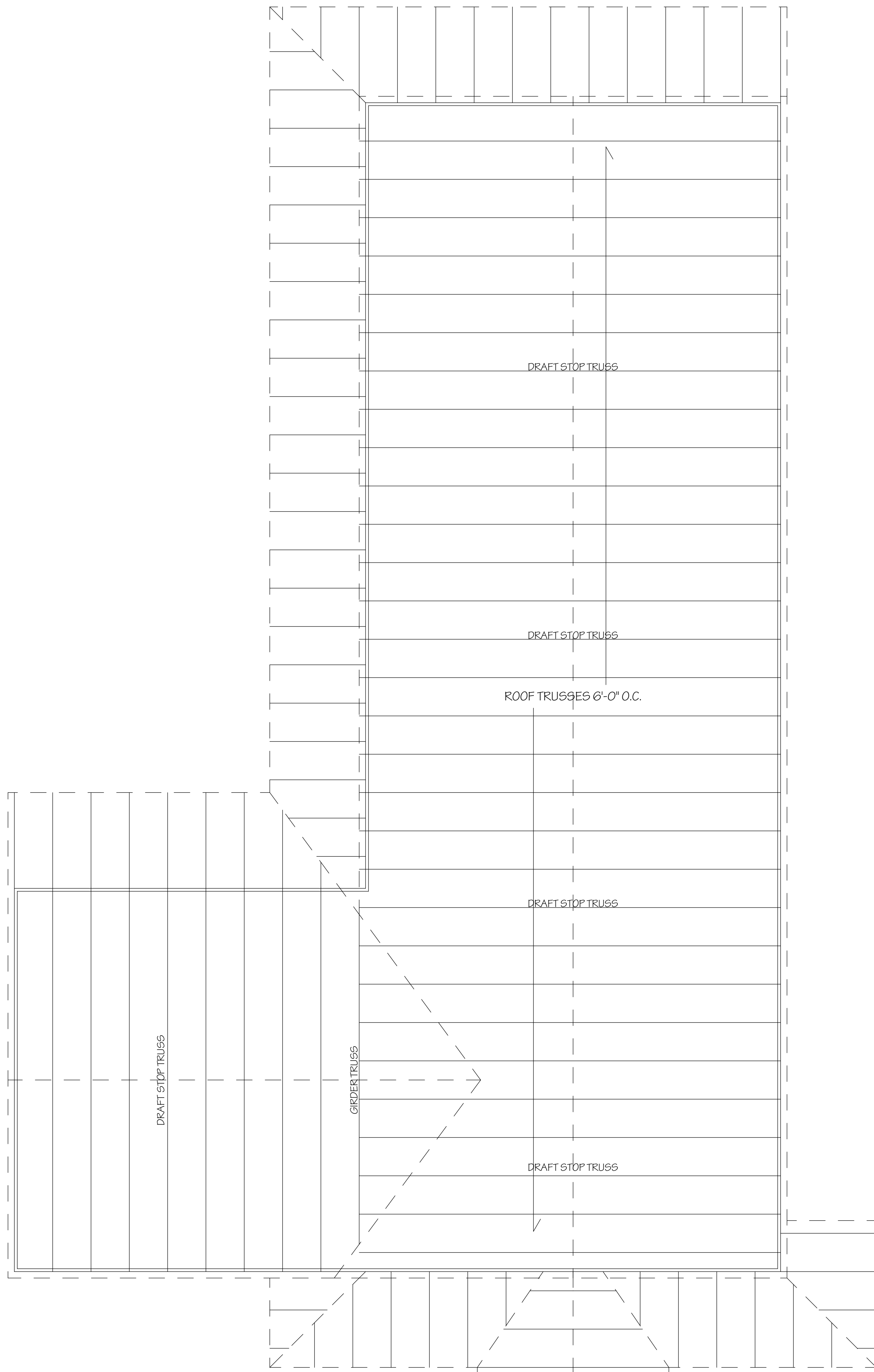
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Red Barn Pet Retreat
Corcoran, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

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SHEET
A2
OF 10



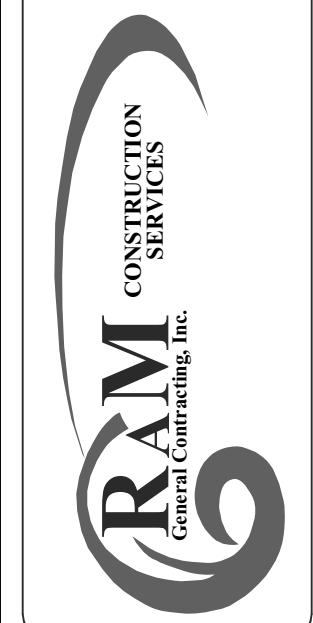
1
A3 Roof Plan
SCALE: 1" = 10'

PROJECT: #P1n
DATE: 5/10/2025
DRAWN: S.K.

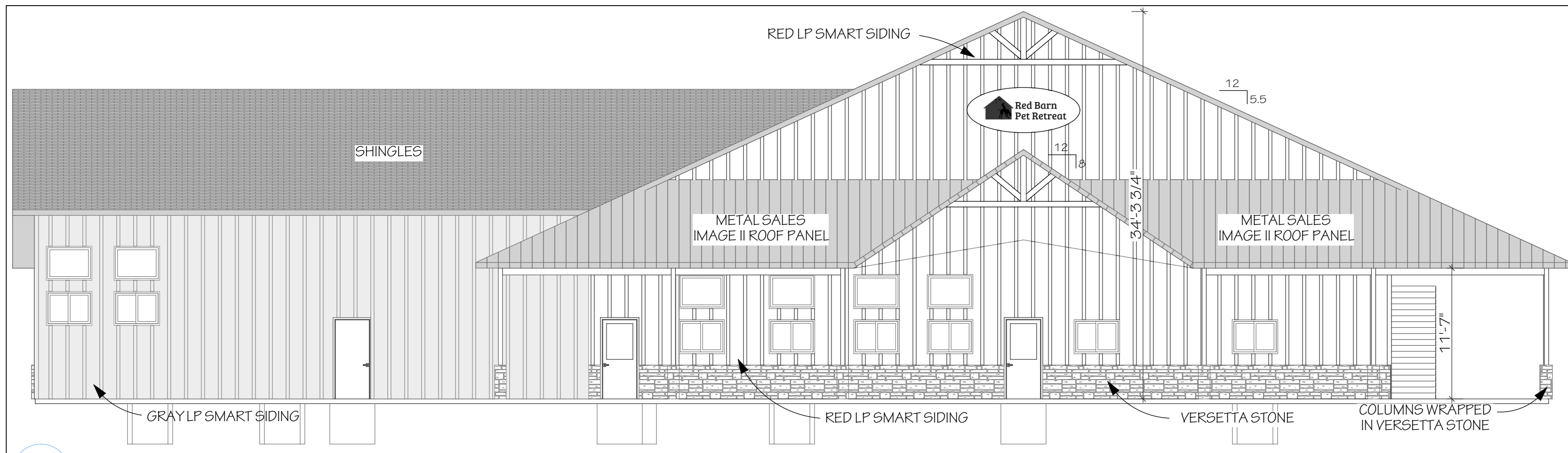
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Red Barn Pest Retreat
Corcoran, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

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Winnet, Minnesota 55395
320-485-2644 800-710-4726
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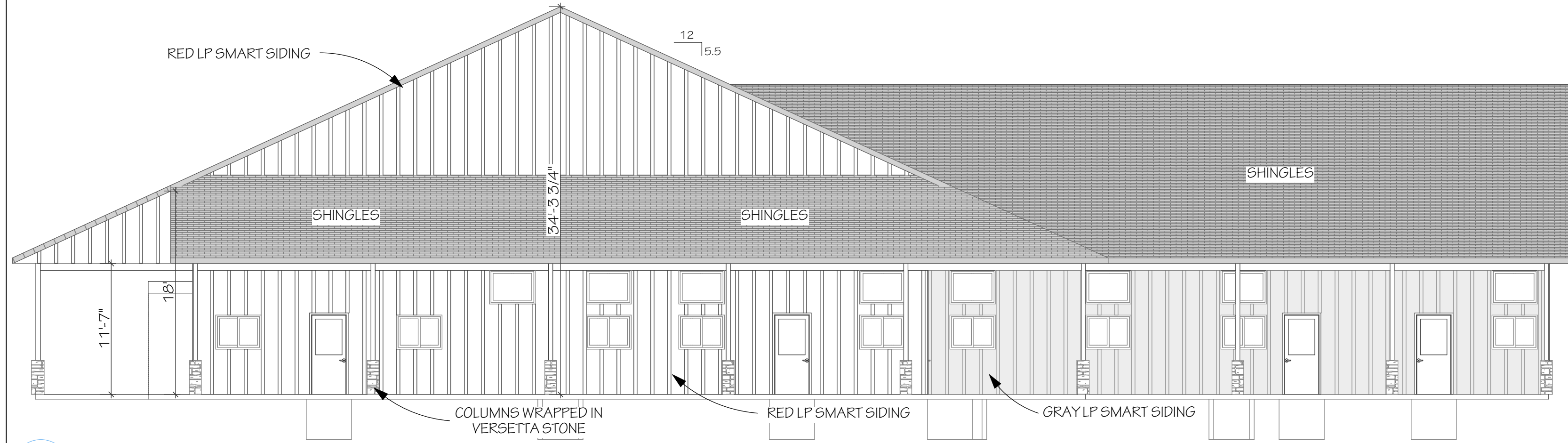


SHEET
A3
OF 10



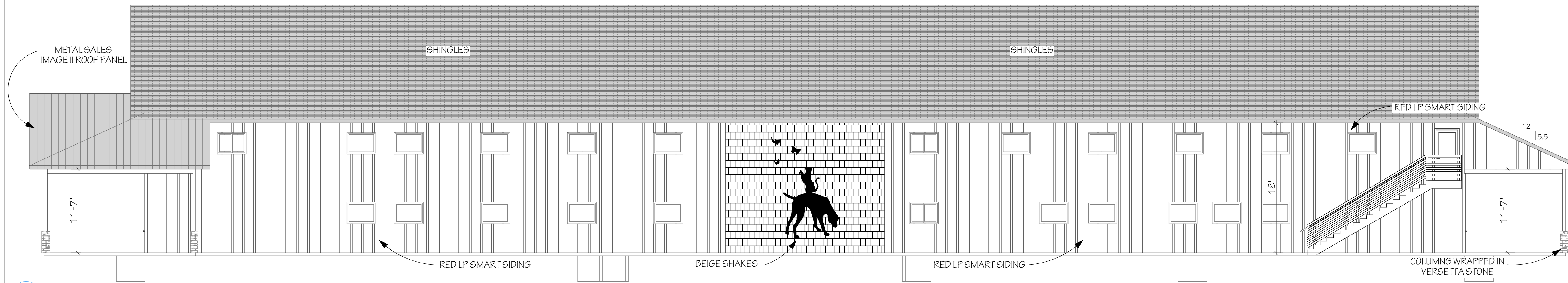
1 SOUTH ELEVATION
A4 SCALE: 1/8" = 1'-0"

1,176 SQ. FT. (55%) RED LP SMART SIDING, 213 SQ. FT. (10%) STONE VENEER, & 743 SQ. FT. (35%) GREY LP SMART SIDING



2 NORTH ELEVATION
A4 SCALE: 1/8" = 1'-0"

1,260 SQ. FT. (67%) RED LP SMART SIDING & 605 SQ. FT. (33%) GREY LP SMART SIDING



3 EAST ELEVATION
A4 SCALE: 1/8" = 1'-0"

2,886 SQ. FT. (87%) RED LP SMART SIDING & 414 SQ. FT. (13%) VERSETTA STONE



4 WEST ELEVATION
A4 SCALE: 1/8" = 1'-0"

1,364 SQ. FT. (51%) RED LP SMART SIDING & 1,297 SQ. FT. (47%) GREY LP SMART SIDING

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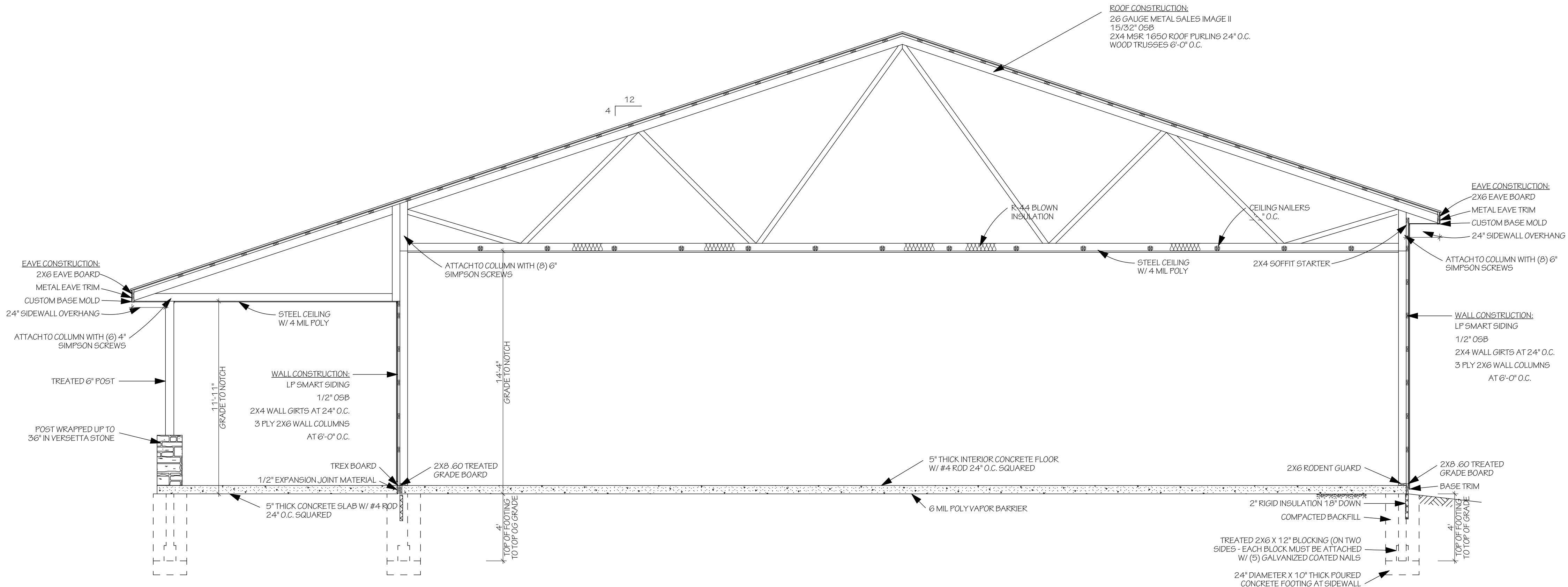
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Red Barn Pet Retreat
Corcoran, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

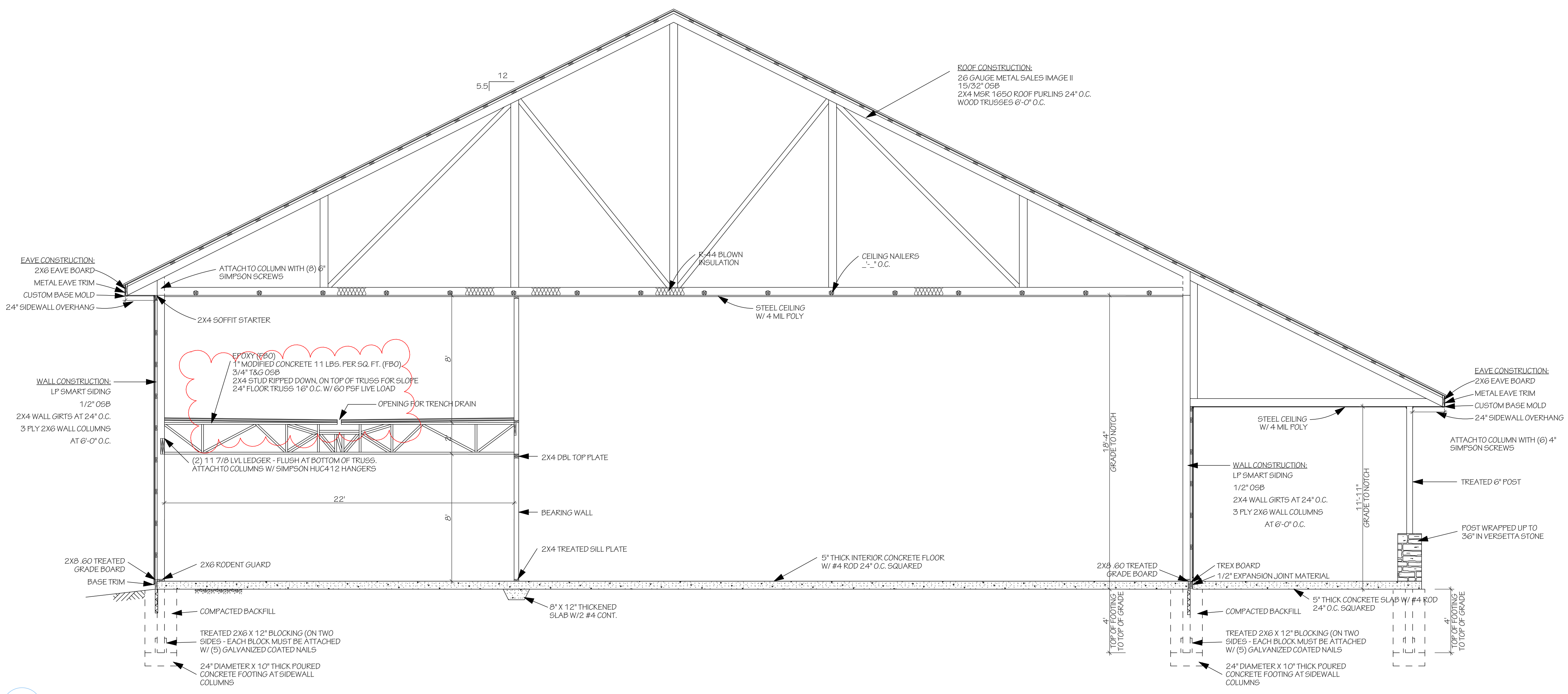
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SHEET
A4
OF 10



1 Section Through 14'
A5 SCALE: 1/4" = 1'-0"



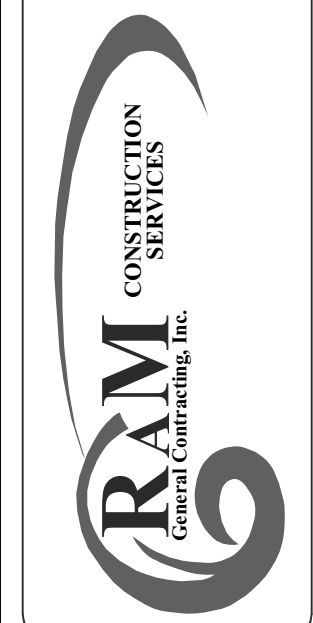
2 Section Through 18'
A5 SCALE: 1/4" = 1'-0"

PROJECT: #P1n
DATE: 5/10/2025
DRAWN: S.K.

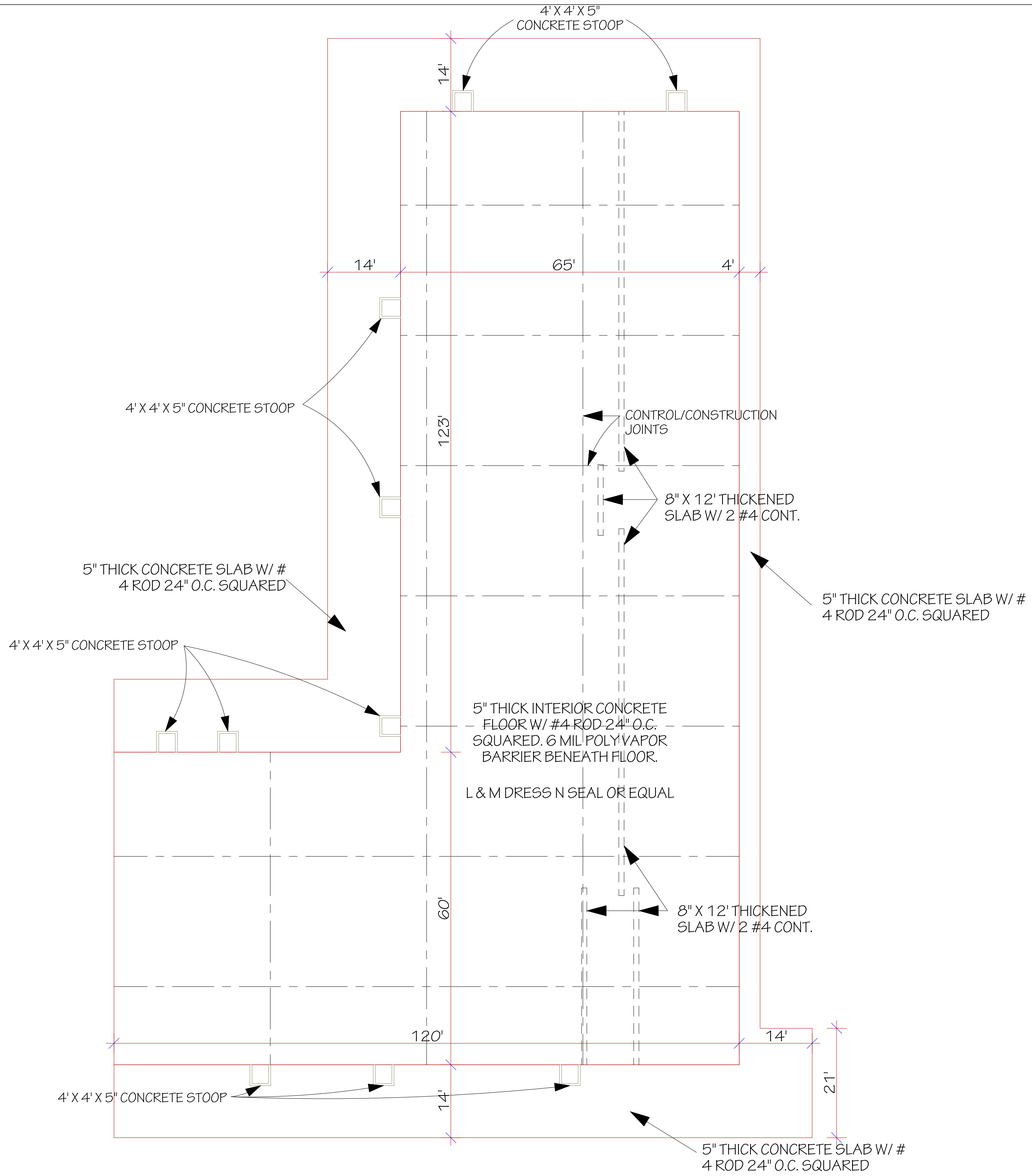
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Red Barn Fez Retreat
Concorant, MN
65'-0" X 165'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

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A5
OF 10



PROJECT: #P1n	DATE: 5/10/2025	DRAWN: S.K.
PLAN ITEM	BY	DATE
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Red Barn Feb Retreat
Concorant, MN

65'-0" X 125'-0" X 18'-0"
60'-0" X 55'-0" X 14'-0"

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OF 10





Red Barn
Pet Retreat









To: Kevin Mattson, PE Public Works
Director

From: Kent Torve, PE City Engineer
Steve Hegland, PE
Ben Otto, EIT

Project: Red Barn Pet Retreat

Date: May 24, 2023

Exhibits:

This Memorandum is based on a review of the following documents:

1. Red Barn Pet Retreat Civil Plans, by Short Elliott Hendrickson Inc. Dated 05/10/2023
2. Red Barn Pet Retreat Drainage Report, by Short Elliott Hendrickson Inc. Dated 05/05/2023
3. Red Barn Pet Retreat Preliminary Plat, by E.G. Rud & Sons, Inc. Dated 05/10/2023
4. Red Barn Pet Retreat Site Layout & Landscape Plan, by RAM General Contracting Dated 05/10/2023

Comments:

Stormwater Comments are provided under separate cover but shall be addressed with any plan updates.

General:

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to additional planning comments and all other applicable codes of the City of Corcoran.
3. Applicant shall provide a list of any changes made to the plans not directly related to any of the comments provided.
4. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence. City must provide signature on application to watershed for watershed to begin review.
5. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.
6. A plan identifying wetland buffers shall be provided which includes which wetland buffers may qualify as existing buffers and which will be established with the project. If existing buffers are proposed to be used, they shall be identified on the plan so they can be reviewed and approved by the City as an approved wetland based on the plant species and other characteristics. If wetland are to be established, the plan shall identify the plan for how the buffers will be established. The provided turn establishment plan does not meet this standard.
7. Applicant shall verify timing of wetland delineations used for project. Wetland delineations expire after 5 years and any expired delineations should be updated.
8. Stormwater ponds and piping to be privately owned and maintained.

May 24, 2023

Red Barn Retreat

Kevin Mattson

Page 2 of 3

Plat:

1. All basins/ponds should be encompassed by a D&U easement. Easements shall be provided over all storm sewer pipes required for the operation of the ponding/treatment system. Easements shall be shown on the utility plan to ensure they are adequate.
2. Provide a D&U easement on all pond & wetland access routes.
3. An existing easement exists for the trunk sewer line to the NW and should be shown correctly.
4. Drainage and utility easements shall be provided over entirety of Outlot A.

Transportation:

1. Future proposed road shall match City standard details.
2. Provide 40:1 tapers on Stieg road for the turn lanes.
3. No westbound left turn lane restriping is required at this time.
4. The roadway layout shall be reviewed by public safety to determine if future roadway should be constructed past the facility limit or what turnarounds are required. All turnarounds should be constructed to the standards outlined in the standard details.
5. A 10' trail easement shall be provided over top of the 10' Drainage and Utility easement which abuts Stieg Road.
6. Roadway section along Stieg Road shall match existing roadway section.
7. Turn lane into the site has conflicts with existing storm sewer and lighting which will need to be accommodated in the construction plans.
8. Show plan and profile of future roadway adjacent to the site to ensure site plan will transition properly to future roadway.

Water and Sewer:

1. Provide elevation on future sanitary sewer information including anticipated building pad elevations to ensure future sanitary line is at sufficient depth to service future lots.
2. A 12" trunk watermain line is available along the northern property line and a water stub is provided at Stieg Road. For the future development plan, this watermain should be looped through the site. Show/Identify future watermain corridor with this proposal.
3. Plan and profiles for all utilities shall be provided at the time of final plat submittals.
4. Maintain 10' (out to out) of horizontal separation between the sanitary line/structures and the watermain.
5. A minimum of 18" of vertical separation is required between watermain and all other utilities.
6. Valves on watermain to be butterfly valves for 12" and larger pipes.
7. Utility plans show a well and a connection to the public system. Only one source for a water service shall be provided.
8. If using the well, it must be permitted with the Minnesota Department of Health.
9. A physical air gap or other means of ensuring that back-feeding well water does not enter into the city distribution system will be required.

May 24, 2023

Red Barn Retreat

Kevin Mattson

Page 3 of 3

10. If connecting to the city system, you must provide two services. One for water service and one for fire suppression. A valve at the back of the utility easement shall be provided on each service.
11. Hydrant at entrance shall be extended so that it doesn't interfere with construction of future street.
12. Cleanout for sewer shall be moved to beyond the drainage and utility easement.
13. Watermain services within the site are private. We recommend 90 degree bend be replaced with 45 degree fittings.
14. Plans don't accommodate sewer and water services to potential upland area to the east.
15. Fire suppression to be reviewed with building official to confirm plan if water service from Maple Grove can not be provided.

Grading and Site Plan

1. Provide elevations on grading plan along the proposed curb in the proposed right turn lane.
2. Turf pet area, fence, concrete pavement, and building are not allowed to be in the wetland buffer setback.
3. All slopes shall be 4:1 or flatter.
4. Landscaping should be moved out of the drainage and utility easement along future road.
5. Show pond access routes around all ponds. Access routes shall provide access to all outlet structures, EOF's and other critical infrastructure to maintain and access ponds.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.
2. A double row of silt fence should be placed on the perimeter of all delineated wetlands.
3. Silt fence should be placed outside of the wetland edge.
4. A rock construction entrance must be provided.
5. Current rip rap at ST-18 is considered wetland fill. No wetland impacts are allowed without wetland mitigation and approval. Wetland impacts must be proposed through the WCA process. All associated permits shall be submitted and approved prior to grading activities within the site if impacts are not changed. Without approval NO work or equipment is allowed inside of the delineated wetlands boundary.

End of Comments

To: Kevin Mattson, PE Public Works Director From: Kent Torve, PE City Engineer
Ben Otto, EIT

Project: Stormwater for Red Barn Pet Retreat Date: May 24, 2023

Exhibits:

This Memorandum is based on a review of the following documents:

- Red Barn Pet Retreat Drainage Report, by Short Elliott Hendrickson Inc. Dated 05/05/2023

General:

The stormwater management system needs revision and additional review will be performed.

1. Utilize the City's Stormwater Modeling Guidelines that were provided in the Feasibility Study.
2. Utilize City standard design plates for stormwater structures.
3. Approval process will first involve receiving City authorization to submit to Elm Creek watershed.
4. Provide a D&U easement over the ponds and wetlands and the easement shall encompass all access routes.
5. Consider incorporating storage and treatment for the future road with this initial development.

Ponding

1. South pond needs to be outside of ROW and roadway D/U easements.
2. The revised south pond will not be allowed to discharge the EOF onto Stieg Road.
3. The south pond shall not be connected via pipe to the Stieg Road stormwater system without modeling impacts on downstream system to verify no impacts. This could include rate and volume impacts.
4. The elevation of the north basin shall be revised to show 6 inches of vertical clearance from the pipe outlet down to the wetland edge, 6 inches of vertical clearance from the drantile in the OCS to the discharge pipe invert, 2 feet of sand/rock section (see plate STO-20), and 0.5% slope on drantile. Vertical clearances would be similar for revised south pond.
5. Ponds to have a maximum of 4:1 slopes above the safety bench and then are allowed 3:1 below the safety bench.

Modeling

1. The HydroCAD model is required to incorporate the entire property and wetland and identify contributing drainage area ("run on") from adjacent parcels (if any).
 - a. Include the main wetland and the pipe beneath CSAH 101 in the modeling.
2. Revise the Existing and Proposed Drainage Figures as follows:
 - a. The Existing Drainage Figure No.1 should show only the pre-development site conditions such as existing structures and grading.
 - b. Drainage areas should include any offsite drainage.
 - c. The existing and proposed conditions boundaries shall match.

May 24, 2023

Red Barn Retreat

Kevin Mattson

Page 2 of 2

- d. Provide time of concentration flow paths for review on a figure.
3. Soil data (Hennepin County) shows Hydrologic Soil Group type C soils while the existing condition model uses D soils. The City Guidelines require that soils are downgraded in proposed conditions due to effects of compaction during construction. Therefore, use C soils in existing and D soils in proposed conditions unless the area is left undisturbed. Use "good" conditions to establish CNs.
4. Update model to use a maximum sheet flow length of 100'.
5. Set the starting pond elevations in HydroCAD at the controlling outlet elevation (NWL) instead of the basin surface.

Construction Plans and Details

1. Each OCS shall have an inlet pipe with skimming, consistent with Corcoran detail STO-16 / STO-17. Current plans show only flow over the top grate.
2. Provide a minimum of 0.5% grade for all drain tile and storm sewer pipes. Show profiles on plans.
3. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter.
4. Provide individual OCS Corcoran detail plates with design elevations matching the HydroCAD model for each pond.
5. Provide pond labels on grading plan and include the BMP name, NWL and HWL elevations.
6. All EOF's must provide a minimum of one foot between the HWL and EOF and one foot from the EOF to the top of berm.
7. A maximum ponded depth of 18" is allowed from the top of sand to the NWL.
8. Show a 10' proposed access route to all pond inlets and outlets as well as filtration component within the pond so that the features can be accessed for maintenance.
9. Pretreatment is required at the discharge into a filtration basin. Size the forebay to 10% of the water quality pond volume.
10. Provide roof drain locations.

Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.
2. A double row of silt fence should be placed on the perimeter of all delineated wetlands.
3. Silt fence should be placed outside of the wetland edge.
4. A rock construction entrance must be provided.
5. All slopes greater than 4:1 need to be protected with erosion control mat.
6. Current rip rap at ST-18 is considered wetland fill. Wetland impacts must be approved through the WCA process.

End of Comments



CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - general@corcoranmn.gov / Web Site - www.corcoranmn.gov

Memo

To: Planning (Planners Lindahl and Davis McKeown)
From: Lieutenant Burns
Date: May 11, 2023
Re: City File 23-008 Red Barn Pet Retreat
Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Conditional Use Permit, and Site Plan

A Public Safety plan review meeting was held on December 7, 2022 to review concept plans received by the City on November 22, 2022 for Red Barn Pet Retreat. In attendance were: Lieutenant Ryan Burns, Planner Davis McKeown, Fire Chief Feist, Fire Chief Leuer, Fire Chief Malewicki, and Construction Services Specialist Pritchard. Additional review was completed on the formal application materials received by Public Safety Director Matt Gottschalk and Lieutenant Ryan Burns on May 11, 2023. The comments below are based on the preliminary review of the plans and are intended as initial feedback as further plan review will need to be completed as construction plans are finalized.

Comments from 12/7/2022:

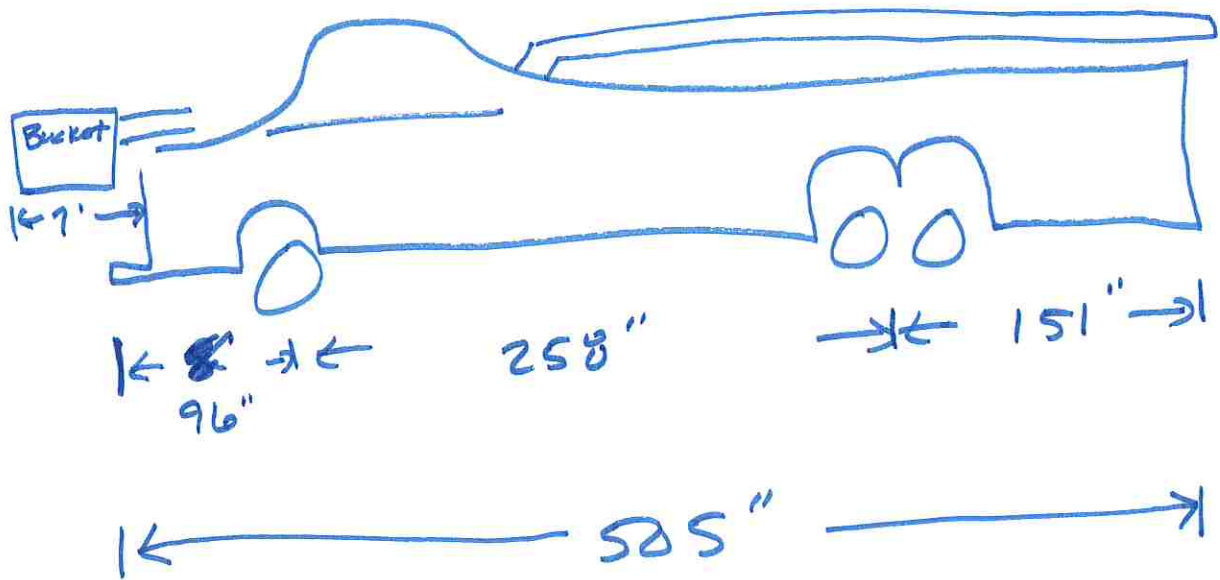
1. On-site hydrants will be required.
2. The applicant will need to confirm with the building official if the building needs to be sprinklered for the Red Barn Pet Retreat needs to be sprinklered as plans are finalized.
3. Two-access onto Stieg Road will not work in this area due to the large traffic volume on Stieg Road and it is too close to the turn lanes. Accesses should be turned internal to the site.
4. A turn-around may be needed for the parking area shown on the east of the Red Barn Pet Retreat if that portion of the site is over 150 feet.

Comments from 5/11/2023:

1. A turn radius exhibit is required to confirm emergency vehicles will be able to access the site via the proposed driveway. If not, the driveway must be relocated to where turn radiuses can be accommodated. The fire truck dimensions to be utilized in the turn radius exhibits are enclosed to this memo.

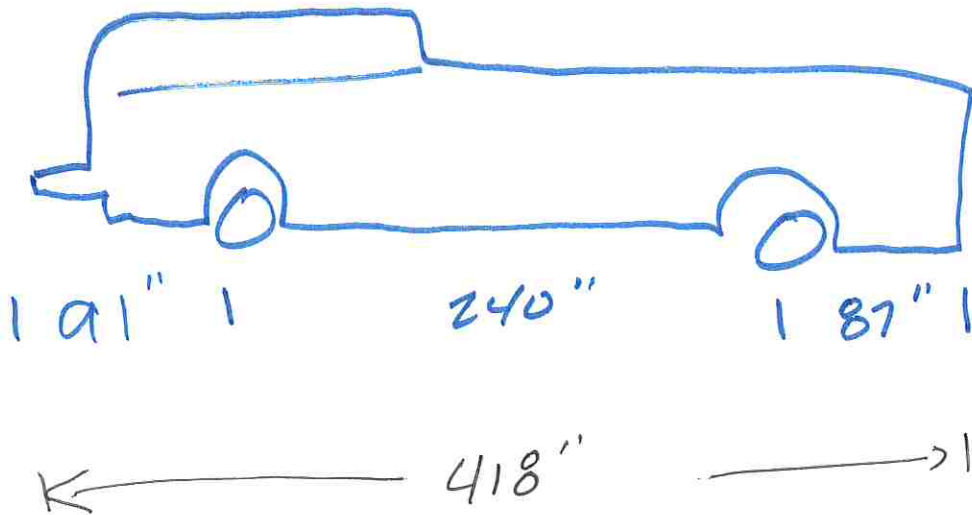
2. A turnaround must be provided on the east portion of the site since this area exceeds 150'.
3. Assuming the building is to be sprinklered (as it exceeds 12,000 square feet), the entire outside of the building must be within a 30" hose pull distance from an improved surface.

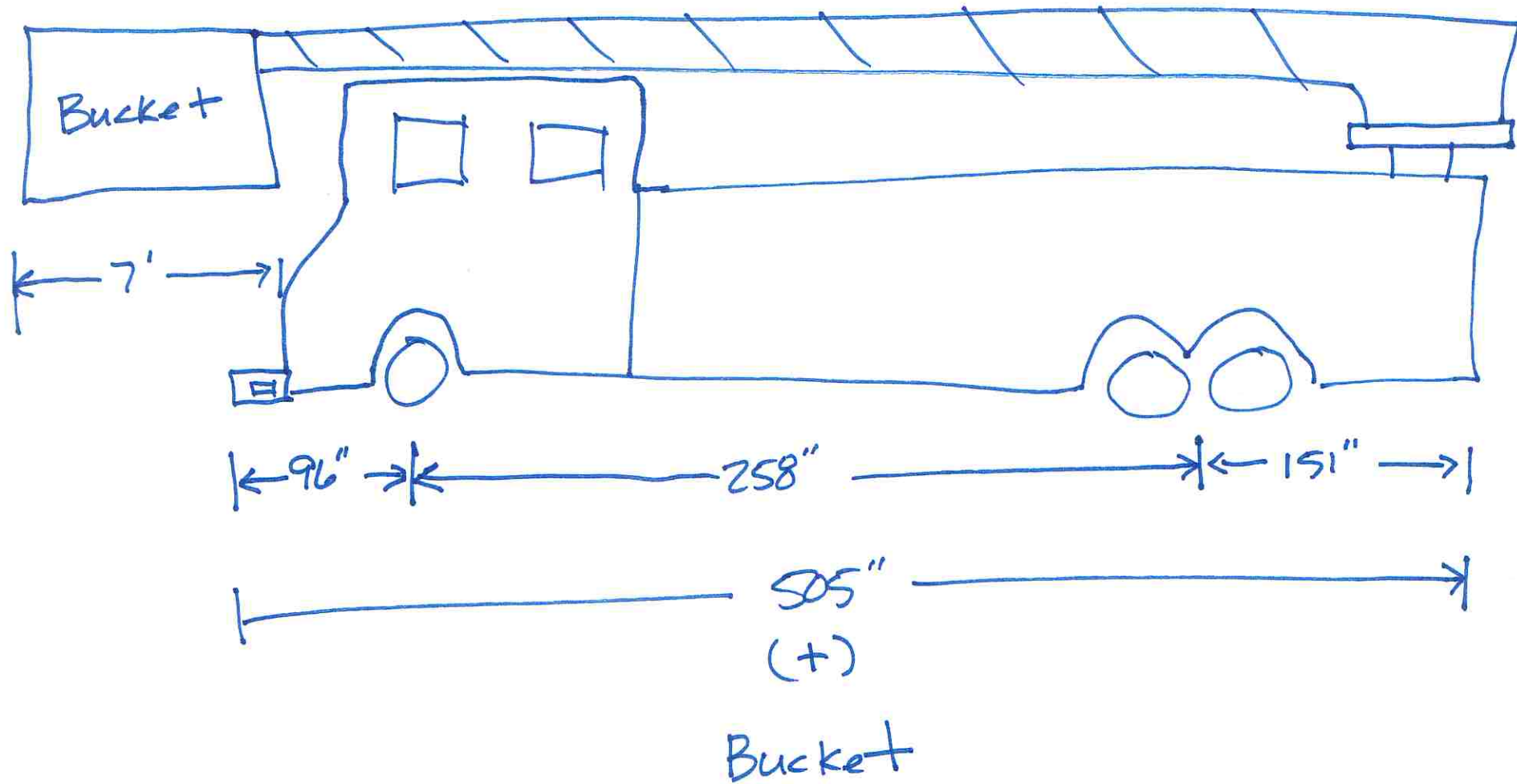
A-11



Truck body ground clearance is 14"

E-11





Rogers FIRE
AERIAL 11 TRUCK

Down Riggers extend
out approx. 5' on
each side.

From: [Dwight Klingbeil](#)
To: [Natalie Davis](#)
Subject: Fw: [External] Fwd: Red Barn Pet Retreat Distribution
Date: Wednesday, May 10, 2023 12:53:16 PM
Attachments: [image001.png](#)
[Outlook-dsax5vsi.png](#)

Dwight Klingbeil
Planning Technician
Direct: 763-338-9290



From: Ashley Morello <Ashley.Morello@hennepin.us>
Sent: Wednesday, May 10, 2023 12:17 PM
To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Subject: RE: [External] Fwd: Red Barn Pet Retreat Distribution

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Dwight,

Appreciate you sharing this plan. County staff had the opportunity to review and have the following comments:

- We support the access directed onto Stieg Road as shown in the plan. We appreciate the distance between the access and the Stieg/CR 101 intersection. We also appreciate the plans including turn lanes.
- Looking at the narrative, it says that the driveway location was selected to line up with the entrance for a future development across the street (SW of Stieg/CR 101). Can you share any plans related to this site? County staff was unfamiliar with any proposal at this site.
- Please coordinate with the City of Maple Grove on this project. There is a proposed development on the Maple Grove side of 101 (approx. 75 single family homes and 45 multi-family homes). There are also plans to realign 101st Ave N on the Maple Grove side to align with Stieg Rd. With this realignment creating a 4-legged intersection, there may be future considerations for a signal at CR 101 and Stieg/101st Ave. I can provide you with a contact for Maple Grove staff if needed.
- We request 10' in transportation related easement on CR 101 to accommodate future trail plans
- Not our purview, but staff noted that there may be opportunity for sidewalk connections on the north side of Stieg approaching Elm Ln

Please let me know if you have any questions. As this is a preliminary plat, we intend to follow up with a more formal comment letter.

Ashley (Hartle) Morello

Transportation Planning

Office: 612-596-0359

ashley.morello@hennepin.us | hennepin.us

From: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Sent: Wednesday, May 3, 2023 10:39 AM
To: Ashley Morello <Ashley.Morello@hennepin.us>
Subject: [External] Fwd: Red Barn Pet Retreat Distribution

CAUTION: This email was sent from outside of Hennepin County. Unless you recognize the sender and know the content, do not click links or open attachments.

Hello Ashley,

Attached is a link for the preliminary plat for Red Barn Pet Retreat at the northwest corner of Stieg Road and County Road 101.

 [23-008 Red Barn Pet Retreat](#)

Any comments/feedback would be appreciated.

Thanks,

Dwight Klingbeil

From: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>
Sent: Wednesday, April 19, 2023 8:45 AM
To: Kevin Mattson <kmattson@corcoranmn.gov>; Hegland, Steven <steven.hegland@stantec.com>; Kent C. Torve <ktorve@wenck.com>; Matt Gottschalk <mgottschalk@corcoranmn.gov>; Ryan Burns <rburns@corcoranmn.gov>
Cc: Natalie Davis <ndavis@corcoranmn.gov>; Kendra Lindahl Forwarding <klindahl@landform.net>
Subject: Red Barn Pet Retreat Distribution

Hi all,

Attached is a link for the application materials for Daniel Benjamin's Red Barn Pet Retreat. We would appreciate all comments to be returned by May 22nd.

 [23-008 Red Barn Pet Retreat](#)

Dwight Klingbeil

Planning Technician

Direct: 763-338-9290



Disclaimer: If you are not the intended recipient of this message, please immediately notify the sender of the transmission error and then promptly permanently delete this message from your computer system.

From: [Brad Scheib](#)
To: [Natalie Davis](#)
Subject: FW: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat
Date: Tuesday, May 23, 2023 8:09:24 AM
Attachments: [image001.jpg](#)
[RBPR CPA Notice Packet.pdf](#)

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Hi Natalie

On behalf of the city of Greenfield, thanks for sharing the CPA notice referenced above. The City of Greenfield has no comment on this application. Good luck with the project and have a great day!

Brad Scheib, AICP
Consulting City Planner, City of Greenfield
HKGi
P 612.252.7122

From: Margaret Webb <mwebb@ci.greenfield.mn.us>
Sent: Monday, May 15, 2023 3:10 PM
To: Brad Scheib <Brad@hkgi.com>
Subject: FW: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat

I will let you take care of this.

[Margaret Webb](#)
[City Administrator](#)
[City of Greenfield](#)
[M-TH 7:00am-5:30pm](#)
[763-477-6464](#)

From: Natalie Davis <ndavis@corcoranmn.gov>
Sent: Monday, May 15, 2023 2:56 PM
Subject: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat

Good afternoon colleagues,

The City of Corcoran received a request from Daniel Benjamin of Red Barn Pet Retreat to amend the City's 2040 Comprehensive Plan. If granted, this would change the future land use for unaddressed property located at the northwest corner of Stieg Rd and County Road 101 (PID 01-119-23-44-0045) from Light Industrial to Commercial. This would modify Map 2-1 in the Land Use Chapter of the 2040 Comprehensive Plan. Attached is a PDF that contains an exhibit showing the location of the property on the affected map as well as additional project information that may be helpful in your review.

The Metropolitan Council requires that we notify surrounding jurisdictions and affected school

districts of such proposals. Your organization has up to 60 days (by July 14, 2023) to review the proposed amendment and submit any written comment; however, we appreciate your response as soon as possible. This item is expected to go to a public hearing at the Planning Commission on June 1, 2023 and to City Council on June 22, 2023. Please notify me via e-mail if you would like additional information, intend to submit written comments, and/or if you will have no comments.

Thank you,

Natalie Davis McKeown

Planner

City of Corcoran

8200 County Road 116, Corcoran, MN 55340

www.corcoranmn.gov

ndavis@corcoranmn.gov

Direct: 763-338-9288 Work Cell: 763-258-4272

City Hall: 763-420-2288

LOGO Corcoran Email2



City of Corcoran - A Hidden Gem Waiting To Be Discovered

From: [Cindy Nash](#)
To: [Natalie Davis](#)
Cc: [Jennifer Nash](#)
Subject: RE: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat
Date: Tuesday, May 16, 2023 9:31:30 PM
Attachments: [image001.jpg](#)

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Hi Natalie –

The City of Hanover has no comments, and waives further review of this Comp Plan Amendment. Thanks for providing the opportunity to comment.

Cindy Nash, AICP, EDFP

Collaborative Planning, LLC

Direct (763) 473-0569

Cell (612) 702-3845

PO Box 251, Medina, MN 55340

From: Natalie Davis <ndavis@corcoranmn.gov>
Sent: Monday, May 15, 2023 2:56 PM
Subject: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat

Good afternoon colleagues,

The City of Corcoran received a request from Daniel Benjamin of Red Barn Pet Retreat to amend the City's 2040 Comprehensive Plan. If granted, this would change the future land use for unaddressed property located at the northwest corner of Stieg Rd and County Road 101 (PID 01-119-23-44-0045) from Light Industrial to Commercial. This would modify Map 2-1 in the Land Use Chapter of the 2040 Comprehensive Plan. Attached is a PDF that contains an exhibit showing the location of the property on the affected map as well as additional project information that may be helpful in your review.

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Thank you,

Natalie Davis McKeown

Planner

City of Corcoran

8200 County Road 116, Corcoran, MN 55340

www.corcoranmn.gov

ndavis@corcoranmn.gov

Direct: 763-338-9288 Work Cell: 763-258-4272

City Hall: 763-420-2288

LOGO Corcoran Email2



City of Corcoran - A Hidden Gem Waiting To Be Discovered

From: [Dusty Finke](#)
To: [Natalie Davis](#)
Subject: RE: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat
Date: Monday, May 15, 2023 3:50:52 PM
Attachments: [image001.jpg](#)

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Hi Natalie,

Medina will have no comments on this amendment.

Thank you,

Dusty Finke | Planning Director | City of Medina

Direct: (763) 473-8846 • dusty.finke@medinamn.gov
2052 County Road 24 • Medina, MN • 55340

From: Natalie Davis <ndavis@corcoranmn.gov>
Sent: Monday, May 15, 2023 2:56 PM
Subject: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat

Good afternoon colleagues,

The City of Corcoran received a request from Daniel Benjamin of Red Barn Pet Retreat to amend the City's 2040 Comprehensive Plan. If granted, this would change the future land use for unaddressed property located at the northwest corner of Stieg Rd and County Road 101 (PID 01-119-23-44-0045) from Light Industrial to Commercial. This would modify Map 2-1 in the Land Use Chapter of the 2040 Comprehensive Plan. Attached is a PDF that contains an exhibit showing the location of the property on the affected map as well as additional project information that may be helpful in your review.

The Metropolitan Council requires that we notify surrounding jurisdictions and affected school districts of such proposals. Your organization has up to 60 days (by July 14, 2023) to review the proposed amendment and submit any written comment; however, we appreciate your response as soon as possible. This item is expected to go to a public hearing at the Planning Commission on June 1, 2023 and to City Council on June 22, 2023. Please notify me via e-mail if you would like additional information, intend to submit written comments, and/or if you will have no comments.

Thank you,

Natalie Davis McKeown
Planner

City of Corcoran

8200 County Road 116, Corcoran, MN 55340
www.corcoranmn.gov

ndavis@corcoranmn.gov

Direct: 763-338-9288 Work Cell: 763-258-4272

City Hall: 763-420-2288

LOGO Corcoran Email2



City of Corcoran - A Hidden Gem Waiting To Be Discovered

From: [Chloe McGuire](#)
To: [Natalie Davis](#)
Cc: [Grant Fernelius](#)
Subject: FW: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat
Date: Tuesday, May 16, 2023 9:08:35 AM
Attachments: [image001.jpg](#)

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Hi Natalie –

We do not have any comments or concerns with the proposed use.

Thanks,
Chloe

Chloe McGuire, AICP (she/her)
Planning and Development Manager
City of Plymouth

Phone: 763.509.5452

From: Natalie Davis <ndavis@corcoranmn.gov>
Sent: Monday, May 15, 2023 2:56 PM
Subject: City of Corcoran Comprehensive Plan Amendment Notification - Red Barn Pet Retreat

Some people who received this message don't often get email from ndavis@corcoranmn.gov. [Learn why this is important](#)

Good afternoon colleagues,

The City of Corcoran received a request from Daniel Benjamin of Red Barn Pet Retreat to amend the City's 2040 Comprehensive Plan. If granted, this would change the future land use for unaddressed property located at the northwest corner of Stieg Rd and County Road 101 (PID 01-119-23-44-0045) from Light Industrial to Commercial. This would modify Map 2-1 in the Land Use Chapter of the 2040 Comprehensive Plan. Attached is a PDF that contains an exhibit showing the location of the property on the affected map as well as additional project information that may be helpful in your review.

The Metropolitan Council requires that we notify surrounding jurisdictions and affected school districts of such proposals. Your organization has up to 60 days (by July 14, 2023) to review the proposed amendment and submit any written comment; however, we appreciate your response as soon as possible. This item is expected to go to a public hearing at the Planning Commission on June 1, 2023 and to City Council on June 22, 2023. Please notify me via e-mail if you would like additional information, intend to submit written comments, and/or if you will have no comments.

Thank you,

Natalie Davis McKeown

Planner

City of Corcoran

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LOGO Corcoran Email2



City of Corcoran - A Hidden Gem Waiting To Be Discovered

STAFF REPORT

Agenda Item 6b.

Planning Commission Meeting: June 1, 2023	Prepared By: Natalie Davis McKeown
Topic: Zoning Ordinance Amendment to Section 1030.010 (City File No. 23-011)	Action Required: Recommendation

60-Day Review Deadline: N/A

1. Request:

On May 11, 2023, the City Council authorized staff to prepare a Zoning Ordinance Amendment to Section 1030.010 of the Zoning Ordinance regarding administrative approvals of expansions of nonconforming buildings or structures.

2. Background:

The City updated the nonconformities section in 2021 to include the following definition of “Expansion, Enlargement, or Intensification” (highlights added for emphasis):

Any increase in a dimension, size, area, volume, or height; any increase in the area of use; any placement of a structure or part thereof where none existed before; any addition of a site feature such as a deck, patio, fence, driveway, parking area, or swimming pool; any improvement that would allow the land to be more intensely developed; any move of operations to a new location on the property; any increase in intensity of use based on a review of the original nature, function, or purpose of the nonconforming use, such as the hours of operation, traffic, parking, noise, exterior storage, signs, exterior lighting, types of operations, types of goods or services offered, odors, area of operation, number of employees, and other factors deemed relevant by the City.

Section 1030.010, Subd. 3(D) allows for the following administrative approval processes for the expansion of nonconforming structures (highlights added for emphasis):

1. Administrative Approvals

The Zoning Administrator may approve the following expansions of legal nonconforming buildings and structures after a determination that the building expansion will have no external negative impacts upon adjacent properties or public rights-of-way, and subject to the provision of Corcoran City Code Section 1070.060, Subd 3.:

- a. *Expansion of buildings found to be nonconforming only by reason of height, yard setback, or lot coverage area may be permitted provided the*

structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance.

Therefore, a request to add a deck on to a home that does not comply with a setback cannot be approved when the proposed expansion also does not comply with the setback, even if the proposed deck is no closer to or further back from the property line than the existing structure. When the structure does not comply with a front setback, this can be particularly upsetting as many residents reasonably desire a front porch.

Prior to the added definition of “Expansion, Enlargement, or Intensification,” the interpretation of the administrative approval process allowed nonconforming structures to expand as long as they did not get any closer to the property line. For example, when a house is setback only 35’, then it was allowable for a front porch to be added as long as the setback was no less than 35’. However, with the newly added definition, the prior interpretation does not seem to apply since “*any placement of a structure or part thereof where none existed before*” is considered an expansion, and the expansion must comply with the performance standards of the Zoning Ordinance.

A variance request was approved by the City Council in 2022 for a deck improvement on a nonconforming structure that did not comply with setbacks. The proposed deck was no closer than the existing encroachment into the setback (and arguable was an improvement), but it added a deck that could not comply with the required setbacks on portions of the house that did not previously have a deck. Because the proposed expansion could not comply with the prevailing standards in the Zoning Ordinance, the request could not be administratively approved. The Planning Commission identified increasing administrative approval capacity in this regard as a 2023 priority.

Staff are now starting to see additional requests of a similar nature. Since the Planning Commission identified this as a 2023 priority, and the City Council appears open to allowing this type of expansion for nonconforming homes, staff proposed amending the language in the Zoning Ordinance rather than proceeding with additional variances.

3. Analysis:

To allow these types of requests to be approved administratively moving forward, staff recommends amending Section 1030.010, Subd. 3(D). At the May 11th meeting, staff prepared verbiage as an initial example of how to amend the code to address the issue by removing the ~~stricken~~ materials and adding the underlined materials as follows:

- a. Expansion of buildings found to be nonconforming only by reason of height, ~~yard setback~~, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance.

- b. Expansion of buildings found to be nonconforming only by reason of yard setback may be permitted provided the proposed expansion is no closer to the property line than the existing structure.

Since the May 11th meeting, staff continued to consider the language as well as potential requests that may come in from residents with nonconforming homes. Upon further review, staff also recommends providing clarity for nonconforming buildings due to height so that an expansion with a similar roofline as the existing structure can be administratively approved as well. The updated language proposed by staff is as follows:

- a. Expansion of buildings found to be nonconforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance, unless otherwise provided herein.
 - i. The expansion of buildings found to be nonconforming only by reason of yard setback may be permitted provided the proposed expansion is no closer to the affected property line than the existing building.
 - ii. The expansion of buildings found to be nonconforming only by reason of height may be permitted provided the proposed expansion does not exceed the height of the existing building.

3. Recommendation

Recommend approval of the draft Ordinance clarifying and expanding administrative approvals for the expansion of nonconforming buildings or structures.

Attachments:

1. Draft Ordinance 2023-x

ORDINANCE NO. 2023-

**Motion By:
Seconded
By:**

AN ORDINANCE AMENDING THE TEXT OF SECTION 1030.010 OF THE CORCORAN CITY CODE RELATED TO ADMINISTRATIVE APPROVALS FOR EXPANSIONS OF NONCONFORMING BUILDINGS OR STRUCTURES (CITY FILE 23-011)

THE CITY OF CORCORAN ORDAINS:

SECTION 1. Amendment of the City Code. The text of Section 1030.010, Subd. 3 (D) of the Corcoran City Code is hereby amended by removing the ~~stricken~~ material and adding the underlined material as follows:

D. Expansion of Legal Nonconforming Buildings or Structures

1. Administrative Approvals

The Zoning Administrator may approve the following expansions of legal nonconforming buildings and structures after a determination that the building expansion will have no external negative impacts upon adjacent properties or public rights-of-way, and subject to the provision of Corcoran City Code Section 1070.060, Subd. 3.:

- a. Expansion of buildings found to be non-conforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance, unless otherwise provided herein.
 - i. The expansion of buildings found to be nonconforming only by reason of yard setback may be permitted provided the proposed expansion is no closer to the affected property line than the existing building.
 - ii. The expansion of buildings found to be nonconforming only by reason of height may be permitted provided the proposed expansion does not exceed the height of the existing building.

SECTION 2. Effective Date

This Ordinance shall be in full force and effect upon its adoption.

ADOPTED by the City Council on the 22nd day June 2023.

ORDINANCE NO. 2023-

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

Tom McKee - Mayor

ATTEST:

Michelle Friedrich – City Clerk

City Seal



CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763-420-2288

email: general@corcoranmn.gov / website: www.corcoranmn.gov

MEMO

Meeting Date: June 1, 2023

To: Planning Commission

From: Dwight Klingbeil, Planning Technician

Re: Active Corcoran Planning Applications

Projects/comments in blue italics are new.

The following is a status summary of active planning projects:

1. **Transition/Buffer Zones ZOA (City File 22-034).** After multiple discussions on this topic in 2022, the City Council reviewed a draft of a Buffer Yard Ordinance at the January 26th work session. Remaining questions and discussion regarding enforcement was discussed further at the February 23rd regular Council meeting. The Planning Commission held a public hearing on April 6th. The Commission recommended approval of the draft ordinance with the addition of native planting options and a reduced penalty for violations. *The final draft of the amendments were reviewed and adopted by Council at the April 27th meeting.*
2. **PUD Standards Zoning Ordinance Amendment (City File No. 22-045).** After various discussions on planned unit development standards in 2022, staff and City Council continued to discuss verbiage changes in the working draft of the new PUD district standards at the January 26th City Council Work Session as well as a joint Work Session with the Planning Commission and Parks and Trails Commission on February 9th. The Council asked the Planning Commission to provide further feedback regarding the proposed point categories. Individual Planning Commissioner feedback was submitted in the City Council packet for the March 23rd meeting. At the March meeting, the Council directed staff to proceed with the public hearing with the Planning Commission. *The Planning Commission held a public hearing on May 4th and recommended approval of Option 2 ("PUD Public Benefits Policy") of the drafted amendments. This item will be reviewed at the May 25th City Council regular meeting.*
3. **Rental Ordinance (City File No. 22-046).** Staff and City Council continue to work through the draft ordinance and planning for administrative implementation. Since the Rental Ordinance will not be contained within the Zoning or Subdivision Ordinances of City Code, a public hearing is not required. This item was discussed at the April 13th work session. *Additional revisions will be reviewed as a discussion item at the May 25th City Council regular meeting.*

4. **Keefe Minor Subdivision (PID 33-119-23-12-0007) (City File No. 22-063)**. A complete application for a two-lot minor subdivision at 6801 Willow Drive was submitted. Minor subdivisions do not require review by the Planning Commission. *The subdivision was approved by City Council at the April 27, 2023, regular meeting.*
5. **Hope Community Sketch Plat (PID 11-119-23-14-0003) (City File No. 22-074)**. Brian Lothar submitted a concept plan application for a proposed residential and mixed-use development on the properties surrounding Hope Community Church. The concept includes medical offices, retail space, market rate apartments, townhomes, senior villas, and some assisted living units. The Council authorized the EAW at the January 12, 2023, regular meeting. *The Council approved the distribution of the draft EAW at the May 25 regular Meeting. The comment period for the EAW will open on May 30th and will close on July 6th.*
6. **“Kariniemi/Wicht Sketch Plat” (PID 18-119-23-11-0002; 18-119-23-42-0001) (City File No. 23-004)**. Nathan Kariniemi of Willow1 LLC originally submitted a sketch plat application for an open space & preservation plat near Kariniemi Meadows on County Road 19 and County Road 10. The plan included three commercial lots wrapping around the existing Public Works building in addition to 8 small residential lots off Larsen Road with a 40-acre outlot set aside as open space. This item was discussed at the February 23rd meeting, where the Council provided feedback to the applicant. Since the February meeting, the applicant submitted an updated plan that no longer includes the OS&P concept. The new concept plan shows 6 commercial lots wrapping around Public Works and two Rural Residential lots south of Rush Creek. *The updated concept was reviewed by Council at the April 27th meeting and is not currently scheduled for any upcoming meetings.*
7. **“Cook Lake Highlands PUD Amendment” (PID 25-119-23-14-0002) (City File No. 23-005)** Trek Development submitted a PUD Amendment application for Cook Lake Highlands. The request includes more impervious surface area at New Horizons Academy, an increase to the number of units in the memory care facility consistent with preliminary approvals, and amending the approved 100-unit co-op to a 145-unit age-restricted apartment. This request was reviewed by Council at the April 27th and May 11th regular meetings. *The City Council approved the amendment as requested at the May 11th meeting.*
8. **“Kwik Trip CUP, Lot Line Adjustment, and Site Plan” (PID 12-119-23-14-0006; 12-119-23-14-0004) (City File No. 23-006)**. Kwik Trip Inc. submitted a Site Plan, Lot Line Adjustment and CUP application for the two parcels north of Mama G’s. The application was determined to be incomplete for City review and is not currently scheduled for review by the City Council. A feasibility study is currently underway to evaluate the infrastructure needs of the project.
9. **“Rush Creek Reserve 3 Final Plat and Vacation” (City File No. 23-007)** M/I Homes applied for the 3rd addition of their “Rush Creek Reserve” development. This phase includes 18 villa homes in a cul-de-sac on the Northwest corner of the site. This application required the vacation of a blanket Drainage and Utility Easement that was created with the 2nd addition. *The Public Hearing was held at the May 11, 2023 Regular Meeting and was followed by Council approval of the Final Plat and PUD.*
10. **“Red Barn Pet Retreat” (PID 01-119-23-44-0045) (City File No. 23-008)** Daniel Benjamin submitted an application for the expansion of his business, “Red Barn Pet Retreat” to a site on the Northwest corner of Stieg Road and County Road 101. This application includes a Comprehensive Plan Amendment, Rezoning, Preliminary Plat, Conditional Use Permit,

Variance, and a Site Plan. The concept for this project was discussed by the Council at the December 22nd meeting. *The application was deemed complete for review. The public hearing for this item is scheduled for the June 1st, 2023 Planning Commission meeting and will come to the Council at the June 22nd, 2023 Regular Meeting.*

11. **Heidecker Garage (PID 22-119-23-42-0009) (City File No. 23-009)** Tyler Heidecker applied for a Conditional Use Permit and an Interim Use Permit to construct a detached garage of 1750 square feet on his property at 7985 Eagle Ridge Road. The IUP will allow for storage of business equipment within the structure. *Staff determined the application to be complete. It is scheduled for a public hearing at the July 6, 2023, Planning Commission meeting and City Council review on July 27, 2023.*

12. **Expansion of Nonconforming Residential Structures Zoning Ordinance Amendment (Citywide) (City File No. 23-011).** *Council directed to staff to move forward with a minor zoning ordinance amendment which would allow some expansions of legal nonconforming residential structures to be approved administratively. The public hearing for this item is scheduled for June 1, 2023 at the Planning Commission and will be reviewed by Council on June 22, 2023.*



CITY OF CORCORAN

8200 County Road 116 • Corcoran, MN 55340
763-420-2288 • www.corcoranmn.gov

MEMO

Meeting Date: June 1, 2023
To: Planning Commission
From: Jessica Beise, City Administrator
Re: City Council Report

The Planning Commission last met on May 4, 2023. The following is a recap of some of the items discussed at City Council meetings since that time. A full recap can be found by reviewing the approved City Council minutes on the website.

May 11, 2023, Council Meeting

- Cook Lake Highland PUD Amendment
 - Approved the PUD Amendment.
- Rush Creek Reserve 3rd Addition Final Plat and Final PUD
 - Held the public hearing and approved the plat and PUD.
- Zoning Ordinance Amendment – Non-conforming Expansion Discussion
 - Directed staff to move forward with a minor zoning amendment.
- Logo Approach and Staff Process for Logo
 - Selected 99Designs to assist with creating a new logo.
- Financial Guarantee Policy
 - Adopted a financial guarantee policy in addition to the City's ordinance requirements.
- Fund Transfers
 - Approved fund transfers as presented.
- Closed Sessions
 - Held closed sessions pursuant to state statute.
- Implementation of Policy Discussion
 - Directed staff to reduce letters of credit as recommended by the Public Works Director and directed staff to send a letter to Lennar to complete work within the development within 60 days.

May 25, 2023, Council Meeting

- PUD Ordinance Amendment
 - Approved the PUD Amendment with a minor amendment to recreational spaces related to pervious services.
- Scherber Roll Off CUP and Site Plan Extension
 - Approved a six-month extension of the CUP and Site Plan.
- Draft Rental Ordinance and Property Maintenance Code
 - Discussed the Rental Ordinance and Property Maintenance and made final recommendations; Directed staff to bring forward the ordinance for adoption.
- Records Scanning Project Update and Granicus Project
 - Heard an update on the scanning project and discussed implanting Granicus software; Tabled until June 8th the Granicus project as additional information on a ten year contract.
- ARPA Funding
 - Provided feedback on ARPA funding and directed staff to investigate funding options.
- Audit Review Assistance
 - Approved audit review assistance and authorized staff to obtain assistance.
- Hackamore Road Improvements – Joint Powers Agreement
 - Approved three agreements related to the Hackamore Road Improvement Project and a Joint Powers Agreement contingent upon all agreements being executed.
- Hackamore Road Improvements – Bid Award
 - Awarded the bid contingent upon the Hackamore Road Improvement Agreements being executed.