



CITY OF CORCORAN
Corcoran Planning Commission Agenda
September 3, 2020 - 7:00 pm

Meeting Held Via Telephone/Other Electronic Means

Call-in Instructions:

Call: +1 312 626 6799 US

Enter Meeting ID: 857 9261 8764

Press *9 to speak during the Public Comment Sections.

Video Instructions:

Click this link: <https://us02web.zoom.us/j/85792618764>

OR visit www.zoom.us and enter Meeting ID: 857 9261 8764

Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment Sections. Participant video feeds will be muted.

For more information on options to provide public comment visit:

www.corcoranmn.gov

1. Call to Order / Roll Call

2. Pledge of Allegiance

3. Agenda Approval

4. Open Forum

5. Minutes

- a. Minutes – August 6, 2020*

6. New Business - Public Comment Opportunity

- a. Request for Site Plan, Conditional Use Permit and Variance for Nelson International on the property located at 10409 County Road No. 101 (PID 01-119-23-41-0001) (city file no. 20-022) (tabled from August 6th meeting)
 - i. Staff Report
 - ii. Commission Discussion & Recommendation
- b. **Public Hearing.** Conditional Use Permit to allow a new Accessory Building exceeding the maximum size allowed at 9226 Cain Road (PID 14-119-23-22-0004) (City File No. 20-026)
 - iii. Staff Report
 - iv. Open Public Hearing
 - v. Close Hearing
 - vi. Commission Discussion & Recommendation

7. Reports/Information

- a. Planning Project Update*
- b. City Council Report* – Council Liaison Schultz
- c. Other Business

8. Commissioner Liaison Calendar

City Council Meetings

9/10/20	9/24/20	10/08/20	10/22/20	11/5/20	11/23/20
Shoulak	Vehrenkamp	Wu	Shoulak	Dickman	Jacobs

9. Adjournment

**Includes Materials - Materials relating to these agenda items can be found in the House Agenda Packet by Door.*



CITY OF CORCORAN
Corcoran Planning Commission Minutes
August 6, 2020 - 7:00 pm

The Corcoran Planning Commission met on August 6, 2020 at City Hall in Corcoran, Minnesota.

Present via telephonic or other electronic means were: Chair Jacobs, Commissioner Wu, Commissioner Dickman, Commissioner Shoulak, and Commissioner Vehrenkamp.

Also present via telephonic or other electronic means were: City Planner Lindahl and Council Liaison Schultz. Code Compliance Official Pritchard was present at City Hall.

1. Call to Order / Roll Call

Chair Jacobs called the meeting to order at 7:01pm.

2. Pledge of Allegiance

3. Agenda Approval

Motion made by Vehrenkamp seconded by Wu to approve the agenda as presented.

Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)

4. Open Forum – None

5. Minutes

a. Minutes – July 2, 2020

Motion made by Shoulak seconded by Vehrenkamp to approve the minutes as presented.

Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)

6. New Business -

- a. **Public Hearing.** Request for Site Plan, Conditional Use Permit and Variance for Nelson International on the property located at 10409 County Road No. 101 (PID 01-119-23-41-0001) (city file no. 20-022)
- i. Staff Report – Planner Lindahl presented her staff report.
 - ii. Open Public Hearing – Chair Jacobs opened the public hearing. Dennis and Jan Stieg submitted a public comment letter prior to the meeting which was included in the agenda packet. Ryan Nelson, applicant, stated he was available for questions and shared his concerns with the 32' driveway width maximum as well as building material pros and cons as well as costs for tip-up construction (additional \$600,000) and EIFS (additional \$200,000) vs. the proposed materials.
 - iii. Close Hearing
Motion made by Wu seconded by Vehrenkamp to close the public hearing.
Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)
 - iv. Commission Discussion & Recommendation – The Commission discussed the conditions and that significant changes would be required and there were a number of uncertainties. The Commission discussed traffic, lighting and screening, flammable/fuel storage, landscaping, the private well, noise and hours of operation. The applicant stated: the newer trucks are much quieter, and mufflers are used on air tools. He said minimal fuel is not stored on site and new and used oil is in approved storage tanks. Hours of operation are 7am-midnight, Monday-Friday and 7am-5pm on Saturday, closed Sundays. The applicant describer traffic flow and headlight shine as well as the parking lot, service, and display layout. Staff clarified the private road vs. public street and ROW as well as the required turn lane project. At the request of the Commission, staff also clarified the 60-120-day review requirement and process if the application was tabled. The Commission discussed conditions and if the application was complete for review.

Motion made by Dickman seconded by Wu to table the application due to a lack of information until September 3, 2020.

Voting Aye: Wu, Dickman, Shoulak, and Vehrenkamp. Voting Nay: Jacobs (Motion carried 4:1)

Chair Jacobs called a recess at 8:50pm. The meeting reconvened at 8:55pm.

- b. **Public Hearing.** Request for Conditional Use Permit to exceed the Maximum square footage for accessory buildings on property at 21925 Oakdale Drive (PID 04-119-23-34-0006) (city file no. 20-025)
 - i. Staff Report – Planner Lindahl presented her staff report.
 - ii. Open Public Hearing – Chair Jacobs opened the public hearing. Sergei Krasnopivtsev, 21985 Oakdale Dr., stated he is building a home on the adjacent parcel and had concerns regarding fencing for horses.
 - iii. Close Hearing
Motion made by Shoulak seconded by Dickman to close the public hearing. Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)
 - iv. Commission Discussion & Recommendation – Staff clarified that fencing is required per the City’s Animal Ordinance. Greg Ebert, Contractor (Ebert Construction), said there will be a pasture and fencing plan, the proposed shed will be used for an exercise pen and storage. He stated that a stable already exists on site and that all horses would be privately owned. The Commission discussed that there is no limit to the number of buildings a property can have and that with 10 acres or more there is not specific limit to square footage. The Commission discussed the building wall and overall height. The contractor said the extra height is required for horse jumping, a 14-foot door for equipment/vehicles and storage, and for insulation and lighting. The Commission also discussed materials and screening/landscaping.

Motion made by Vehrenkamp seconded by Jacobs to recommend approval of the resolution as presented.

Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)

7. Reports/Information

- a. Planning Project Update – Information only.
- b. City Council Report – Council Liaison Schultz updated the Commission on Council activities.
- c. Other Business – The Commission discussed tree preservation ordinance, conservation easements and policies.

8. Commissioner Liaison Calendar

City Council Meetings

8/13/20	8/27/20	9/10/20	9/24/20	10/08/20	10/22/20
Dickman	Jacobs	Shoulak	Vehrenkamp	Wu	Shoulak

9. Adjournment

Motion made by Wu seconded by Vehrenkamp to adjourn.

Voting Aye: Jacobs, Wu, Dickman, Shoulak, and Vehrenkamp. (Motion carried 5:0)

Meeting adjourned at 9:56pm.

*Submitted by Mike Pritchard
Code Compliance Official*

DRAFT



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TO: Corcoran Planning Commission

FROM: T.J. Hofer through Kendra Lindahl, Landform

DATE: August 26, 2020 for the September 3, 2020 Planning Commission Meeting

RE: Nelson International Conditional Use Permit, Site Plan and Variance for the property at 10409 County Road 101 (PID 01-119-23-41-0001) (city file no. 20-022)

120-DAY REVIEW DEADLINE: November 10, 2020

1. Application Request

The applicant has requested approval of a site plan, a conditional use permit and two variances to allow a 34,088-sq. ft. industrial building.

A conditional use permit is required as the proposed use, motor vehicle, boat or equipment repair and sales, is a conditional use in the Light Industrial District.

The applicant has also requested a variance for the project. The variance is to allow for a 50-ft. curb cut where a 32-ft. curb cut is allowed.

2. Planning Commission Review on August 3, 2020

The Planning Commission took up the application at their August 3, 2020, meeting but tabled it after discussion of the outstanding issues. In particular, the Commission was concerned about the building architecture, noise and the screening or buffering to adjacent residential.

The applicant has made significant changes to plans to address most items in the staff report and issues raised at the Planning Commission. They have also provided a letter from the City of Willmar noting that Nelson has operated in Willmar since 1962 adjacent to residential property and the City has no record of noise complaints. The staff report and resolution have been updated to reflect these changes.

3. Context

Zoning and Land Use

The site is guided Light Industrial and zoned I-1 (Light Industrial). The lot was created as part of Bellwether 2nd Addition. The site has several existing structures on the east portion of the site near County Road 101, which would be removed as part of the development.



Surrounding Properties

The property to the north is guided Industrial and is zoned I-1 (Light Industrial). The properties to the west and southwest are guided Low Density Residential and are currently zoned PUD (Planned Unit Development) as part of the Bellwether development. The property to the southeast is an outlot of the Bellwether development and is guided Light Industrial and is zoned I-1 (Light Industrial). The property to the east across County Road 101/Brockton Lane is in the City of Maple Grove.

Natural Characteristics of the Site

The property is largely wetlands with the majority of the western part of the lot indicated as “Shallow Open Water” and “Seasonally Flooded Basin or Flat” in the 2040 Comprehensive Plan. The southeast section of the parcel is also indicated as a “Seasonally Flooded Basin or Flat”. The property has trees located along the edge of the large wetland on the west side of the property.

The western part of the property has also been identified as a Cattail Marsh and Maple-basswood Forest on the 2040 Ecologically Significant Natural Areas.

The west side of the property has been identified on the Parks and Trails Plan as a Greenway Corridor.

4. Analysis of Request

A. Level of City Discretion in Decision-Making

The City's discretion in approving a site plan amendment is limited to whether or not the plan meets the standards outlined in the Zoning Ordinance. If it meets these standards, the City must approve the site plan amendment.

The City's discretion in approving or denying a conditional use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the conditional use permit.

The City's discretion in approving or denying a variance is limited to whether or not the proposed project meets the standards in the Zoning Ordinance for a variance. The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that the variance standards have been met.

Site Plan

Design Guidelines/Architecture

The property is located in the Northeast District of the City and subject to the design standards in Appendix A and the building standards in Section 1060.060 of the Zoning Ordinance. The general design guidelines state:



- Buildings should be designed with quality materials on all sides; all facades shall be articulated with a variety of materials, glazing or other details to add visual interest, although the front façade may have a unique design or more significant glazing; long blank exterior surfaces shall be avoided
- Equipment, mechanical systems, transformers, etc. must be screened from view in a way that is integral to the architecture of the building. Screening should be accomplished with materials similar to or compatible with materials used on the main structure; metal fencing or mechanical vent screens alone are not sufficient.
- Roof lines and cornice details shall be completed in a 3-dimensional manner so that the back of roof features or similar unfinished areas are not visible.

Architectural elevations were submitted showing a mix of glass, EIFS material and TextureClad, an architectural metal panel that is finished to look like stucco. The building is a rectangle with no articulation provided by physical changes to the building; however, the change in building materials does provide visual interest. The building materials have been revised to be in compliance with Section 1060.050 C(1) and the building now has two colors. Staff believes the current design of the building meets the intent of the design guidelines.

The ordinance limits curtain wall panels of steel, fiberglass and aluminum (non-structural, non-load bearing) to 20% of any wall surface (excludes overhead doors). The textured wall material is a metal panel and is now less than 20% of any wall surface. The building materials now comply with ordinance standards.

The mechanical equipment will be screened as required by Section 1060.030 of the Zoning Ordinance. The applicant has revised their plans and now shows fencing around the outdoor equipment.

A trash enclosure has been added to the plans. The trash enclosure is screened with fencing and complies with the ordinance standards. The trash area is on the rear of the building and has parking on both the north and south side of the enclosure. Staff suggests that the applicant consider shifting the trash enclosure to the north to eliminate the parking stalls north of the enclosure. The two stalls could be moved to the other side of the enclosure to cluster the parking together.



Lot Analysis

Lot standards for the I-1 district are as follows:

	Minimum Standard	Complies
Minimum Principal Structure Setbacks		
Front, From Major Roadways*	100 ft.	Yes*
Front, From all other streets	50 ft.	Yes
Side	20 ft.	Yes
Rear	20 ft.	Yes
Adjacent to Residential	50 ft.	Yes
Maximum Principal Building Height	45 ft.	Yes
Maximum Impervious Surface Coverage	70%	Yes

**The 100-foot building and parking setback may be reduced as allowed by Section 1060.080, Subd. K and L.*

The proposed development would appear to meet all lot standards for the I-1 District.

Outside Storage and Sale of Vehicles

Outside Storage is requested for storage of vehicles for sale and vehicles on-site for repair. The use proposed by the applicant does not required any additional screening, but damaged vehicles, vehicle parts and accessory equipment must be stored inside the principal building. The applicant is aware of this standard and has noted in the narrative that this will be enforced.

Off-Street Loading

The applicant has indicated an off-street loading location located on the south end of the proposed building. The loading area proposed is more than 300 ft. away from a residential use, so it does not require an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas. The applicant has revised the plans to show fencing on the south side of the loading area. Staff finds that the fencing, in combination with the landscaping to the west, will provide adequate screening for the loading area.

Fencing

In addition to the fencing proposed to screen the trash and loading areas, the applicant is also proposing a privacy fence along the west property border that has been described in the narrative as a "10 foot high screen fence." Fences over seven feet require a building permit. Staff has included a condition that more information be provided about the fence including dimensions and material information for both the western screen fence and the fencing proposed to screen the mechanical equipment and loading area.



Signage

The ordinance limits signage to one 64-sq. ft. freestanding sign per property and wall signage up to 10% of the wall area of the elevation with the primary building entrance.

The applicant's plan shows two signs on the site, one freestanding sign and one wall sign. Signs may be illuminated according to the standards of Section 84.04 (General Provisions).

The freestanding sign is 24.48 sq. ft. in area where 64 sq. ft. is permitted and is 16 ft. high where 16 ft. is allowed. The freestanding sign has been shifted west to allow for future expansion of the right-of-way, but now appears to be located in a parking stall. Staff has included a condition that the sign be relocated out of the parking area in to the landscape area or the parking stall be made into a landscaped island.

The primary entrance of the building is located on the east side facing County Road 101 and is approximately 8,142.7 sq. ft. This allows up to 814 sq. ft. of wall signage. The wall sign is 236.7 sq. ft. and appears to comply with sign size requirements, but additional information about lighting and materials will be required with the sign permit.

Staff has a condition stating that all signage must comply with ordinance standards. All signs require a permit to be constructed and will be reviewed at the time of permit submittal.

Parking

Parking setback standards for the I-1 district are 100 ft. from County Road 101, 25 ft. from the new public street and 10 ft. from the side and rear lot lines.

The applicant is reducing the parking setback via the flexibility allowed by Section 1060.070 Subd. 2(L) of the Zoning Ordinance. This requires the applicant to provide landscaping beyond the minimum requirements or preserve significant landscaping in the area. The required setback may be reduced to the required front setback from other streets in that district if the applicant provides a minimum of one overstory deciduous tree, one overstory coniferous tree, two ornamental trees and 10 understory shrubs per 100 feet of the length of the property line where the flexibility is requested or preserves the equivalent number of existing trees and shrubs. These materials must be provided in addition to the minimum landscape requirements. This would allow the applicant a reduced parking setback of 50 ft. The applicant is showing a setback of 50.67 ft.

The plan shows a total of 95 parking stalls for customer, company, service and overflow parking where a total of 67 parking stalls are required: 36 for retail, 13 for warehousing and 18 for auto service.

Additionally, the plans show 20 stalls for vehicle sales and 18 stalls for trailer parking in the southern portion of the site. There is also a service drop-off in the northeast portion of the site for three trucks/trailers awaiting service. 7 of the 18 stalls for trailer parking will be used for snow storage during the winter. Staff supports this method of snow storage with the condition that trailer storage will not be done elsewhere and will be reduced during the winter months.



The plans show an area for future building expansion. The applicant has not indicated how this space would be used, but it is reasonable to assume it would be an expansion of the service use. The Zoning Ordinance requires an additional one stall for each service or wash bay. The future expansion would likely be able to hold eight to ten bays. The existing parking would be adequate to support this expansion.

Snow storage is shown on the south side of the site and will take up some of the trailer parking located there.

Landscaping

The applicant's landscape plan is generally consistent with ordinance requirements by providing landscaping around the buildings and parking lots. The applicant would be required to provide 59 overstory trees and 161 understory shrubs or the equivalent to meet basic requirements. The plans show the site exceeding this requirement.

The applicant has shown additional overstory, ornamental and understory trees to allow reduced setback flexibility on CR 101, but did not provide enough information to confirm that the requirements have been met. A total of 70 overstory deciduous trees, 20 overstory coniferous trees, 18 ornamental trees, and 260 understory shrubs are proposed. The applicant has proposed more coniferous trees and understory shrubs than are required to provide additional screening along the parking lot to block headlights and along the southwest corner to increase screening from the residential uses to the south and west. Staff believes the placement of the plantings along the southwest corner and the west side of the property will provide adequate screening.

Staff continues to be concerned that the landscaping along County Road 101 may conflict with the future planned water main. Staff has included a condition that the applicant continue to work with staff to coordinate the landscaping to ensure no conflict exists.

Streets/Access

Access to the site would be provided via a new 40-foot wide public street easement along the north property line. The applicant would construct a private driveway in this public easement and would be responsible for their portion of the public street improvement when it is constructed in the future. This would be similar to the private improvements allowed in a public right-of-way for Park Place Storage on the west side of Corcoran. These private improvements would be allowed with an encroachment or license agreement. Additionally, the applicant will be required to comply with the recommendations of the City Engineer's feasibility study dated July 2020.

The site will be accessed by a single driveway off this new private drive in the public easement. The applicant has requested a variance to allow a new 50 ft. wide curb cut where 32 ft. is allowed. The variance is discussed later in the staff report.

Hennepin County has provided comments on this and support the location of the access but will require a full northbound left and southbound right-turn lane. A right-of-way easement is required along the road to the north for the turn lane along County Road 101. Additional right-of-way easements will



be required for a turn lane on the proposed shared road. These public improvements would be designed and bid by the City and paid for by the developer.

The developer will be required to enter into a development agreement with the City prior to beginning construction. The development agreement will outline the costs of public and private improvements and establish required responsibilities, fees and financial guarantees.

Utilities

Sanitary sewer services are available to the site, but water has not been extended from the City of Maple Grove to the site. The City of Maple Grove water does serve the adjacent Bellwether residential development. The agreement between the City of Corcoran and the City of Maple Grove for this water extension included limits on which parcels would be served. This site is not included in the current water agreement with Maple Grove.

Two water options are available to the proposed project:

1. Request City negotiate amendment to the Maple Grove agreement and allow an interim supply from Maple Grove via the Corcoran system.
 - Maple Grove connection fees would be charged and
 - Corcoran water connection and TLAC fees would be charged when Corcoran system is available, currently planned to be available in 2022/2023.
2. Construct a private well with rural fire protection that requires a storage tank for fire suppression for an interim use.
 - All water TLAC and connection fees would be paid when Corcoran system is available, currently planned to be available in 2022/2023.

The applicant's proposed layout shows both options. If water is secured from Maple Grove, the landscaping plan or utility plan will need to be revised to avoid conflicts between the proposed trees and the proposed watermain. This issue must be resolved prior to execution of the development agreement.

A feasibility study was done by the City Engineer. The applicant will be required to comply with the recommendations of the City Engineer's feasibility study dated July 2020. If a connection with the City of Maple Grove cannot be established, a private well with fire suppression should be able to adequately serve the site.

Lighting

The applicant has submitted a photometric plan that does not meet the requirements of the Zoning Ordinance. The photometric plan must show footcandles out to the property line or centerline of a public street. The plans submitted by the applicant appear to have some information around these points, but some of the information is illegible and some is unclear. Staff has included a condition that plans be revised to show this.

The lighting fixtures that the applicant is proposing have a heights that vary between 20 ft., 25 ft. and 30 ft. Exterior lighting height is limited to be either 30 ft. or the roofline of the principal building,



whichever is less. The building is shown on the elevations to be 28 ft. Therefore, exterior lighting cannot be taller than 28 ft. Staff has included a condition that plans be revised to show compliance. This will require the lighting plan to be updated to reflect the lower pole height.

Detail sheets were provided for the proposed lighting fixtures for the property; however, they all seem to show the same fixture. The plans note that seven different types of lighting will be used. Staff has included a condition that the rest of the detail sheets be submitted. The detail sheets provided to the city do not detail the lighting base. Generally, lighting is placed upon a base that can add extra height to the fixture. Staff has included a condition that detail sheets include information about the base to which lighting poles will be affixed is provided to ensure compliance with the height limitations.

The Zoning Ordinance does not require landscape islands in parking lots in this area of the City. Staff is concerned that exterior lighting that is located in the middle of the parking lots and drive aisles may conflict with the traffic moving through the area. The applicant has provided turning radius exhibits. Exhibit "1 Site Plan – Vehicle Tracking" and Exhibit "3 Trailer Parking" both appear to conflict with the lighting that is placed to the west of the Service Overflow Parking area.

Parks and Trails

The Comprehensive Plan shows a future on- and off-road trail running north to south on the east and west sides of the parcel, respectively. The on-road trail on County Road 101 will be constructed by the County when the road is improved. The trail on the west is planned on the other side of the wetland. This property is not being subdivided; therefore, park dedication is not required.

Wetlands and Environment

There are significant wetlands on site. The wetland delineation has been approved and the plans must be revised to reflect the approved delineation.

The applicant does not appear to be impacting the large DNR wetland on the west portion of the site but does show a significant impact to the wetland in the southeast portion of the site. The applicant has filed for a wetland mitigation permit but had not yet received approval. The wetlands on the site have been identified as a medium quality wetland and require a 25 ft. average buffer and a 15 ft. structure setback from the buffer (40 ft. total). The applicant is currently showing averaged buffers throughout the property which comply with the requirement.

Stormwater Management

Ponding is planned for the northwest and southwest portion of the site. The ponding must provide treatment and rate control. The applicant has addressed many of the concerns of the City Engineer, but a few remain which are noted in the City Engineer's memo. A feasibility study was done by the City Engineer. The applicant will be required to comply with the recommendations of the City Engineer's feasibility study dated July 2020.



Sound Source Plan

The applicant has submitted a sound source plan that details sound control measures that they will implement. The applicant has stated that a sound muffling system will be used on air tools which significantly reduce sound. Some work may be performed outside when monitoring a truck is needed, but modern trucks are now designed with sound reductions in mind. The applicant has also submitted a letter of support from Mayor Marv Calvin from the City of Willmar. Nelson International has been located in Willmar since 1962 and there have been no complaints regarding the business there.

Building Material Variance

The applicant previously had requested a variance from Section 1060.050 C(1) to exceed 20% of the exterior finish being metal wall panels. Plans have been revised following the August 3, 2020 Planning Commission meeting. The plans now comply with the building standard and a variance is no longer required.

Driveway Variance

The variance is for the 50 ft. curb cut where 32 ft. is allowed. The City Code requires compliance with the City Engineering Design Standards, which limits commercial driveway width to 32 feet at the right-of-way (Engineering Detail STR-13). The City has consistently applied this standard to other commercial and industrial areas, including the downtown industrial sites. Staff believes that a 50 ft. curb cut would be appropriate in this situation, due to the potential of traffic stacking and spilling out on to County Road 101.

The burden of proof is on the applicant to show that all of the following criteria have been met:

- 1. *That there are practical difficulties in complying with the Zoning Ordinance.*

The applicant has stated that a variance for the curb cut width is required because a 32 ft. driveway does not allow for a truck to enter and exit the site at the same time. The City Engineer notes that it is typical for a vehicle to yield while another is traveling through the driveway thereby eliminating this issue. However, the revised plans have shifted the entrance to the site east and there is now potential for stacking to occur and to spill out onto County Road 101. The City Engineer supports the variance for this temporary condition. When the new public street is constructed along the north side of the property, the applicant will be required to remove the curb cut and relocate it to the west side of the site. The future curb cut will not have the same potential issues with traffic stacking on to the County Road and will be required to be 32 feet wide per city standards. Staff supports the variance for the above reasons.

- 2. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

Access to the site will be provided from a street easement for a future street and no other properties will use this street easement for access until the public street is constructed. The applicant is proposing to locate a temporary access on the east side of the site to



reduce the cost of constructing a temporary driveway in the public easement. This is a unique circumstance that is temporary until the public street is constructed. The larger curb cut is needed to ensure that trucks do not back up onto County Road 101, but will be removed when the public street is completed in the future.

3. *That the granting of the variation will not alter the essential character of the locality.*

The curb cut variance is a temporary measure until the road is constructed in the future. The essential character of the locality will not be affected.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

The variance is only temporary and the eventual final placement and size of the curb cut will be in harmony with the general purposes and intent of the Ordinance.

5. *The variance is consistent with the Comprehensive Plan.*

The variance would be consistent with guiding the area for Industrial uses.

6. *The City may impose conditions on the variance to address the impact of the variance.*

Staff recommends a condition that the curb cut be reconstructed in the future when the future public road is constructed.

Conditional Use Permit

The applicant is proposing a motor vehicle repair and sales use within the Light Industrial zoning district. Section 1040.125, Subd. 4 of the Zoning Ordinance allows the landowner to request a CUP to allow the use if the following conditions are met:

Motor Vehicle, Boat or Equipment Repair

1. *All servicing of vehicles and equipment shall occur entirely within the principal structure.*
2. *To the extent required by State law and regulations, painting shall be conducted in an approved paint booth, which thoroughly controls the emission of fumes, dust, or other particulated matter.*
3. *Storage and use of all flammable materials, including liquid and rags, shall conform with applicable provisions of the Minnesota Uniform Fire Code.*
4. *Parking, driveway, and circulation standards and requirements shall be subject to the review and approval of the City and shall be based upon the specific needs of the operation and shall accommodate large vehicle equipment and semi-trailer/tractor trucks.*
5. *The storage of damaged vehicles and vehicle parts and accessory equipment must be completely inside a principal or accessory building.*



6. *The sale of products other than those specifically mentioned in this Section shall be subject to a separate conditional use permit*

Motor Vehicle, Boats and Equipment Sales.

1. *All sales shall occur on one lot.*
2. *Parking areas for the outside storage and sale of vehicles, boats and trailers, shall be on impervious surface, either bituminous, concrete, or approved equivalent.*
3. *Interior concrete or asphalt curbs shall be constructed within the property to separate driving and parking areas from landscaped areas.*
4. *All areas of the property not devoted to buildings or parking areas shall be landscaped in accordance with this Ordinance.*
5. *Off-street parking shall be provided for customers and employees in accordance with this Ordinance.*
6. *Parking for a motor vehicle, boat, or trailer sales shall not be less than 9 ft. wide by 18.5 ft. in length.*

The applicant will be in compliance with the operations requirements and staff has included this as a condition.

Additionally, the use must comply with the Conditional Use Permit standards in Section 1070.020 of the Zoning Ordinance. Specifically:

A. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The proposed building complies with the goals of the Comprehensive Plan. The project establishes the industrial corridor that is guided.

B. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*

The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The use is allowed within the I-1 district.

C. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The subject property is separated from the other uses and the applicant is proposing additional screening.



- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Through the private investment of the applicant, the public facilities and services can be reasonably provided.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The conditional use conforms to the applicable regulations of the Light Industrial District. The applicant has stated painting will not be a service that is provided, parking, driveway and circulation have been designed to accommodate larger vehicles and all work done on the site and any damaged vehicles will be stored inside a principal or accessory building.

- G. *The conditional use and site conforms to performance standards as specified by this Chapter.*

Staff has analyzed the performance standards of this Chapter and finds that the building conforms to other standards specified in the Zoning Ordinance.

5. Conclusions

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Zoning Plan and Zoning Ordinance and finds that the standards for a site plan and CUP to allow the site to be used for motor vehicle, boat or equipment repair and sales have been met. The proposed use is the type of use long envisioned for this industrial area of the City and staff has included conditions to address outstanding issues. The conditions may result in changes to the site plan, but staff believes the issues can be resolved to move forward with the development.

Staff finds that the variance standards have been met and recommends approval of the requested variance. If the Planning Commission finds that the variance standards have not been met, they should recommend denial of the request and provide findings of fact for denial.

6. Recommendation

Move to recommend approval of the resolution approving the site plan, the conditional use permit and variance.



Attachments

1. Draft Resolution approving Site Plan, Conditional Use Permit and Variance
2. Site Location Map
3. Engineer's memo dated August 26, 2020
4. Applicant's Narrative received August 17, 2020
5. Site Plans dated August 17, 2020
6. Landscaping Plan dated August 17, 2020
7. Building Plans dated June 6, 2020
8. Elevations dated August 17, 2020
9. Sign Plans dated August 9, 2020
10. Turn Radius Exhibit dated August 17, 2020
11. Sound Source Control Plan
12. Letter of Support from City of Willmar Mayor dated August 12, 2020
13. Building Material Reference Sheet received May 19, 2020
14. Roof System Reference Sheet received May 19, 2020
15. Building Material Rendering Example received May 19, 2020
16. Public Comment: Dennis and Jan Stieg received July 30, 2020

RESOLUTION NO. 2020-XX

Motion By:
Seconded By:

APPROVAL OF A SITE PLAN, CONDITIONAL USE PERMIT AND VARIANCE FOR NELSON INTERNATIONAL AT 10409 COUNTY ROAD 101 (PID 01-119-23-41-0001) (CITY FILE NO. 20-022)

WHEREAS, Nelson International is requesting approval of a site plan and conditional use permit to allow a motor vehicle repair and sales use within the Light Industrial zoning district and a variance for a larger curb cut than allowed on property legally described as follows:

Lot 1, Block 5, Bellwether 2nd Addition

WHEREAS, the Planning Commission has reviewed the site plan, conditional use permit and variance at a duly called public meeting and recommends approval.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request, subject to the following findings and conditions:

1. A site plan and conditional use permit are approved to allow for the construction of a building addition as shown on application and plans received by the City on May 27, 2020, and additional information received June 23, 2020, July 2, 2020, July 14, 2020, July 17, 2020 and July 18, 2020, except as amended by this resolution.
2. No approvals are granted for the future expansion shown on the plans. A new application for a site plan/conditional use permit amendment would be required when the expansion is proposed.
3. The variance for a 50 ft. curb cut width where 32 ft. is allowed is approved based on the following findings:
 - a. The applicant has stated that a variance for the curb cut width is required because a 32 ft. driveway does not allow for a truck to enter and exit the site at the same time. The City Engineer notes that it is typical for a vehicle to yield while another is traveling through the driveway thereby eliminating this issue. However, the revised plans have shifted the entrance to the site east and there is now potential for stacking to occur and to spill out onto County Road 101. The City Engineer supports the variance for this temporary condition. When the new public street is constructed along the north side of the property, the applicant will be required to remove the curb cut and relocate it to the west side of the site. The future curb cut will not have the same potential issues with traffic stacking on to the County Road and will be required to be 32 feet wide per city standards. Staff supports the variance for the above reasons..
 - b. Access to the site will be provided from a street easement for a future street and no other properties will use this street easement for access until the public street is constructed. The applicant is proposing to locate a temporary access on the

RESOLUTION NO. 2020-XX

east side of the site to reduce the cost of constructing a temporary driveway in the public easement. This is a unique circumstance that is temporary until the public street is constructed. The larger curb cut is needed to ensure that trucks do not back up onto County Road 101, but will be removed when the public street is completed in the future.

- c. The curb cut variance is a temporary measure until the road is constructed in the future. The essential character of the locality will not be affected.
 - d. The variance is only temporary and the eventual final placement and size of the curb cut will be in harmony with the general purposes and intent of the Ordinance.
 - e. The variance would be consistent with guiding the area for Industrial uses.
 - f. Staff recommends a condition that the curb cut be reconstructed in the future when the future public road is constructed.
4. A conditional use permit is approved to allow for motor vehicle, boat or equipment repair and sales subject to the following findings:
- a. Motor vehicle repair and sales are a conditional use in the Industrial zoning district. The use is a conditional use as it requires specific conditions to be met. The applicant will be in compliance with the operations requirements.
 - b. The proposed use will comply with the standards for Motor Vehicle Repair in Section 1040.125, Subd. 4 (C) of the Zoning Ordinance. Specifically:
 - i. All servicing of vehicles and equipment shall occur entirely within the principal structure.
 - ii. To the extent required by State law and regulations, painting shall be conducted in an approved paint booth, which thoroughly controls the emission of fumes, dust, or other particulated matter.
 - iii. Storage and use of all flammable materials, including liquid and rags, shall conform with applicable provisions of the Minnesota Uniform Fire Code.
 - iv. Parking, driveway, and circulation standards and requirements shall be subject to the review and approval of the City and shall be based upon the specific needs of the operation and shall accommodate large vehicle equipment and semi-trailer/tractor trucks.
 - v. The storage of damaged vehicles and vehicle parts and accessory equipment must be completely inside a principal or accessory building.
 - vi. The sale of products other than those specifically mentioned in this Section shall be subject to a separate conditional use permit.
 - c. The proposed use will comply with the standards for Motor Vehicle Repair in Section 1040.125, Subd. 4 (D) of the Zoning Ordinance. Specifically:
 - i. All sales shall occur on one lot.
 - ii. Parking areas for the outside storage and sale of vehicles, boats and trailers, shall be on impervious surface, either bituminous, concrete, or approved equivalent.

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- iii. Interior concrete or asphalt curbs shall be constructed within the property to separate driving and parking areas from landscaped areas.
 - iv. All areas of the property not devoted to buildings or parking areas shall be landscaped in accordance with this Ordinance.
 - v. Off-street parking shall be provided for customers and employees in accordance with this Ordinance.
 - vi. Parking for a motor vehicle, boat, or trailer sales shall not be less than 9 feet wide by 18.5 feet in length..
- d. Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
- i. The proposed building complies with the goals of the Comprehensive Plan. The project establishes the industrial corridor that is guided.
 - ii. The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The use is allowed within the I-1 district.
 - iii. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The subject property is separated from the other uses; however, additional screening is required in the southwest corner of the site to buffer overhead doors and parking from adjacent residential.
 - iv. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - v. Through the private investment of the applicant, the public facilities and services can be reasonably provided.
 - vi. The conditional use conforms to the applicable regulations of the Light Industrial District. The applicant has stated painting will not be a service that is provided, parking, driveway and circulation have been designed to accommodate larger vehicles and all work done on the site and any damaged vehicles will be stored inside a principal or accessory building.
 - vii. Staff has analyzed the performance standards of this Chapter and finds that the building conforms to other standards specified in the Zoning Ordinance.
5. The applicant shall provide additional fence details for review and approval by the City.
- a. Material and dimension details should be provided for any planned fencing.
 - b. Fencing over seven feet high will require a building permit.

RESOLUTION NO. 2020-XX

6. The freestanding sign shall be relocated outside of the parking area or the parking stall be converted to a landscape island.
7. A revised lighting plan is required to be submitted for review and approval by the City.
 - a. The photometric plan shall be revised to clearly show the foot-candle measurements across the entire property to the property line or centerline of a public street.
 - b. The plans shall be revised to show lighting fixtures that are limited to be either 30 ft. or the roofline of the principal building, whichever is less.
 - c. The applicant shall submit detail sheets for each exterior lighting fixture. Base details shall be included with the detail sheet.
8. The applicant shall continue to work with city staff to coordinate landscaping to ensure no future conflict with the planned watermain along County Road 101.
9. The applicant must provide the street easement documents in recordable form for review and approval by the City.
10. Drainage and utility easements must be provided to the city in recordable form for review and approval by the City Attorney.
11. The developer shall enter into a development contract after plans are revised to address the conditions above and submit a financial guarantee for the proposed work as outlined in Section 1070.050, Subd. 9 of the Zoning Ordinance.
12. A building permit is required prior to beginning construction.
13. All signage must comply with ordinance standards. All signs require a permit in order to be constructed and will be reviewed at the time of permit submittal.
14. FURTHER, that the following conditions be met prior to issuance of building permits:
 - a. The applicant shall submit any and all necessary permits to Hennepin County for septic system abandonment on site and provide proof of application to the City.
 - b. The applicant shall submit any and all necessary permits to the State of Minnesota for the construction of a well and provide proof of application to the City.
 - c. The applicant shall submit any and all necessary permits to the watershed and receive approval and shall provide proof of permits to the City.
 - d. Record the approving resolution and required easements at Hennepin County and provide proof of recording to the City.

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15. FURTHER, any request to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project landscape architect. A letter signed by the project landscape architect verifying plantings have been corrected and is in compliance with the plans and specifications will suffice.
16. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

VOTING AYE

- Thomas, Ron
 Bottema, Jon
 Lother, Brian
 Anderson, Thomas
 Schultz, Alan

VOTING NAY

- Thomas, Ron
 Bottema, Jon
 Lother, Brian
 Anderson, Thomas
 Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this XXrd day of September 2020.

Ron Thomas - Mayor

ATTEST:

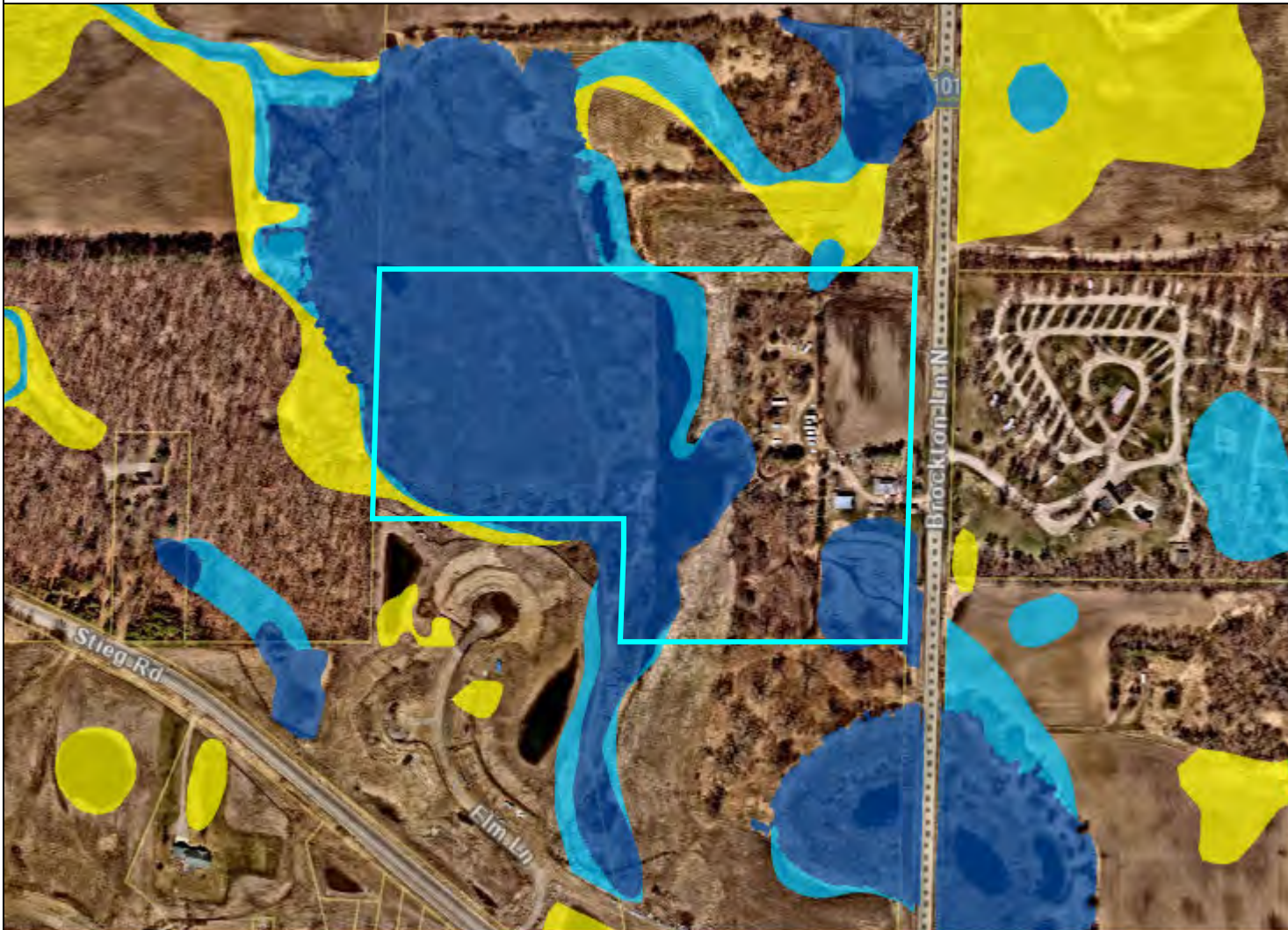
Jessica Beise – Administrative Services Director

City Seal



Hennepin County Natural Resources Map

Date: 7/30/2020



Legend

FEMA Floodplains - 100 Year

- A
- AE FLOODPLAIN
- AH
- AO
- AE FLOODWAY

Wetlands

- Potential Wetland - HCWI
- Probable Wetland - HCWI
- Probable Wetland - NWI

PID: 0111923410002
 Address: 10409 CO RD NO 101,
 CORCORAN
 Owner Name: 101 FARMS LLC
 Acres: 21.79

Comments:

1 inch = 400 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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Technical Memo



To: Kevin Mattson, PE, Director of Public Works,

From: Kent Torve, PE

Date: August 26, 2020

Subject: Nelson International – Plan Review Comments

Documents revised August 17th, 2020 have been reviewed for the proposed Nelson International Site. The following comments should be addressed and the prior review memo and July 2020 Feasibility Study remain relevant. Additional reviews are to be expected as the project moves forward. **Please provide written response to this review memo.**

Format

Items shown as ~~XXXXXXX~~ have been addressed, **remaining comments are shown in red.** **Highlighted items** are additional notes for revisions.

0.0 Overview

Significant issues remain and include:

- ~~0.1—Ponding (live storage) is insufficient and modifications will affect site layout. WMO will have stormwater comments also.~~
- ~~0.2—North 40' easement is future road ROW, requires a license agreement, and no permanent features shall be installed. This includes ponding.~~
- 0.3 **Additional 10' drainage and utility easement adjacent to the 40' easement is required.**
 - 0.3.1 Parking lot or other permanent site improvements should not be located within the Drainage and Utility easement.**
- 0.4 **Additional stormwater comments have been included in separate memo.**

1.0 Transportation

- 1.1 **Radii at entrance from County Road 101 to be coordinated with turn lane design as completed by the City of Corcoran which are financed by the developer. As noted in the Feasibility Study, terms of the financing of such improvements and establishment of associated escrow accounts shall be coordinated with city staff as part of development approval.**
- 1.2 **Private driveway width is shown larger than 32' per City Standards.**
 - 1.2.1 **A variance is needed and due to location near CSAH 101 engineering supports the need to mitigate potential stacking on CSAH 101. This temporary access will be eliminated when City street constructed.**
- ~~1.3—The 75' radius for the northern parking lot site exit is larger than would be typical for a commercial/industrial site. Applicant shall show ultimate access layout on plans which would accommodate future City road.~~

- ~~1.4~~ ~~By-pass lanes are not expected to be allowed by Hennepin County. Easements will be required on Nelson Property and adjacent property to the north and shall be the responsibility of the developer.~~
- 1.5 Additional tree impact may be needed as part of offsite improvements. Final impacts will be determined at time of plan production.
- 1.6 The private drive is planned to be improved by City to public street in the future per feasibility study.

2.0 Water

- 2.1 Watermain to be constructed to City specifications.
- 2.2 Hydrants to be installed at 500' spacing and at high points in watermain. Provide profile to verify.
- 2.3 Temporary hydrants to be installed at the end of dead end lines.
- 2.4 If watermain is to be installed along property line, applicant to obtain easements from adjacent property owner.
- 2.5 Install water valves along watermain route.
 - 2.5.1 Install an 8-inch gate valve at the connection on the west side of the property.
 - 2.5.2 Install 12-inch butterfly valve north of service connection tee.
- 2.6 Maximum bend/deflection angle on all watermain to be 45-degrees.
- 2.7 Size and material to be clearly identified on plans, including both fire and domestic service.
- 2.8 Domestic and fire services to be separate outside of building with shut off valves on each. Meter is only required on domestic service.
 - 2.8.1 Service lines to building to have valves and or curb stops at edge of easements so they can be accessed by city staff.
- 2.9 Private well to be located outside of watermain easement. Well to be installed away from adjacent utilities per MDH standards. Submit permit to City when obtained.
- ~~2.10~~ ~~North/South watermain to be offset in the easement due to slope; watermain located 20' east of back of curb within a 30' easement as measured from back of curb.~~
 - 2.10.1 The applicant may consider installing a valve prior to the 12-inch water stub to the south to avoid future water interruption at the time of future connection by others.
- 2.11 Coordinate landscaping along CSAH 101 with Planning and Engineering.
 - 2.11.1 Engineering recommends installing north south watermain 32' from the current County Road 101 right-of-way

3.0 Sewer

- 3.1 Applicant should provide shop drawings for proposed connection to sanitary manhole and provide detailed drawings on connection at time of building permit.
 - 3.1.1 Outside drop detail shown is for a new manhole structure. Provide additional details specific to connecting to the existing City structure.
 - 3.1.2 Drop structure to be lined per City details.
 - 3.1.3 Applicant shall remove existing cone section and place full barrel sections to adjust sanitary manholes. All joints shall be wrapped per city standard details.
- 3.2 Provide clarification on the facility's sanitary sewer pipe material. Plan notes call out both SDR-26 and SCH 40.

4.0 Storm Sewer, Grading, and Stormwater

Ponding/Biofiltration

- ~~4.1 Plan changes will occur and reflect stormwater changes discussed in attached stormwater memo.~~
- ~~4.2 Due to site constraints, the City recommends considering a NURP Pond with filter shelf to meet WMO stormwater requirements. These have been permitted by WMO and are typically more cost effective and lower maintenance than filtration basins.~~
- ~~4.3 NW biofiltration (P2) basin to be relocated outside of the existing drainage and utility easements and outside of 40' Roadway Easement (future ROW).~~

Storm Sewer

- ~~4.4 The City recommends changing storm sewer pipe material of storm sewer to RCP or PVC. City recommendation is to limit HDPE use to green space.~~
- ~~4.5 Storm sewer will be revised based on revised ponding to improve insufficient pipe cover. Top of storm sewer pipes are shown in the pavement section. City recommends lowering top of pipe to below the proposed pavement section.~~
- ~~4.6 Provide energy dissipation at flared end sections per City detail plate.~~
- 4.7 Provide individual OCS details. OCS to be constructed per City details.
 - 4.7.1 Front of OCS to be set at HWL
 - 4.7.1.1 Basin #1 is designed 0.3' above HWL
 - 4.7.1.2 Basin #2 is designed 0.7' above HWL
- 4.8 Provide draintile location, elevations, and material in plan view of the biofiltration basins.
- ~~4.9 Provide piped inlet and weir walls on OCS.~~
- 4.10 City recommends installing an additional catch basin in the east curb line across the access from CBMH 2. Catch basin calculations will verify ponding depths.
 - 4.10.1 Future entrance shall be incorporated into stormwater management plan.
- 4.11 Culvert at CSAH 101 alignment has not been approved. Culvert to be reviewed when more information on watermain depth is available.

Grading

- ~~4.12 All grading to be no steeper than 3:1, or a retaining wall will be required. Portions of the western edge appear to exceed requirement.~~
- 4.13 EOF for north and south biofiltration basins to be set at 1' above HWL. Top of berm to be constructed minimum 6" above EOF elevation.
- ~~4.14 Submit volume calculations that forebay on biofiltration basins provides the required 10% of the 1-inch event volume.~~
- ~~4.14.1 City recommends riprap within the forebay.~~
- 4.15 Adjacent property approvals required for grading and wetland fill.
- 4.16 Applicant shall obtain all required permits for wetland impacts as part of the project including any offsite wetland impacted.
- 4.17 Provide 15' maintenance access bench on biofiltration basins to access outlet control structures.
- ~~4.18 Provide NWL on biofiltration basin.~~
- 4.19 Property to the south has drainage directed north to Nelson. Grade swale to east and west to convey drainage without blocking flow.
- 4.20 Trees placed on outside of berm may impact the long term operation of filtration basin. Consider moving trees to alternate location which does not impact basin maintenance.

5.0 **Erosion Control**

- 5.1 City of Corcoran is an MS4 city and site visits will be conducted weekly
- 5.2 Compliance with developer's (owner) MS4 permit will be monitored.

6.0 **Wetlands and Permits**

- 6.1 Provide actual wetland delineations. Areas marked per old lathe locations to be updated to reflect actual approved delineation limits.
- 6.2 A permanent wetland buffer monument shall be installed at each lot line where it crosses a wetland buffer, and where needed to indicate the contour of the buffer, with a maximum spacing of 200 feet of wetland edge.
- 6.3 City to review MPCA sewer extension permit prior to submittal. Owner to submit copy of permit to City after approval.
- 6.4 Owner to submit copy of MDH watermain extension permit and private well permit to City after approval.

7.0 **Easements and Encroachment Agreements**

- 7.1 Provide easement figures for the watermain, private drive, and turn lanes.
- 7.2 Show existing City easements on plans. Any site improvements located within existing easements shall be reviewed by city staff and will require an encroachment agreement if approved.
- 7.3 License agreement is required for any improvements placed in the northern 40' roadway easement. This agreement will include but is not limited to: street lights, landscaping, signs, etc.

- 7.4 Encroachment agreement required for any signage within watermain (utility) easement.

End of Memo

Attachment A

Updated Nelson International Conditional Use Narrative

Nelson Leasing (dba Nelson International) has applied for a Conditional Use Permit and previously submitted a narrative for expanding operations to the City of Corcoran. This narrative update addresses recent changes desired by the City's planning commission and accompanies revised architectural and civil plans highlighting those changes. Listed below are the requested changes as outlined by the City.

Site Plan

A trash enclosure has been added to the plans. The trash enclosure is on the west side of the building. We have also added a recycling enclosure on the north side of the building as well. The mechanical equipment is shown on the Site Plan just north of the building. We have added a 10-foot-high screen fence 100% opaque along the west edge of the parking lot. The east side of the parking lot adjacent to the customer parking will be screened with a 3-foot hedge row to screen headlights.

Parking

We have modified the site plan to accommodate stormwater treatment basins. We shifted the north portion of the parking lot to the east 10 feet, resulting in a 50-foot setback. The south portion of the parking lot adjacent to the wetland remains setback 60 feet. Parking stalls have been removed that conflicted with the turning movements. The plan depicts 95 parking stalls for customer, company, service and overflow. There are 18 trailer parking stalls and 20 sales parking stalls. Snow storage area has been added to the plan.

Access

A future east-west road is depicted on the plans although the design has not yet been determined, this is depicted as a 48-foot-wide road. The owner is planning to construct a private drive to get access from County Road 101. The driveway would be 32 feet wide with radii that would only be as large as needed for a semi-truck with trailer to enter the site. The turning radius exhibit shows that the large radii are needed for a truck to enter the site. This is similar to the downtown Corcoran area where many of the drive entrances are over 32 feet, see attached photos. The owner acknowledges that this driveway will have to be removed when the future road is constructed and that he will be responsible for the cost of re-constructing his entrance to the west.

Lighting Plan

We have updated the Lighting Plan with the new site layout. The cut sheets have also been included for your review.

Sign Plan

The sign plan for the facility has been updated per city of Corcoran sign ordinances.

Sound Control

We have updated the sound control plan for the City of Corcoran review.

Wetlands

We have modified our Site Plan to shift the parking lot along the wetland to the west so that it meets the 5-foot setback from the wetland buffer. No retaining wall is needed we modified our layout to work with the grades. The wetland buffer area required for a 25-foot average width is shown in the wetland table on the Site Plan. The wetland buffer monuments are now shown on our Site Plan.

Stormwater

We have modified our stormwater treatment to ponds with a filtration bench in lieu of filtration basins. The northwest pond has been shifted south so it is not in the 40-foot road easement. We meet the City and watershed requirements.

Landscaping

The plans have been modified with symbols, quantities, names, etc. The counts for the shrubs have been updated. We have provided a 10 high screen wall to screen the loading dock area. The landscape plan now shows a 3-foot-high hedge row adjacent to the customer parking on the east. We have also added some evergreen trees on the west edge of the south pond to help screen from the residential property.

Once we determine which direction we will be going with the water, we will add in the hydrants and other details during our Construction Document plan set. We will add more detail on the connection to the existing manhole with our Construction Document plan set. We have modified our storm sewer pipe to be RCP rather than HDPE.

Business Narrative

The following construction of approximately 35,000 square feet will require space for: truck sales and service including showroom, administrative and sales offices, maintenance & repair and parts storage but most importantly, Nelson's plan for operations will bring at least 45 new employment opportunities to the area and include some the following details:

1. Hours of operation – 7:00am to 4:00pm and 4:00pm to 12:00 Midnight.
2. 20 trucks serviced per day.
3. Approximately 50 sales customers per day.
4. 20 parts and services deliveries per day.
5. As with all service centers of this nature, there will be a mix of vehicles coming and going including some trucks hooked to a trailer.

Nelson International has done their due diligence for this for expansion in Corcoran and has teamed with all necessary engineering to be able to provide comfort in developing this site, not only to themselves but also for the City of Corcoran. All environmental and adjoining property impacts, intended building usage and operations plan, traffic flow and parking provisions, as well as landscaping and buffering have been provided and addressed per the City of Corcoran feasibility study.

The following list addresses how Nelson will conform with the City's requirements:

1. The current City of Corcoran code requires a Conditional Use Permit for motor vehicle repair and sales in the I-1 light industrial zoning district. Nelson International will conduct service to all vehicles which will occur entirely within the principle structure.
2. Nelson does not provide service painting within its facility.
3. All storage and use of flammable materials, including liquid and rags, will conform with applicable provisions of the Minnesota State Fire Code.
4. Parking, driveway, and circulation standards and requirements shall be based upon the specific needs of the operation and shall accommodate large vehicle equipment and semi-trailer/tractor trucks.
5. The storage of damaged vehicles and vehicle parts and accessory equipment will be completely inside a principal or accessory building.

Nelson conforms to all City Motor Vehicle, Boats and Equipment Sales regulations by the following:

1. All sales and service provided by Nelson will occur on one lot.
2. Parking areas for the outside storage and sale of vehicles, boats and trailers, will be on impervious surface, either bituminous, concrete, or approved equivalent.
3. Interior concrete or asphalt curbs will be constructed within the property to separate driving and parking areas from landscaped areas.
4. All areas of the property not devoted to buildings or parking areas will be landscaped in accordance with this Ordinance.
5. Off-street parking will be provided for customers and employees in accordance with this Ordinance.

Automatic fire protection will be provided throughout the entire building as required by the building code. The sprinkler system will be designed and installed for a light or ordinary group II hazard as defined by NFPA 13. It is anticipated that a demand of 75 PSI while flowing 450 GPM will be required. A storage tank of at least 29,000 gallons will be used for adequate water supply to the suppression system if adequate water supply from the well is unobtainable. Final system requirements will be engineered.

In terms of the nature of other uses in the neighborhood, the parcel to the south was re-zoned to commercial as a part of the Bellwether 2nd addition and north is zoned industrial. This site has a large wetland west of the proposed building and parking lot. East of the site is Brockton Lane and then the campground. The future land use shows industrial to the north and south, then residential to the west across the existing wetland. This use is consistent with the zoning map and the future land use plan.

Nelson International would like to thank the City of Corcoran for their consideration of this project and looks forward to bringing this successful business to the community.

Update of Variance Requests for Nelson International

Nelson International is no longer requesting variance approval for the use of TextureClad metal panels and driveway width expansion in the construction of their new facility in Corcoran, Minnesota.

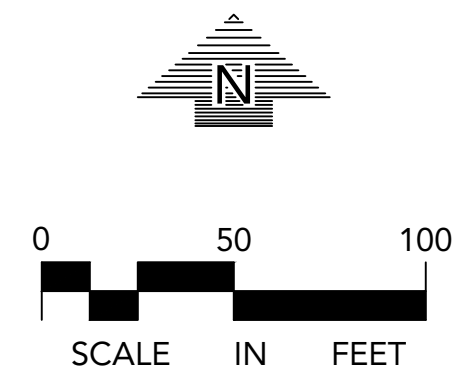
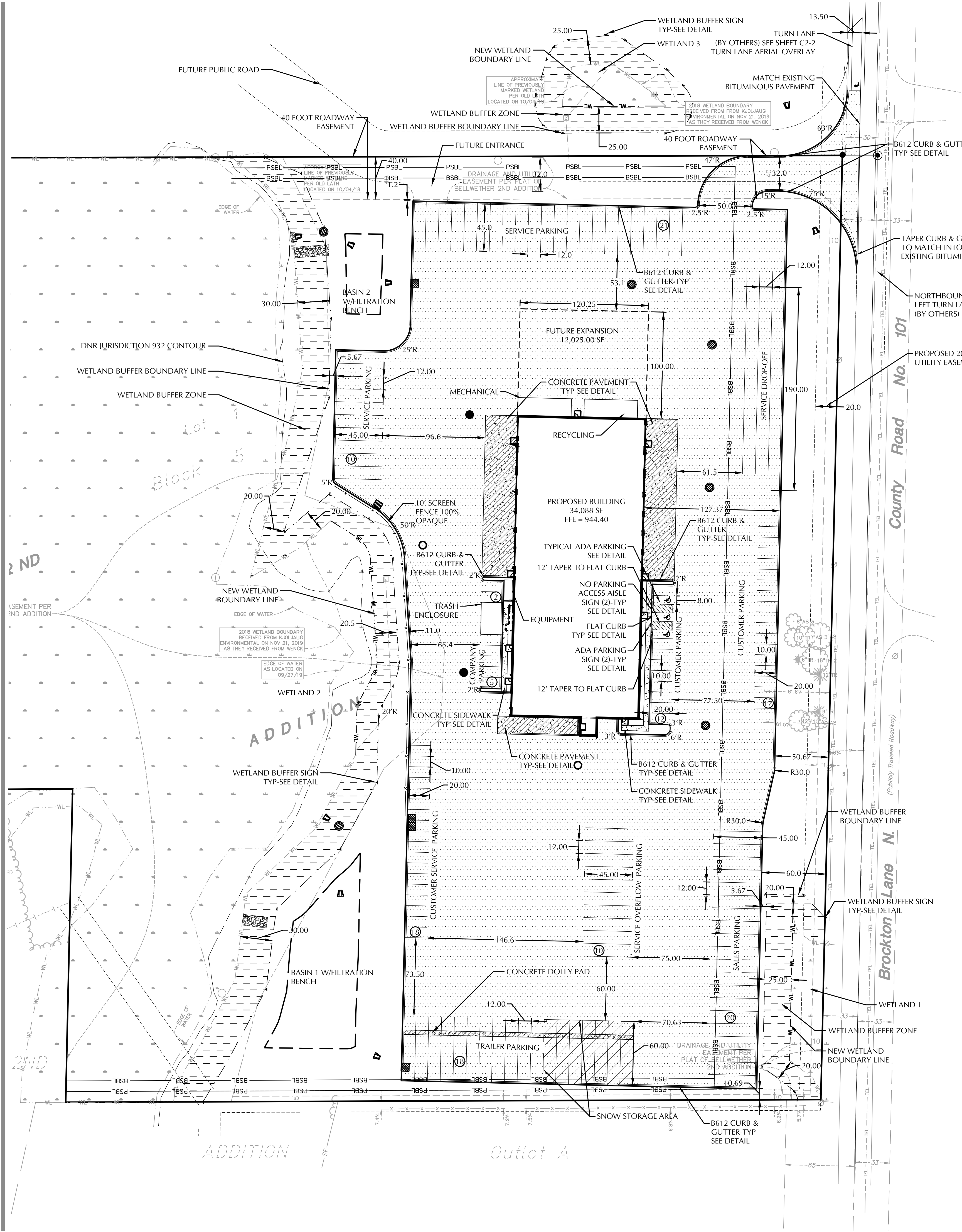
Building Exterior Material:

Per the Corcoran City Ordinance, Nelson International will conform using a none-metal panel as directed for the majority exterior finish of their new facility. As shown per plan, Nelson will use an EFIS/Stucco material with reveal and color accents throughout the design.

Property Entrance:

A future east-west road is depicted on the plans although the design has not yet been determined, this is depicted as a 48-foot-wide road. The owner is planning to construct a private drive to get access from County Road 101. The driveway would be 32 feet wide with radii that would only be as large as needed for a semi-truck with trailer to enter the site. The turning radius exhibit shows that the large radii are needed for a truck to enter the site. This is similar to the downtown Corcoran area where many of the drive entrances are over 32 feet, see attached photos. The owner acknowledges that this driveway will have to be removed when the future road is constructed and that he will be responsible for the cost of re-constructing his entrance to the west.

Plotted: 08/16/2020 10:29 AM W:\2019\19758\ACADD\DATA\CIVIL\dwg\Sheet\Site\C2-1 SITE PLAN



NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS
FROM A BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED BY LOUCKS, DATED DECEMBER 13, 2019.

SITE DATA

Table with 2 columns: Category and Value. Includes: TOTAL PROPERTY AREA: 22.42 AC; DISTURBED AREA: 9.48 AC; EXISTING IMPERVIOUS AREA: 0.38 AC; PROPOSED IMPERVIOUS AREA: 6.825 AC.

Table with 2 columns: Building Setbacks and Minimum Values. Includes: FRONT: 100 FT MINIMUM; SIDE: 20 FT MINIMUM; REAR: 20 FT MINIMUM.

Table with 2 columns: Parking Setbacks and Minimum Values. Includes: FRONT: 100 FT MINIMUM; SIDE: 20 FT MINIMUM; REAR: 20 FT MINIMUM.

Table with 2 columns: Parking Total and Stall Counts. Includes: 92 COMPANY, CUSTOMER, SERVICE AND OVERFLOW STALLS; 38 SALES AND TRAILER PARKING; 3 ACCESSIBLE STALLS; 133 TOTAL STALLS.

Table with 2 columns: Development Site Open Space Requirement Calculation and Values. Includes: TOTAL SITE: 22.42 AC; OPEN SPACE REQUIRED FOR TOTAL SITE: 6.73 AC; OPEN SPACE PROVIDED FOR TOTAL SITE: 15.22 AC.

SITE NOTES

- 1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- 2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- 3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- 5. TYPICAL FULL SIZED PARKING STALL IS 10' X 20' UNLESS OTHERWISE NOTED.
- 6. ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- 7. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- 8. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

SIGNAGE AND STRIPING NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SIGNAGE AND STRIPING AS SHOWN ON THIS PLAN.
- 2. CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, LOGOS AND CROSS HATCH LOADING AISLES WITH WHITE PAVEMENT MARKING PAINT, 4" IN WIDTH.
- 3. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS, AS SHOWN, IN WHITE PAINT.
- 4. ALL SIGNAGE NOT PROTECTED BY CURB, LOCATED IN PARKING LOT OR OTHER PAVED AREAS TO BE PLACED IN STEEL CASING, FILLED WITH CONCRETE AND PAINTED YELLOW. REFER TO DETAIL.
- 5. ANY/ALL STOP SIGNS TO INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT, PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK IF APPLICABLE. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO CURB.
- 6. ALL SIGNS TO BE PLACED 12" BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

WETLAND DATA

Table with 2 columns: Wetland ID and Required/Provided Area. Includes: WETLAND 1 (25' WETLAND BUFFER REQUIRED: 5,675 SF; PROVIDED: 5,871 SF); WETLAND 2 (25' WETLAND BUFFER REQUIRED: 28,321 SF; PROVIDED: 28,450 SF); WETLAND 3 (25' WETLAND BUFFER REQUIRED: 7,889 SF; PROVIDED: 7,889 SF).

CIVIL LEGEND

Legend table with columns: EXISTING and PROPOSED. Lists symbols for various features like Sanitary Manhole, Storm Manhole, Catch Basin, Culvert, Hydrant, Gate Valve, etc.

PAVEMENT TYPES

Table with 2 columns: Symbol and Pavement Type. Includes: Concrete Sidewalk, Concrete Pavement, Heavy Duty Bituminous Pavement.

NOTE: SEE PAVEMENT SECTIONS ON SHEET C8.1 FOR TYPE AND DEPTH INFORMATION.

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10409 CO RD NO 101
CORCORAN, MN 55311

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Maple Grove, MN 55369
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SUBMITTAL/REVISIONS
05/19/2020 CITY SUBMITTAL
07/13/2020 REV. CITY SUBMITTAL
08/17/2020 REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer and that the laws of the State of Minnesota govern the practice of the above profession.
NOT FOR CONSTRUCTION
Vicki J. Van Dell - PE
License No. 41352
Date

QUALITY CONTROL
Loucks Project No. 019758.0A
Project Lead VJV
Drawn By MJS
Checked By VJV
Review Date

Table with 2 columns: Revision ID and Description. Includes: C1-1 EXISTING CONDITIONS; C1-2 DEMOLITION PLAN; C2-1 SITE PLAN; C3-1 GRADING PLAN; C3-2 SWPPP; C3-3 SWPPP DETAILS; C4-1 UTILITY PLAN; C8-1 CIVIL DETAILS; C8-2 CIVIL DETAILS; L1-1 LANDSCAPE PLAN; L1-2 FOUNDATION PLANTINGS; L2-1 LANDSCAPE DETAILS.

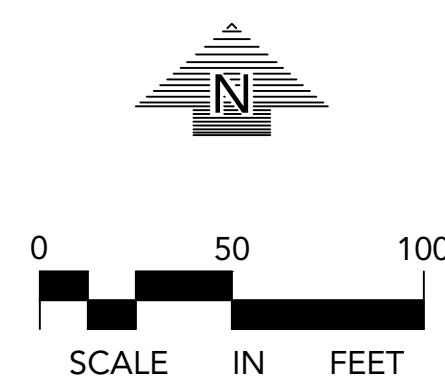
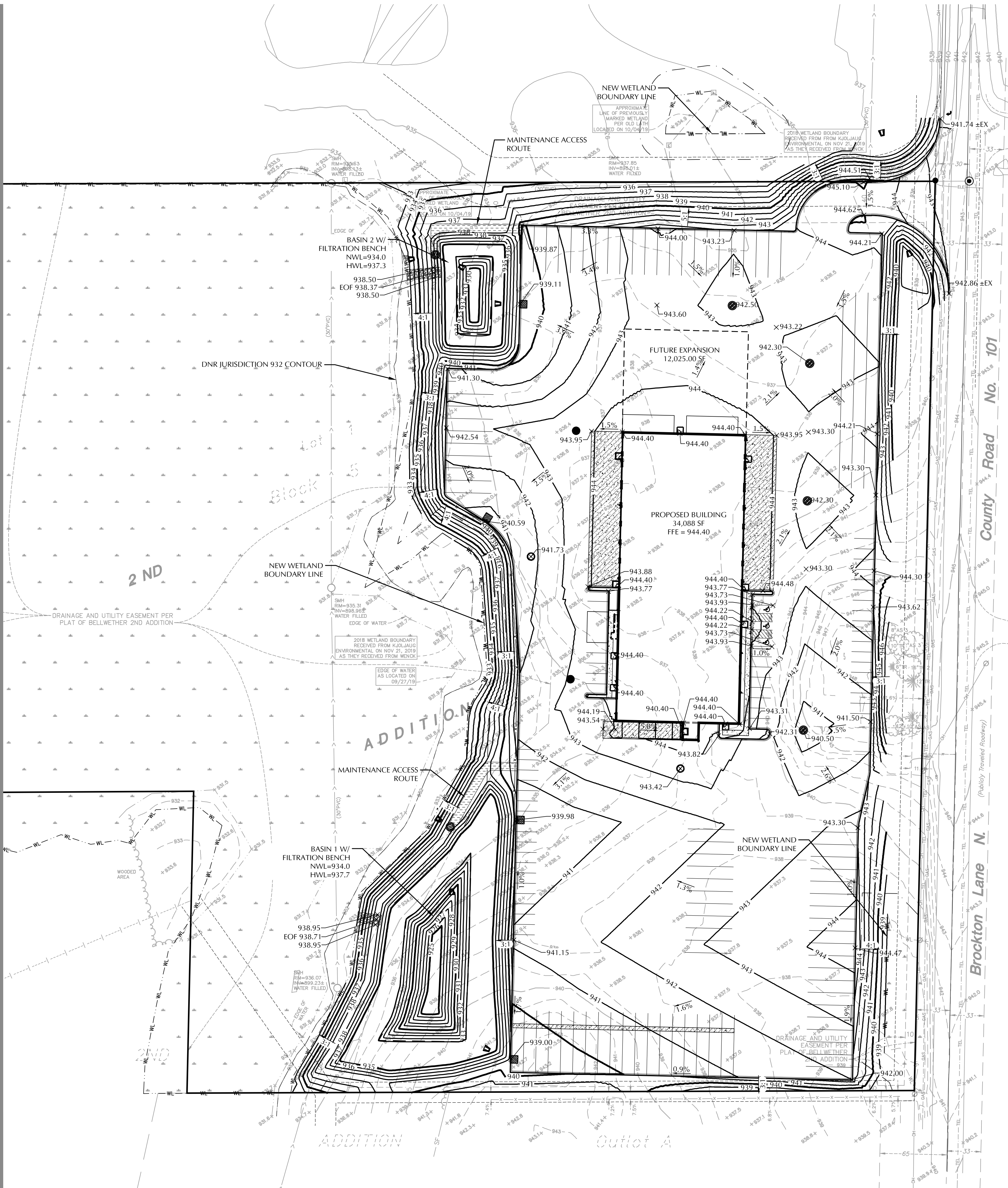
SITE PLAN
C2-1



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NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS
FROM A BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED BY LOUCKS, DATED DECEMBER 13, 2019.

GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- REFER TO THE GEOTECHNICAL EXPLORATION REPORT (REPORT NO. 20-22378), DATED APRIL 15, 2020 AS PREPARED BY AMERICAN ENGINEERING TESTING INC. FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, SANITARY SEWER, AND STORM SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- COMPACT SOIL WELL FOR BASIN AREAS BELOW FILTRATION BENCH.

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05/19/2020	CITY SUBMITTAL
07/13/2020	REV. CITY SUBMITTAL
08/17/2020	REV. CITY SUBMITTAL

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NOT FOR CONSTRUCTION
Vicki J. Van Dell - PE
License No. 41352
Date

QUALITY CONTROL

Locks Project No.	019758.0A
Project Lead	VJV
Drawn By	MJS
Checked By	VJV
Review Date	

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

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GRADING PLAN
C3-1

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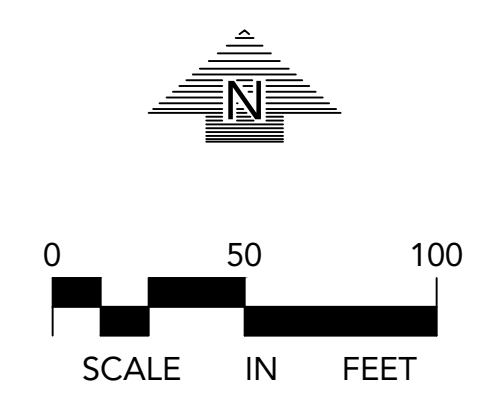
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QUALITY CONTROL

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Project Lead VJV
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C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

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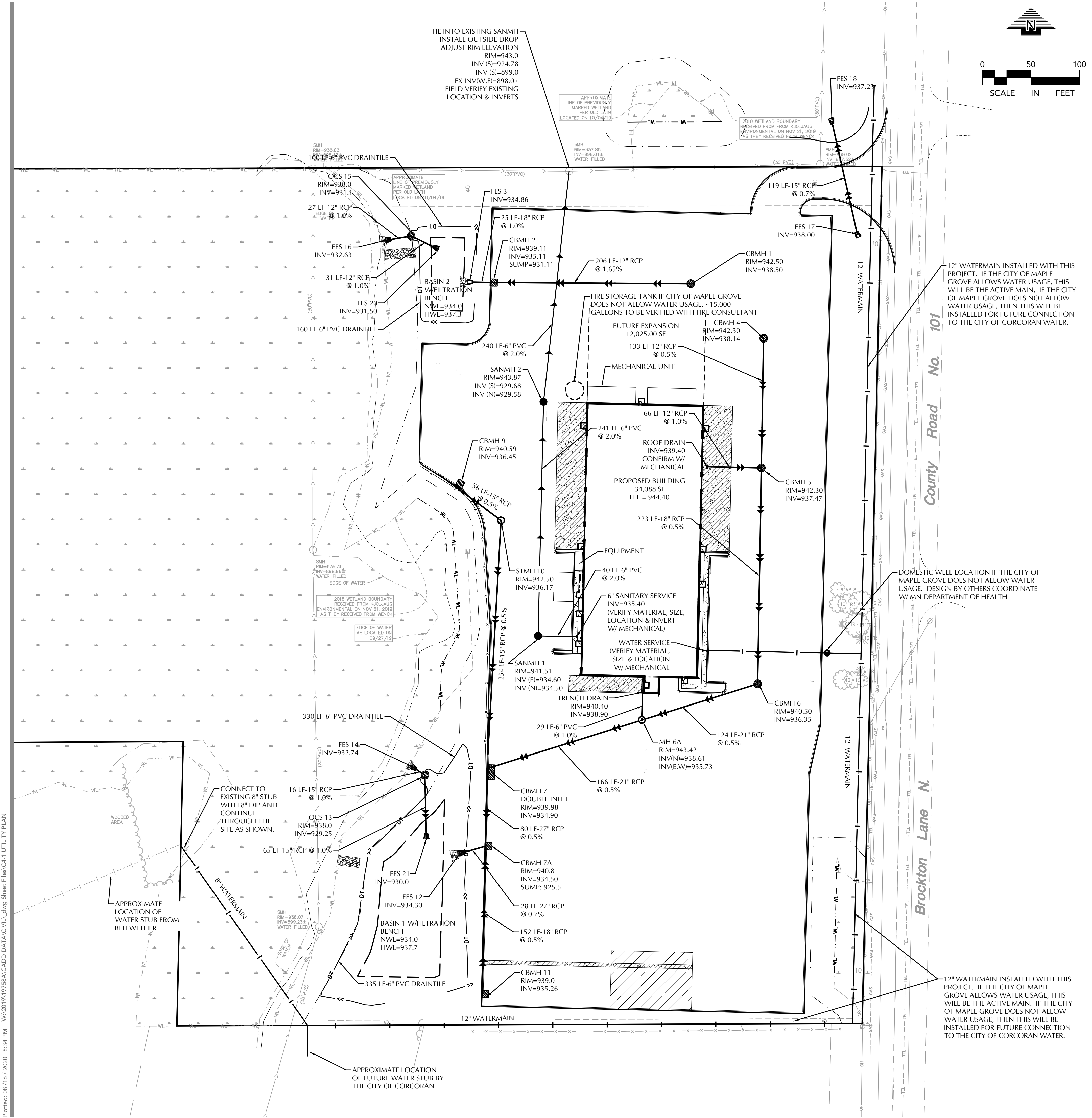


UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), LATEST EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCH. 40 PVC.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, CHAPTER 4714.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, CHAPTER 4714). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, CHAPTER 4714:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- SANITARY SEWER MATERIAL: PVC SDR 26
- WATERMAIN MATERIAL: WELL LOCATION AND DESIGN BY OTHERS. COORDINATE WELL INSTALLATION WITH MINNESOTA DEPARTMENT OF HEALTH. VERIFY WATER SERVICE SIZE, MATERIAL, AND LOCATION WITH MECHANICAL.
- STORM SEWER MATERIALS:

RCP	12" DIAMETER OR GREATER
PVC	6" DIAMETER

(ALL FLARED END SECTIONS TO BE RCP)



12" WATERMAIN INSTALLED WITH THIS PROJECT. IF THE CITY OF MAPLE GROVE ALLOWS WATER USAGE, THIS WILL BE THE ACTIVE MAIN. IF THE CITY OF MAPLE GROVE DOES NOT ALLOW WATER USAGE, THEN THIS WILL BE INSTALLED FOR FUTURE CONNECTION TO THE CITY OF CORCORAN WATER.

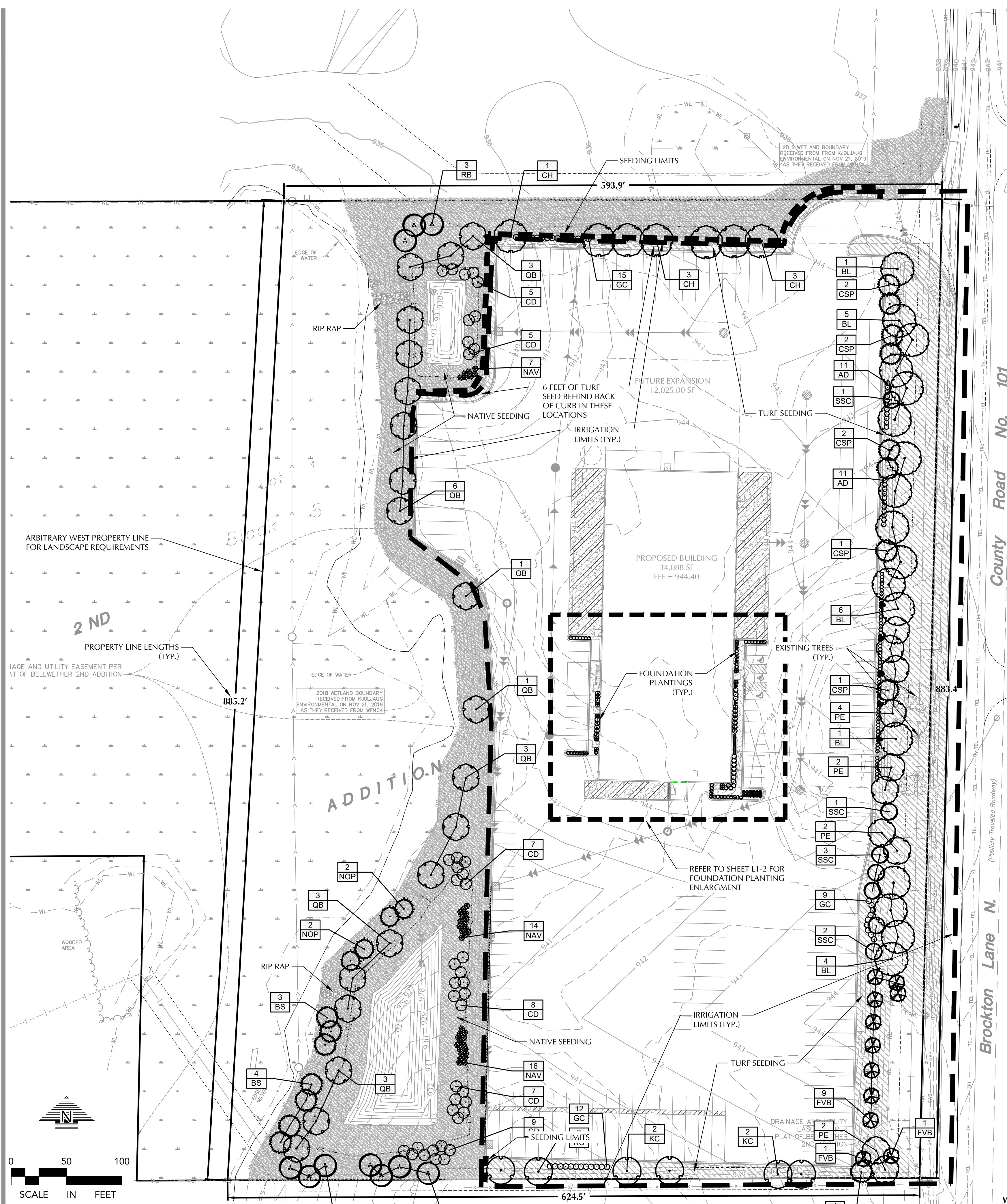


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NOTE:
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PLANT SCHEDULE			
DECIDUOUS TREES	CODE	COMMON NAME	BOTANICAL NAME
	BL	BOULEVARD LINDEN	Tilia americana 'Boulevard'
	CH	COMMON HACKBERRY	Celtis occidentalis
	KC	KENTUCKY COFFEETREE	Gymnocladus dioica
	PE	PRINCETON ELM	Ulmus americana 'Princeton'
	RB	RIVER BIRCH CLUMP	Betula nigra
	QB	SWAMP WHITE OAK	Quercus bicolor
EVERGREEN TREES	CODE	COMMON NAME	BOTANICAL NAME
	BS	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'
	CSP	COLORADO SPRUCE	Picea pungens
	NOP	NORWAY PINE FULL FORM	Pinus resinosa
ORNAMENTAL TREES	CODE	COMMON NAME	BOTANICAL NAME
	FVB	FOX VALLEY BIRCH	Betula nigra 'Little King' TM
	SSC	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME
	AH	ANNABELLE HYDRANGAEA	Hydrangea arborescens 'Annabelle'
	AD	ARCTIC FIRE DOGWOOD	Cornus sericea 'Arctic Fire'
	CD	CARDINAL DOGWOOD	Cornus sericea 'Cardinal'
	DH	DWARF BUSH HONEYSUCKLE	Diervilla lonicera
	DEV	DWARF EUROPEAN VIBURNUM	Viburnum opulus 'Nanum'
	GC	GLOSSY BLACK CHOKEBERRY	Aronia melanocarpa elata
	NAV	NANNYBERRY VIBURNUM	Viburnum lentago
	NFS	NEON FLASH SPIREA	Spirea japonica 'Neon Flash'
GRASSES	CODE	COMMON NAME	BOTANICAL NAME
	FG	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'
	SSG	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenandoah'
	LBL	THE BLUES LITTLE BLUESTEM	Schizachyrium scoparium 'The Blues'
PERENNIALS	CODE	COMMON NAME	BOTANICAL NAME
	RSD	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME
	SEED 2	MNDOT NATIVE SEED MndOT Seed Mix 34-261 Riparian South & West	
	SM 1	STONE MULCH CRUSHED GRAY ROCK 1/4" MINUS 3" - 4" DEPTH	
	SEED	TURF SEED MndOT Seed Mix 25-151 High Maintenance Turf	

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LANDSCAPE DATA:

CITY REQUIREMENTS:

- 1 OVERSTORY TREE PER 50 L.F. OF SITE PERIMETER.
- 1 UNDERSTORY SHRUB PER 30 L.F. OF SITE PERIMETER.
- NO MORE THAN 33% OF OVERSTORY TREES SHALL BE OF ONE SPECIES.

FRONT SETBACK REQUIREMENTS:
 PARKING SETBACK FLEXIBILITY - MINIMUM REQUIREMENT PER 100 FT. OF THE LENGTH OF PROPERTY.

- 1 OVERSTORY DECIDUOUS TREE PER 100 FEET.
- 1 OVERSTORY CONIFEROUS TREE PER 100 FEET.
- 2 ORNAMENTAL TREES PER 100 FEET.
- 10 UNDERSTORY SHRUBS PER 100 FEET.

NORTH PROPERTY LINE - 593.9 FEET
 594' / 50' = 12 OVERSTORY TREES
 594' / 30' = 20 UNDERSTORY SHRUBS

SOUTH PROPERTY LINE - 624.5 FEET
 625' / 50' = 13 OVERSTORY TREES
 625' / 30' = 21 UNDERSTORY SHRUBS

EAST PROPERTY LINE - 883.4 FEET
 883' / 50' = 18 OVERSTORY TREES
 883' / 30' = 29 UNDERSTORY SHRUBS

EAST PROPERTY LINE - PARKING SETBACK FLEXIBILITY REQUIREMENTS
 883' / 100' = 9 OVERSTORY DECIDUOUS TREES
 883' / 100' x 2 = 18 ORNAMENTAL TREES
 883' / 100' x 10 = 88 UNDERSTORY SHRUBS

WEST PROPERTY LINE - 885.2 FEET (*ARBITRARY LOCATION SET FOR REQ'S.)
 885' / 50' = 18 OVERSTORY TREES
 885' / 30' = 30 UNDERSTORY SHRUBS

TOTAL PLANTS REQUIRED:

OVERSTORY DECIDUOUS TREES	70
OVERSTORY CONIFEROUS TREES	9
ORNAMENTAL TREES	18
UNDERSTORY SHRUBS	188

TOTAL PLANTS PROVIDED:

OVERSTORY DECIDUOUS TREES	70
OVERSTORY CONIFEROUS TREES	20
ORNAMENTAL TREES	18
UNDERSTORY SHRUBS	260

* ARBITRARY LOCATION SET ON WEST SIDE TO INCLUDE UPLAND PROPERTY.

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

REFER TO SHEET L2-1 FOR FULL PLANT SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

IRRIGATION NOTES:

VERIFY EXISTING / PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.

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SUBMITTAL/REVISIONS

05/19/2020	CITY SUBMITTAL
07/13/2020	REV. CITY SUBMITTAL
08/17/2020	REV. CITY SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor or Professional Engineer of the State of Minnesota.
 Chad E. Felgum - LA 46508
 Date

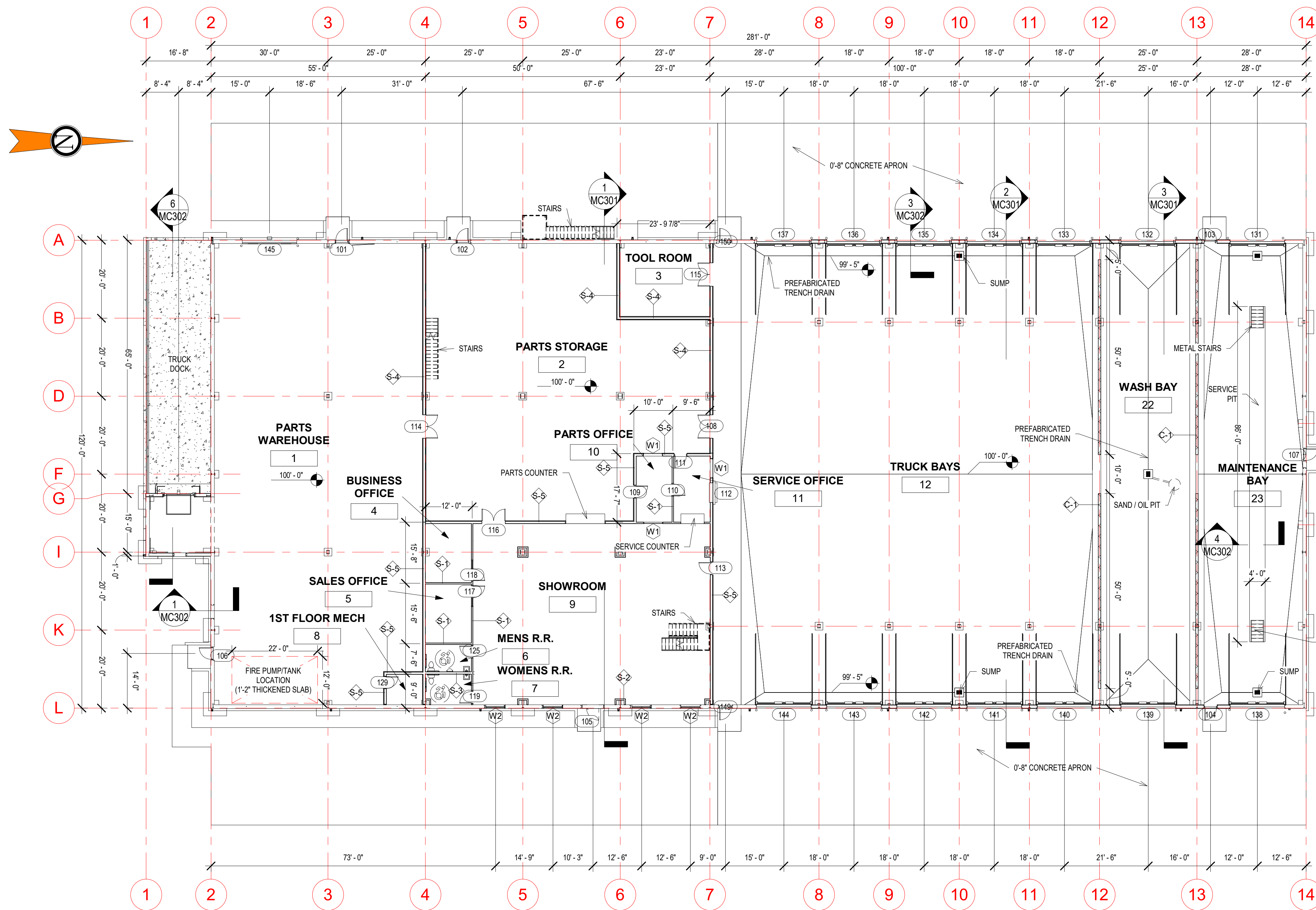
QUALITY CONTROL

Loucks Project No.	019758.0A
Project Lead	VJV
Drawn By	CEF
Checked By	CEF
Review Date	

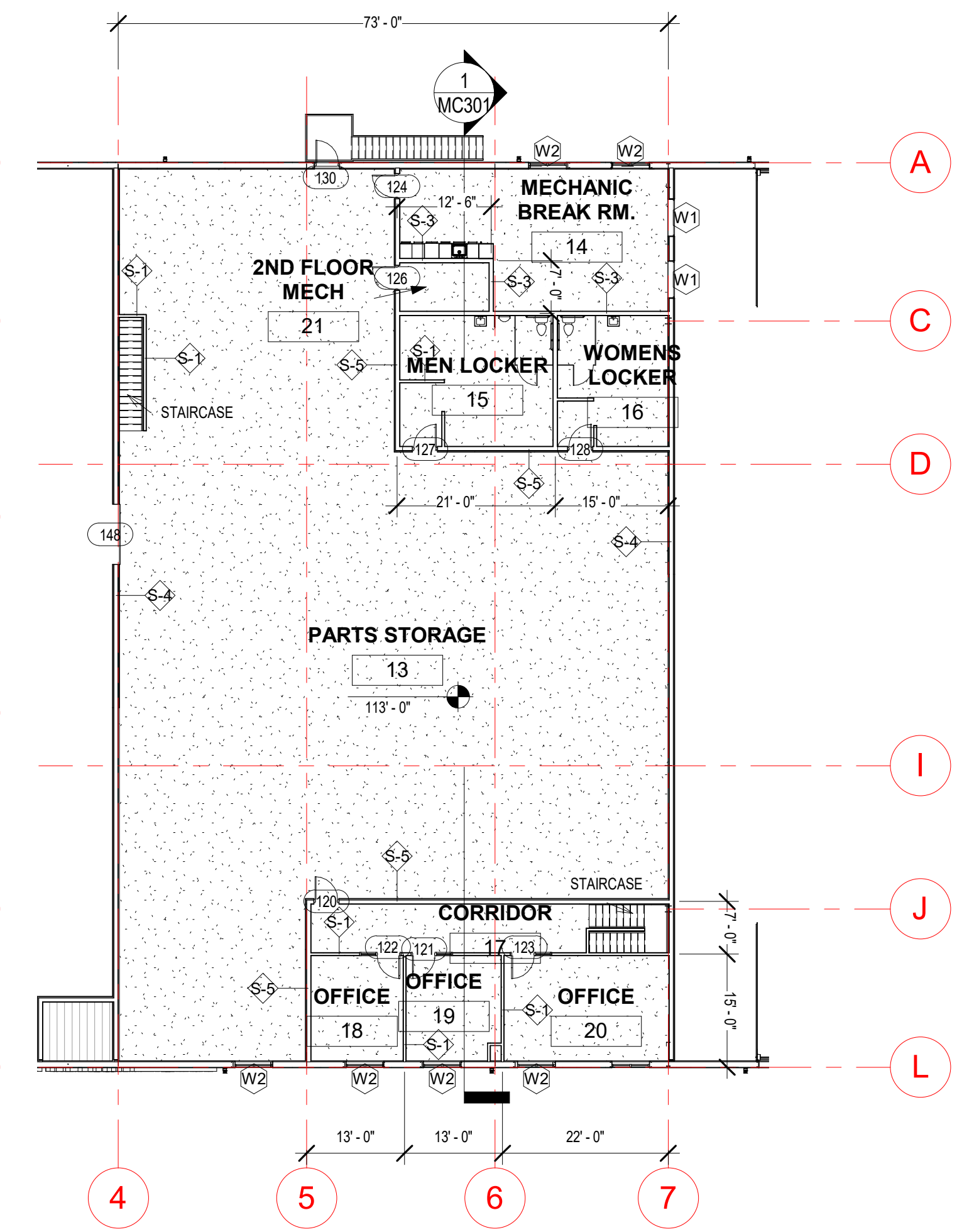
SHEET INDEX

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L1-2	FOUNDATION PLANTINGS
L2-1	LANDSCAPE DETAILS

LANDSCAPE PLAN
L1-1



1 Main Floor Plan
MC101 SCALE 1/16" = 1'-0"



2 2nd Level Floor Plan
MC101 SCALE 1/16" = 1'-0"

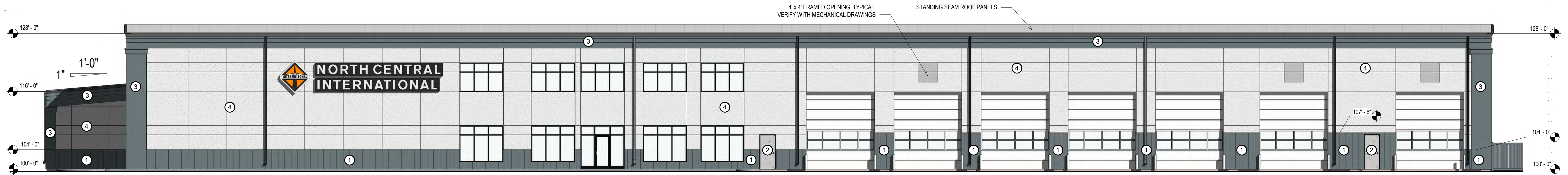
Nelson International
10409 Co Rd No 101, Concord, MN 55374

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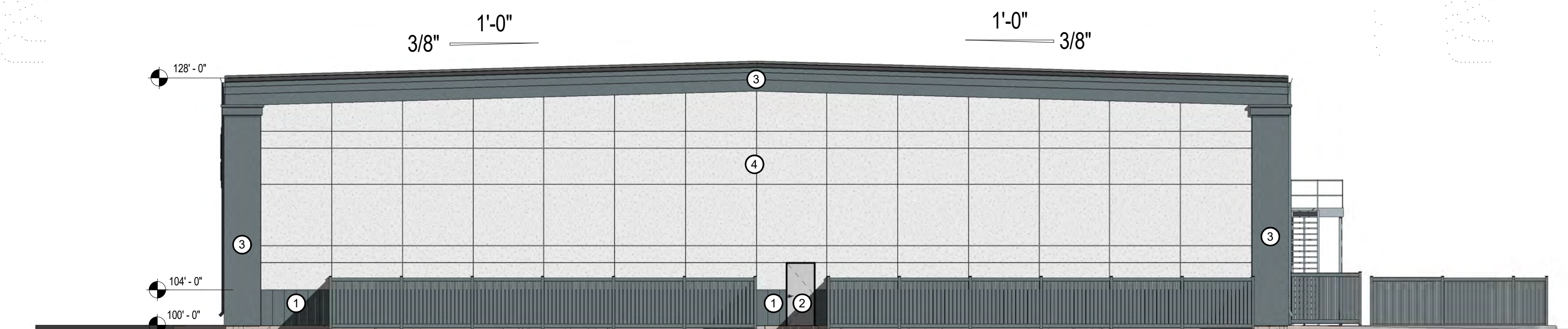
Version: 5
Revision: 3
Drafter: B.L.
Date: 20200626
Job Number: 201933

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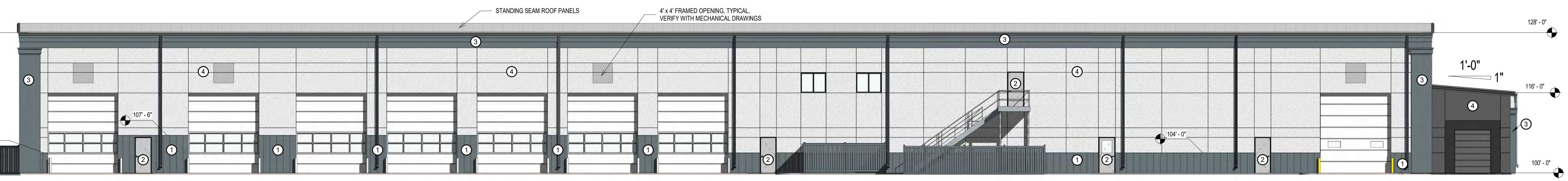
THIS SHEET MAY BE A REDUCED COPY. THE BAR BELOW IS 2" LONG ON A FULL SIZE SHEET. DRAWING SCALES APPLY TO FULL SIZE SHEETS.



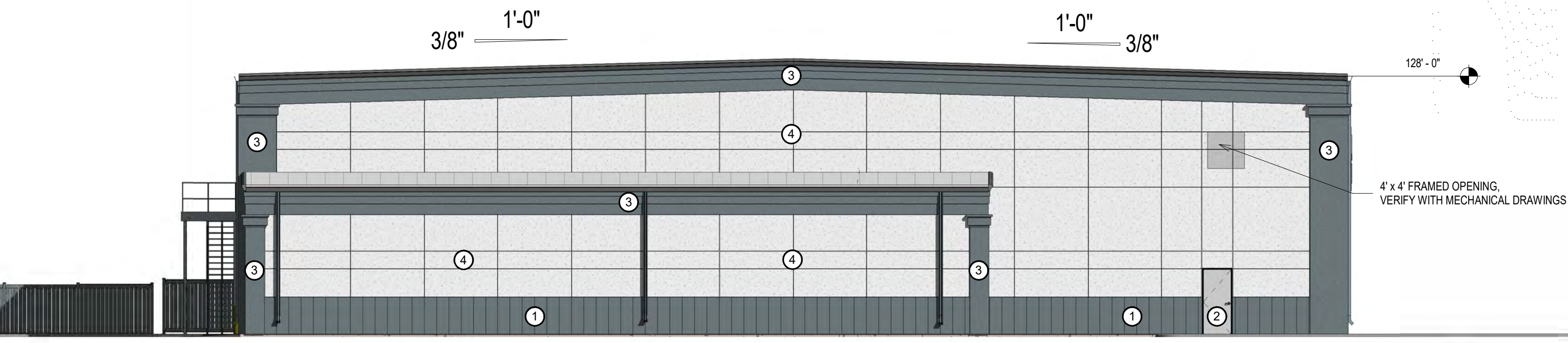
1 East (Facing 101)
MC201 SCALE 1" = 10'-0"



2 North
MC201 SCALE 1" = 10'-0"



3 West
MC201 SCALE 1" = 10'-0"



4 South
MC201 SCALE 1" = 10'-0"

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10409 Co Rd No 101, Concord, MN 55374

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Revision: 4
Drafter: B.L.
Date: 20200817
Job Number: 201933

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KEYNOTE LEGEND	
KEY #	KEYNOTE
1	TEXTURECLAD - COLOR: GRAY
2	NS-1 MEDIUM GRAY (SW 4030)
3	EIFS - COLOR: NS-2 DARK GRAY (SW 4018)
4	EIFS - COLOR: NS-3 LIGHT GRAY (SW 4028)

MATERIAL USAGE				
ELEVATION	TOTAL AREA	TOTAL AREA (LESS OH DOORS)	TEXTURECLAD	PERCENTAGE
EAST	7,584 SF	6,556 SF	740 SF	11.2%
NORTH	3,144 SF	3,144 SF	437 SF	13.8%
WEST	7,584 SF	5,681 SF	730 SF	12.8%
SOUTH	3,144 SF	3,144 SF	437 SF	13.8%

Exterior Elevations

MC201



Southeast Perspective



Northeast Perspective

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Exterior Perspectives

MC901



Northwest Perspective



Southwest Perspective

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10408 Co Rd No 101, Concord, MN 55374

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Exterior Perspectives

MC902



SITE ADDRESS:

10409 County road 101
Corcoran, MN 55311-9999



mcgroup-icon.com

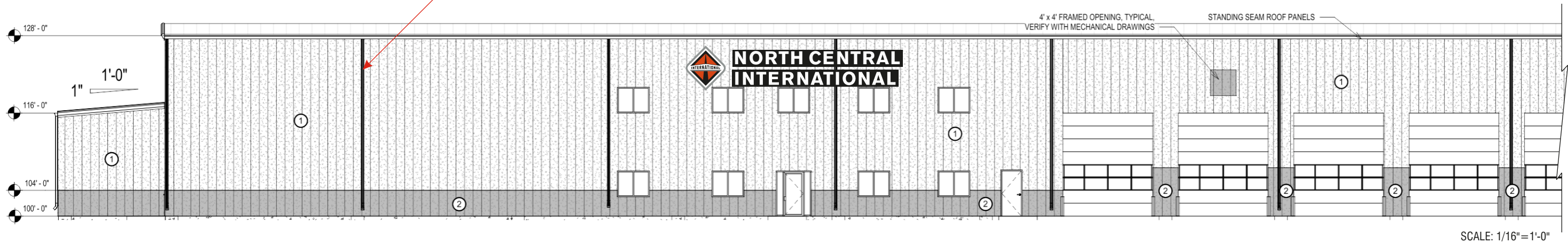
SIGN 2



TYPE: CUSTOM WLNL-7 / DNNL-24 / NL-24
 NON-ILLUMINATED DIAMOND LOGO WALL SIGN &
 NON-ILLUMINATED INDIVIDUAL LETTERS

SCALE: 1/4"=1'-0"

NOTE:
 DOWN SPOUT
 OBSTRUCTION




8959 Tyler Boulevard
 Mentor, Ohio 44060
 800.627.4460
 mcgroup-icon.com


1701 Golf Road 1-900
 Rolling Meadows, IL 60008
 877.740.4266


CLIENT: 


ADDRESS: 


PAGE NO. 4

P.O. NUMBER: 

SITE NUMBER: 

ELECTRONIC FILE NAME: 

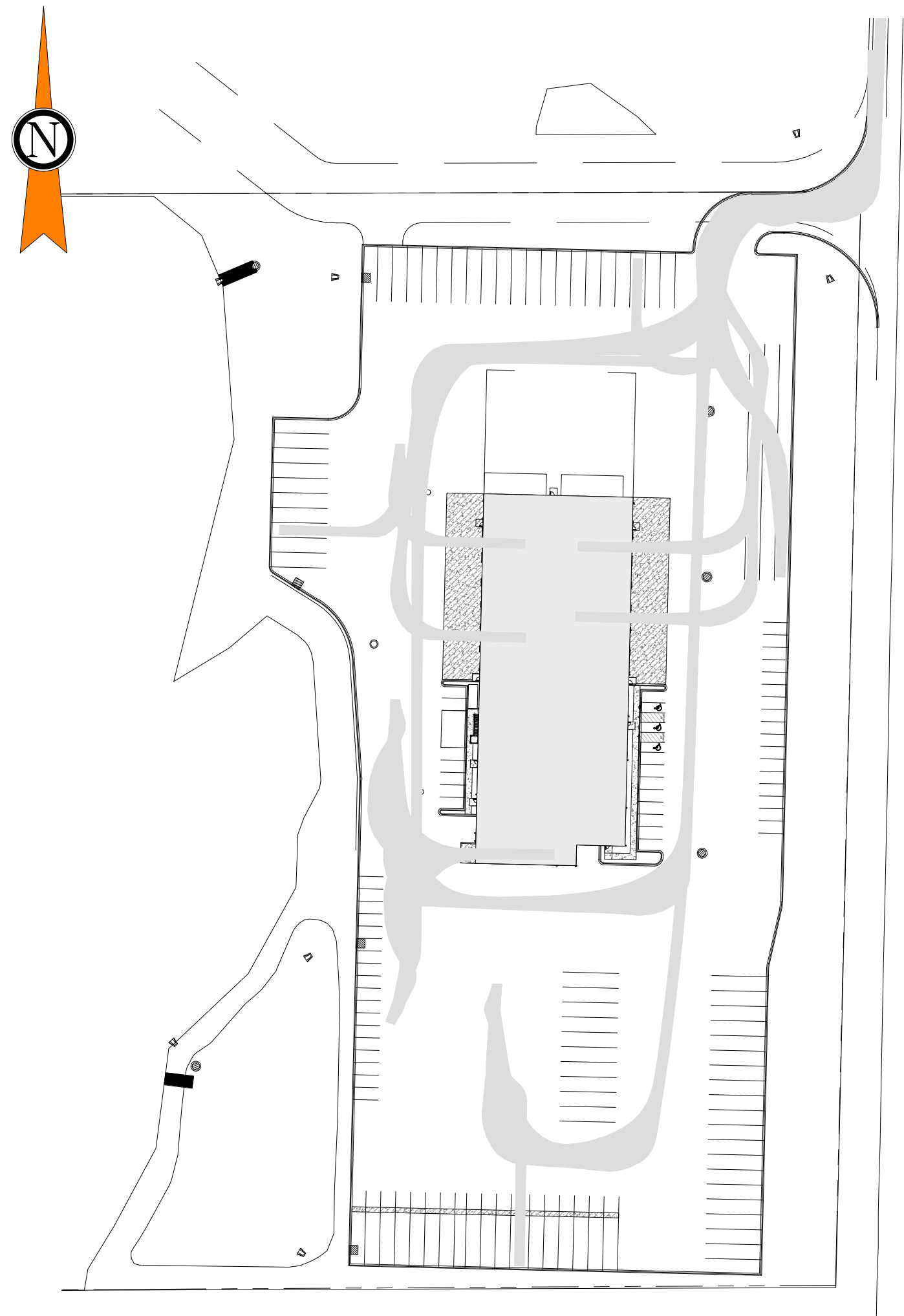
PROJECT NUMBER: 

PROJECT MANAGER: 

Rev #	Req #	Date/Artist	Description
Original	327926	07/09/20 KWK	
Rev. 1	328174	07/13/20 KWK	
Rev 2	328621	07/31/20 KP	
Rev 3	329058	08/14/20 KP	

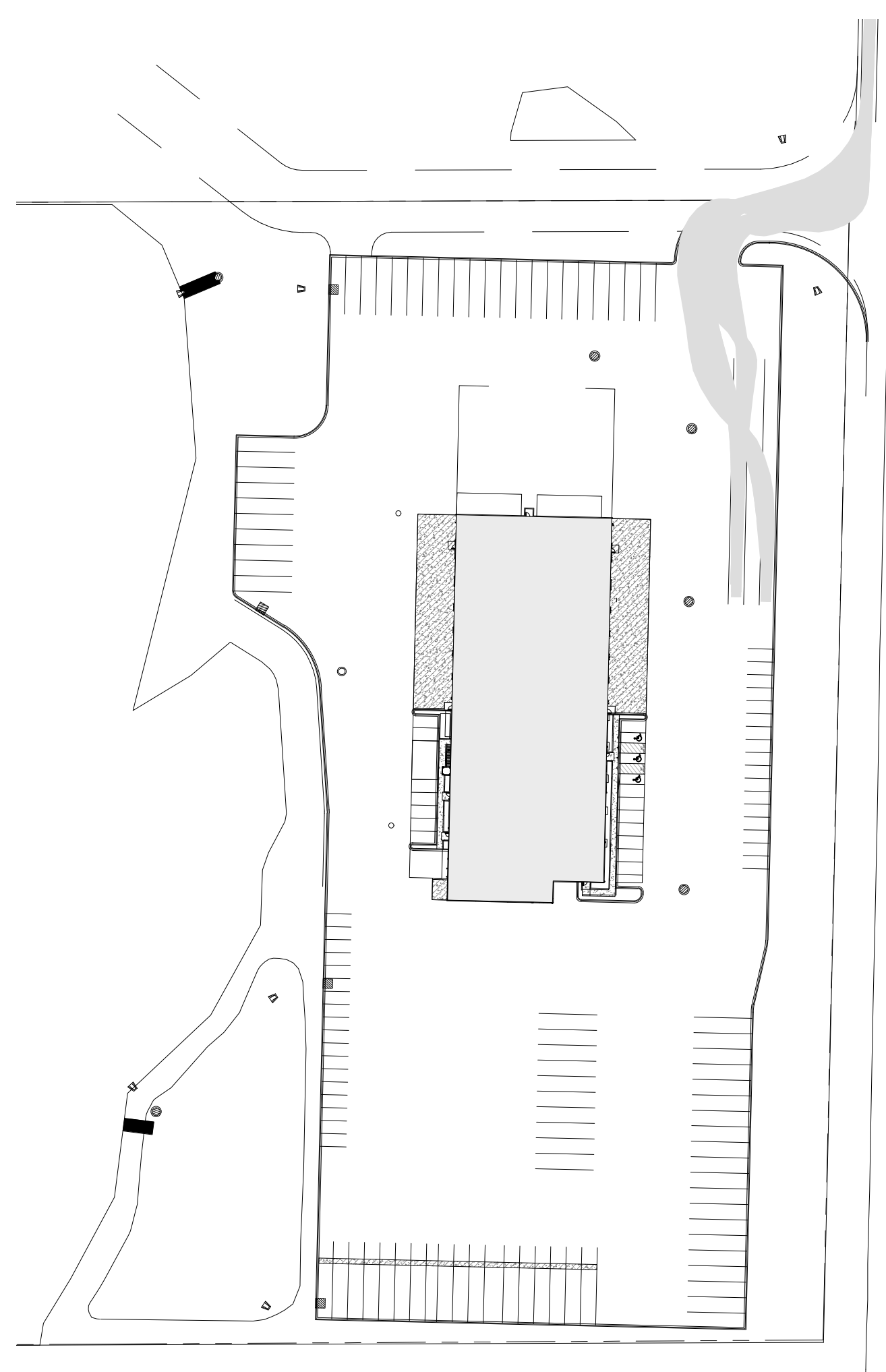
Rev #	Req #	Date/Artist	Description

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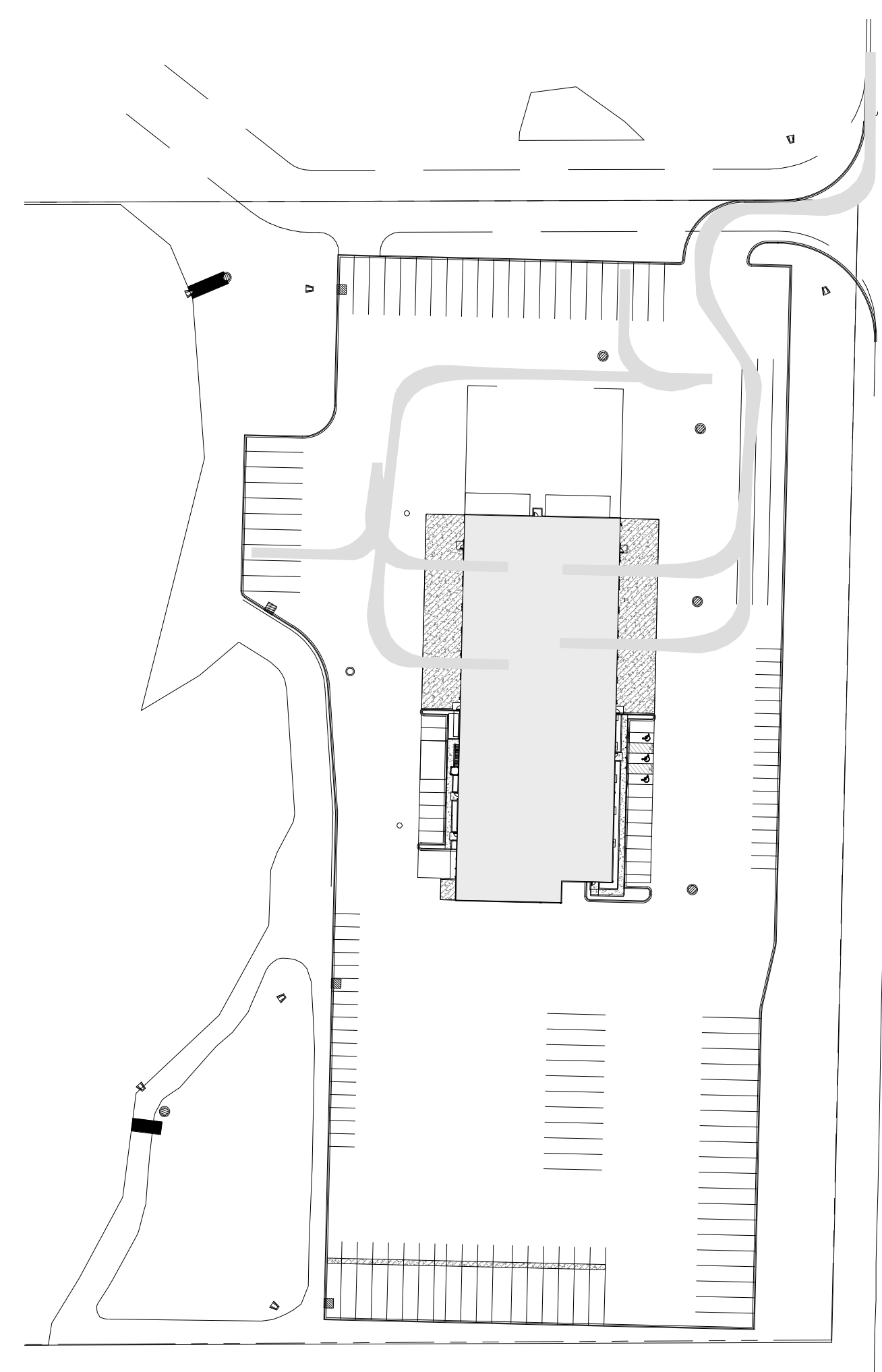
1 Site Plan - Vehicle Tracking

MC801 SCALE 1" = 100'-0"



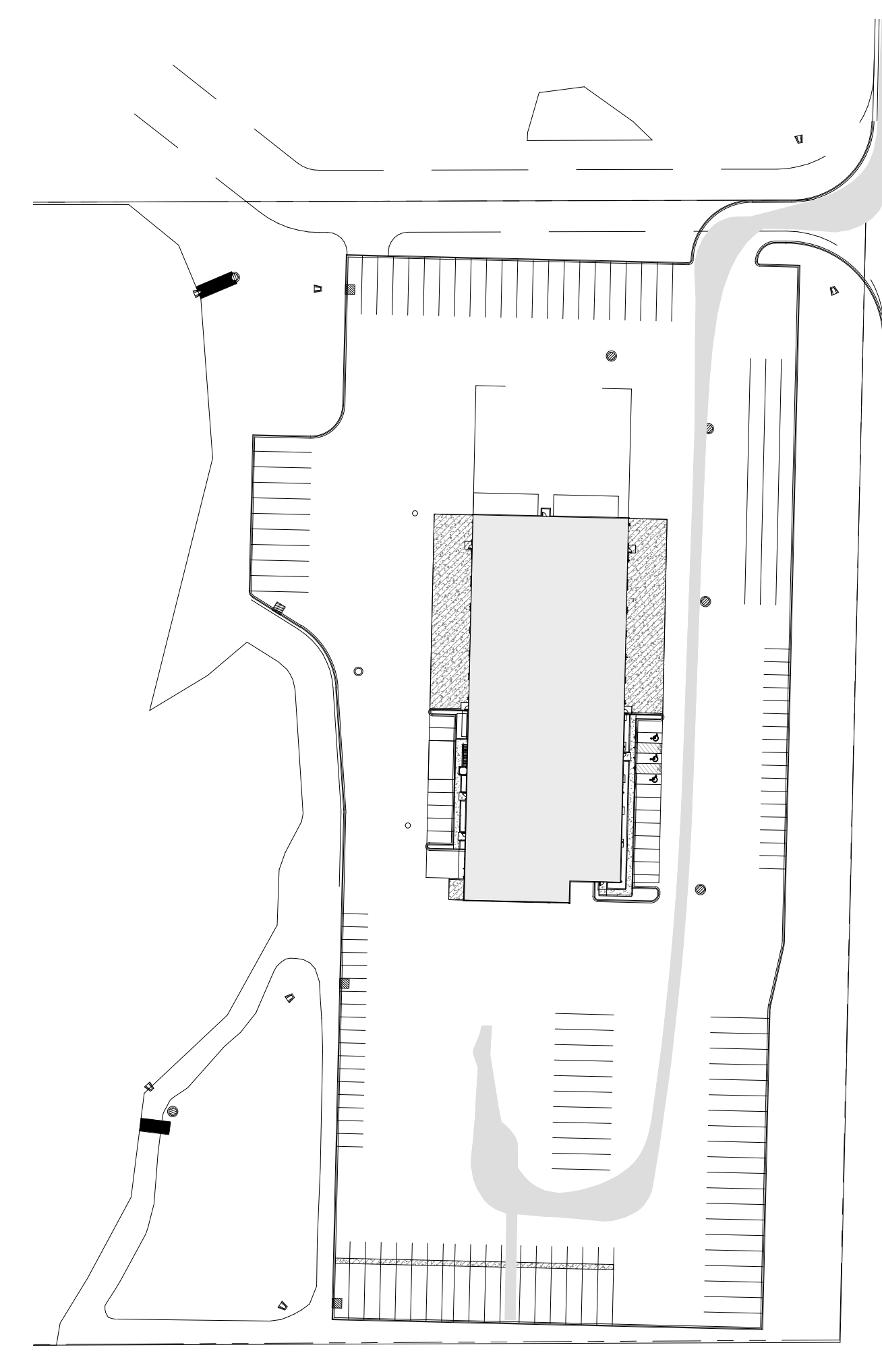
2 Staging

MC801 SCALE 1" = 100'-0"



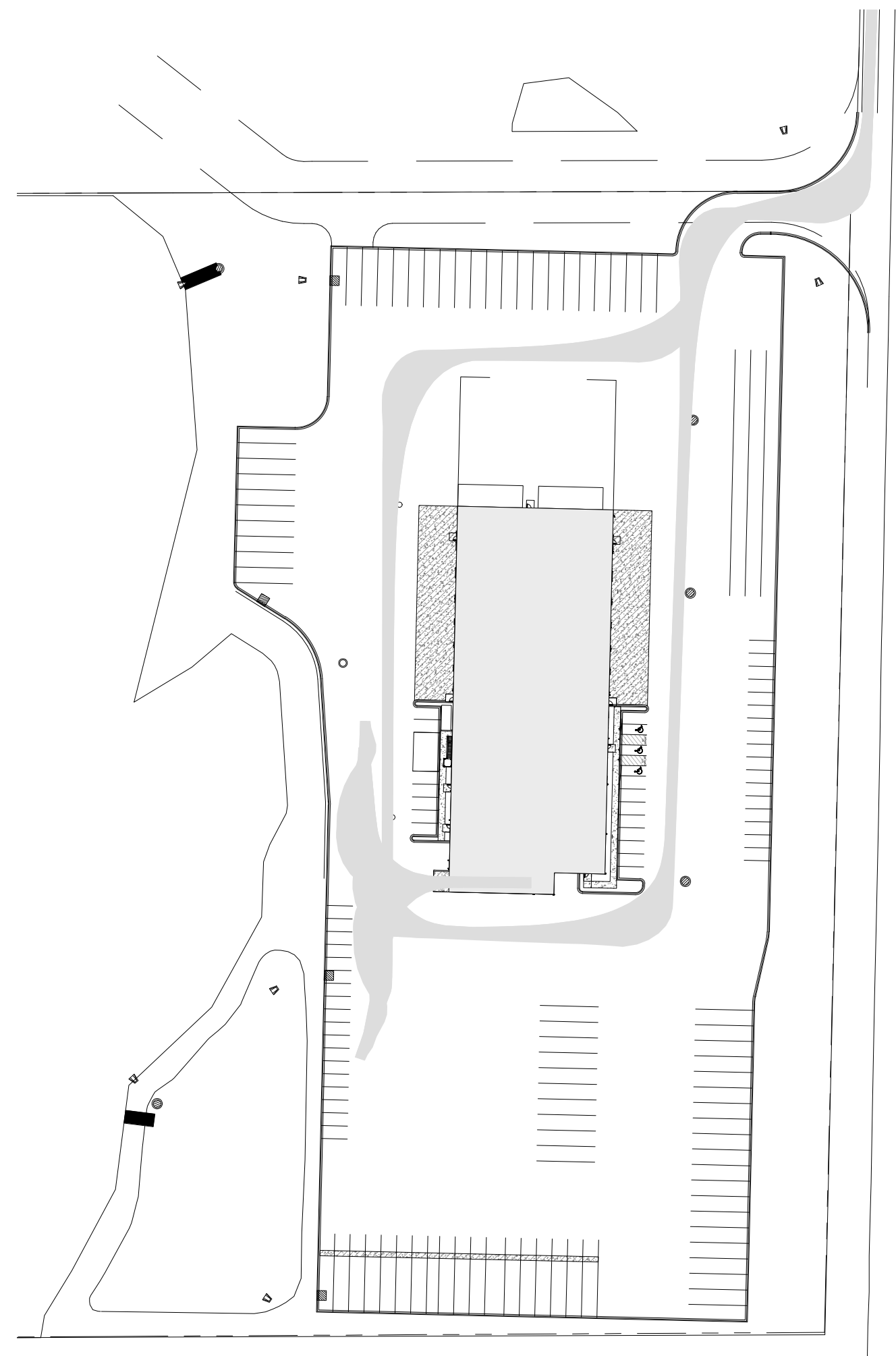
3 Service

MC801 SCALE 1" = 100'-0"



4 Trailer Parking

MC801 SCALE 1" = 100'-0"



5 Loading Dock

MC801 SCALE 1" = 100'-0"

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Date: 20200817
Job Number: 201933

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Site Plan - Vehicle Traffic

MC801

Nelson International Sound Source Control Plan

The following will discuss the Sound Source Control Plan (SSCP) for the proposed Corcoran Truck Dealership location.

The main emitters of sound from a Truck Dealership are outdoor PA systems, shop air tools, and trucks running outside for diagnostic purposes.

We do not plan to have an outdoor PA system at this location.

Shop air tools will be equipped with a sound muffling system that is commonly used to reduce emitted noise. The Service Department will be air conditioned so during the hottest days the doors will be closed reducing sounds emitted. During more moderate temps the doors may be open but the muffling system on the air tools will significantly reduce emitted sound. Air tools are normally used for short periods so prolonged sound output is rare.

Truck repair sometimes require the truck to idle outdoor for a period of time in order to run a diagnostic routine. Modern trucks have to meet very strict emission and sound output levels. The exhaust systems are very complicated emission control devices that not only clean the exhaust they are very efficient at reducing sound output. The days of loud exhaust systems on trucks are gone except on older trucks that we seldom work on. We have a designated area in the parking lot to run the truck for diagnostic procedures that will keep the sounds emitted to a minimum.

The facility will have landscaping trees and shrubs around the perimeter per City Code. This landscaping should help lower sounds emitted from the property.

Ryan Nelson
Nelson International

willmar overhead shots

Description
650 feet from shop to
property of red house

Taken Date
2020/08/11 08:03:27

Upload Date
2020/08/11 08:08:28

Uploaded By
Steve Dresler

File Name
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willmar overhead shots

Description

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2020/08/11 07:57:39

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2020/08/11 08:08:23

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File Name
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willmar overhead shots

Description

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2020/08/11 07:57:10

Upload Date
2020/08/11 08:08:25

Uploaded By
Steve Dresler

File Name
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willmar overhead shots

Description

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2020/08/11 07:56:54

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2020/08/11 08:08:16

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Steve Dresler

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willmar overhead shots

Description

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2020/08/11 07:56:15

Upload Date
2020/08/11 08:08:18

Uploaded By
Steve Dresler

File Name
[org_3550efab62c555f6_...](#)



willmar overhead shots

Description
380 feet from shop to
Marcus office

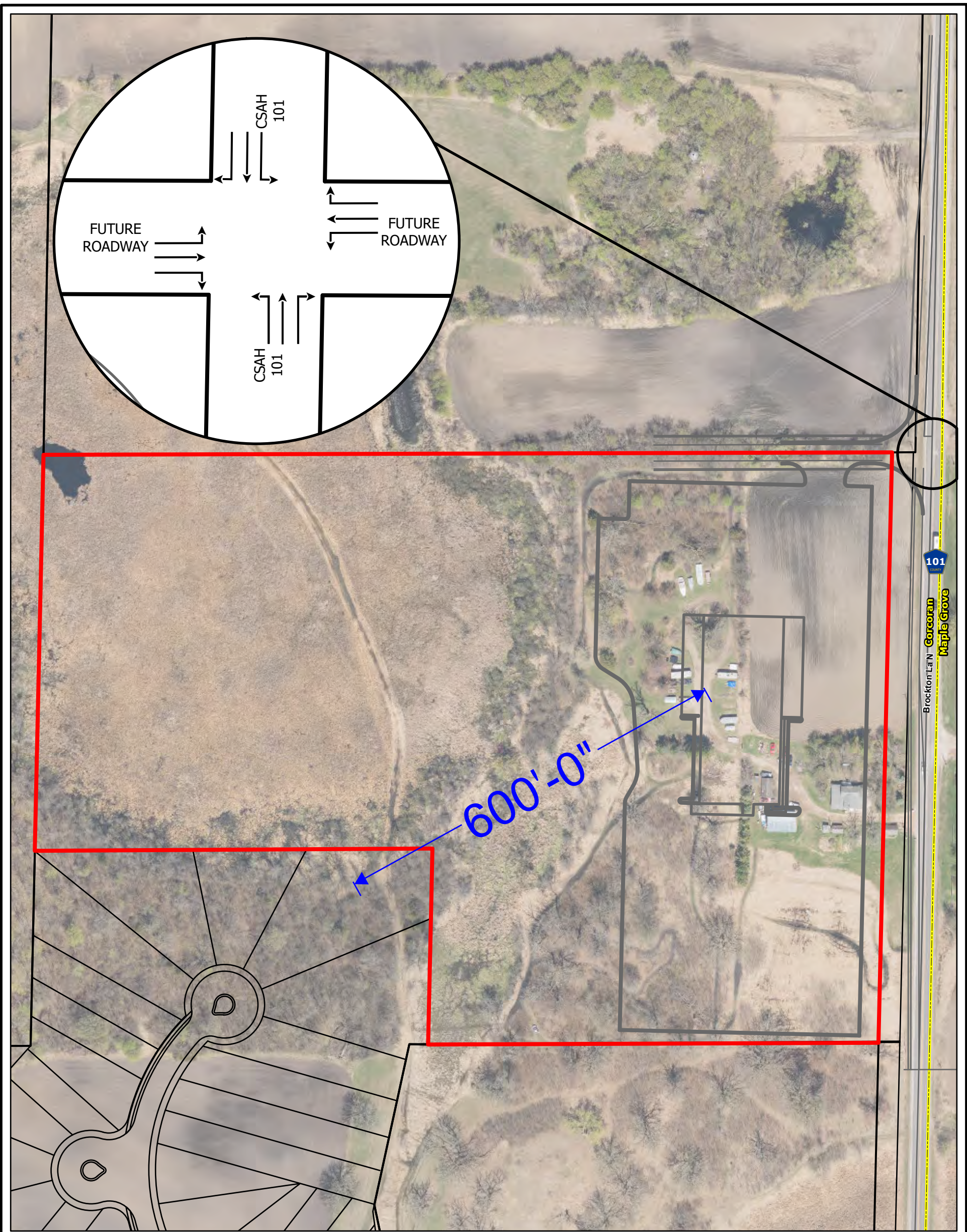
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Uploaded By
Steve Dresler

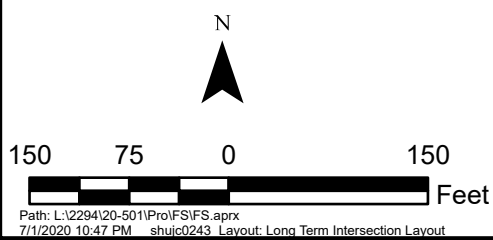
File Name
[org_d7b588ea4fdd70ef_...](#)





Legend

- Property Boundary
- Parcels



Path: L:\2294\20-501\Pro\F\FS.aprx
7/1/2020 10:47 PM shujic0243 Layout: Long Term Intersection Layout



MAYOR AND COUNCIL

City Office Building
Box 755
Willmar, Minnesota 56201
320-235-4913
FAX 320-235-4917

August 12, 2020

Support Nelson International

It is my great pleasure to write this letter of support for Nelson International, 2700 Highway 12 East, Willmar, MN and their proposed development project in the City of Corcoran, MN.

The Nelson International facility was originally constructed at their current site in 1962 and was platted in 2008 as the "Landmark Business Park." The property is adjacent to and south of US Highway 12 and is located in close proximity to US Highway 71/23, to the east. The property is zoned commercial and light industrial.

The Nelson International site is adjacent to residential developments to the south and southwest. The main sales/maintenance building is approximately 650 feet from the south residential property line and approximately 720 feet to the southwest residential property line. The south residential development was platted in 2005 and consists of single family dwellings. The southwest residential development was platted in 2009 and consists of single family, duplex, and quad units.

After a review of the files, the Willmar Police Department and the Building Inspections (Code Enforcement) Departments have no record of any complaints regarding Nelson International sales or maintenance operations.

Nelson International is a valued member of Willmar's business community, and I would highly recommend them to the City of Corcoran.

Warm regards,

Mayor Marv Calvin
City of Willmar

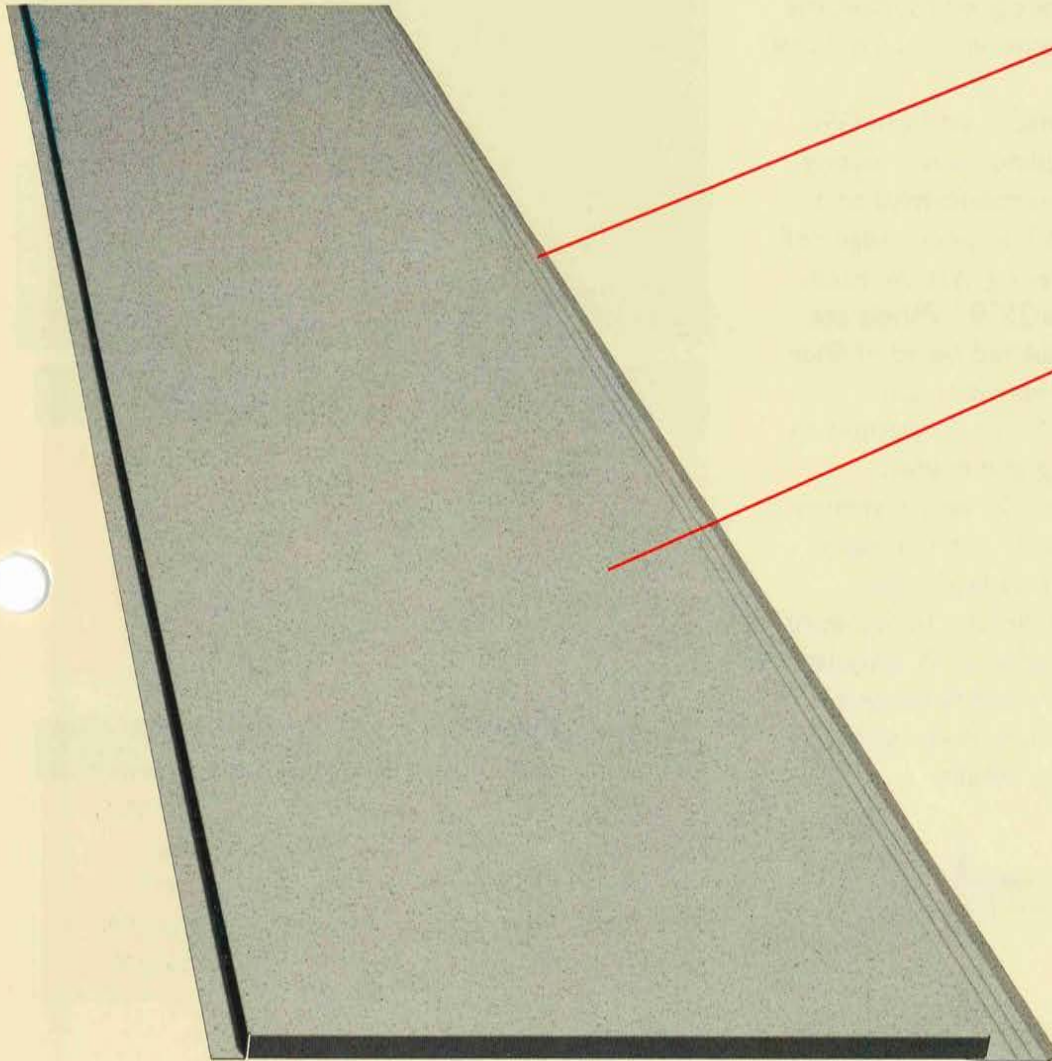
VP TEXTURECLAD PANELS

STYLE

**TEXTURED STUCCO
FINISH**

FEATURES

THE RICH TEXTURE OF STUCCO WITH
THE CONVENIENCE OF A METAL WALL
PANEL SYSTEM.



Interlocking side joint.

**Easy installation with
concealed fasteners.**

**Factory applied stucco
textured finish.**

Panels to 25' length.

20 year finish warranty.

Fifteen standard colors.

Lightweight, unique, economical and lasting durability describe VP Components TextureClad wall panels. These panels combine a unique blend of polymer/aggregate textured stucco with 20 gauge steel to provide a cost effective stucco finished wall panel system. TextureClad is easily installed with concealed fasteners and a complete assortment of color-matched trims and flashings are available.



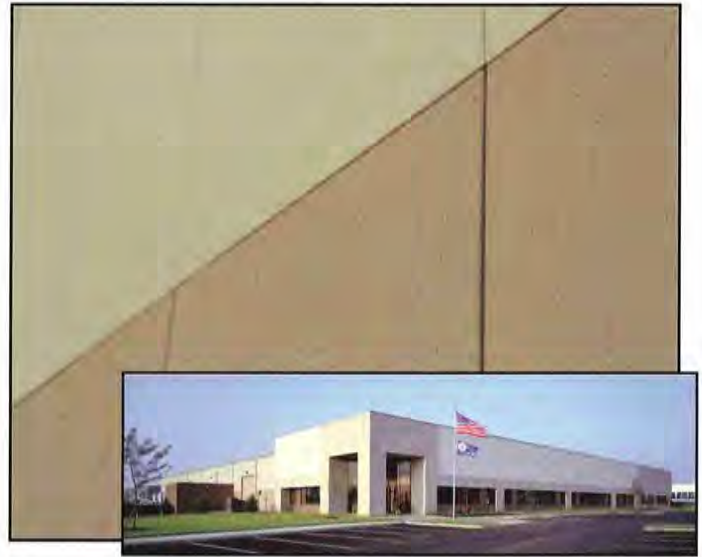
PRE-FINISHED PANELS ARE EASY TO ASSEMBLE AND CAN BE INSTALLED REGARDLESS OF CLIMATE OR WEATHER CONDITIONS

TEXTURECLAD

TextureClad combines the rich look of textured stucco with the strength and durability of 20 gauge steel to create a stackable, lightweight, easy to install, exterior wall system. Panels are designed to meet the demands of local building ordinances where traditional metal wall panels are prohibited.

TextureClad panels are manufactured from G90 galvanized steel with a factory applied epoxy coating face and back. Panels are precision roll-formed to a 18" (16" coverage) wide panel with a special edge roll which allows for a concealed fastening system. Panel lengths are available from 2' 0" to 25' 0." Panels are then coated with a specially formulated blend of fiber reinforced polymer/aggregate composition and oven cured to insure added durability. Finish is resistant to water, cracking, checking, chalking and mildew. TextureClad finish is backed with a 20 year warranty.

TextureClad panels can be used as the primary wall covering or accent areas such as fascia and canopies. Panels can be attached directly to standard wall girts with up to 6" of batt insulation. A complete assortment of color matched trims and flashings are also available to complete the system. Refer to the TextureClad Installation Guide for details.



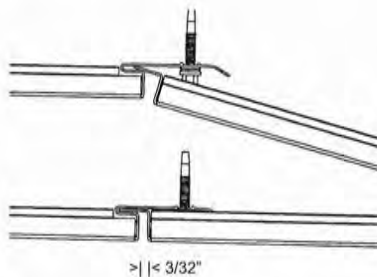
FEATURES

- 16" wide coverage.
- Lengths from 2'0" to 25'0".
- Concealed fastener installation.
- Economical.
- Factory applied stucco finish.
- Color-matched accessories.
- Lightweight 2 lbs/sq. ft.
- Low maintenance.
- Durable.

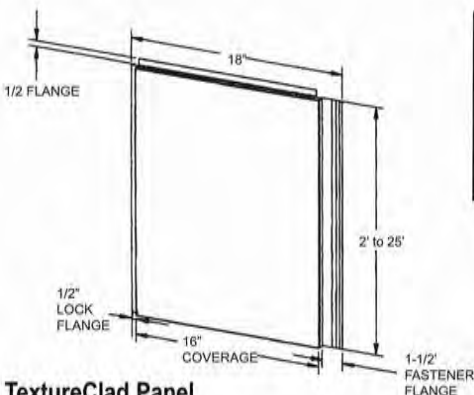
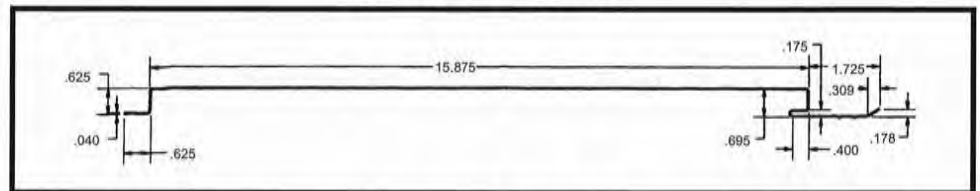
STANDARD COLORS

- Adobe
- Ash
- Dune
- Dusk
- Everest
- Gray
- Hacienda
- Horizon
- Mesa
- Olive
- Pueblo
- Sky
- Slate
- Summer
- Sunset

TextureClad Installation



TextureClad Cross Section



VP Components
 Dallas, TX
 1-888-983-7663
 1-800-285-3150 FAX
<http://www.vpcomp.com>



TextureClad Wall Panel Colors

Long-Term Beauty • Unmatched Protection • Superior Quality

... You Get All Three

White



Haze



Steel



Gray



Plantation



Emerald



Metal



Mint



Terrain



Doeskin



Driftwood



Cocoa



Surf



Mist



Platinum



Cloud



Tan



Sand



Tawny



Wheat



Fog



Shrimp



Salmon



Gold



NOTE: These color chips are to give a basic representation of standard colors. Slight variations may occur between sample materials and finished product. Samples are not intended to show texture of actual panels.

VP TextureClad Wall Panel Finish

The VP TextureClad finish is a special fiber-reinforced Polymer/aggregate coating that is factory applied and oven cured to provide an attractive and durable finish permanently bonded to a roll-formed panel.

TEST	TEST METHOD*	TEST RESULTS
QUV Weatherometer	ASTM G 154-00, 1000 Hours ASTM D4214-98	No visual color changes. Chalking #8.
Humidity Test	ASTM D2247-97, 1000 hours	No change in hardness or other observable properties after 48 hours recovery.

*Laboratory testing was conducted in accordance with standard accepted procedures utilized in the painting industry per American Society for Testing Materials (ASTM).

The test methods used were:

- ASTM G154-00, Standard Practice for Operating Fluorescent Light Apparatus for UV Exposure of Nonmetallic Materials.
- ASTM D4214-98, Standard Test Methods for Evaluating Degree of Chalking of Exterior Paint Films.
- ASTM D2247-97, Standard Practice for Testing Water Resistance of Coatings in 100% Relative Humidity.

Actual paint colors may vary. Colors in this guide are a close representation of the products offered, but may not be an exact match. VP Buildings reserves the right to change color offerings shown here without notice. Metal panel samples are available upon request.

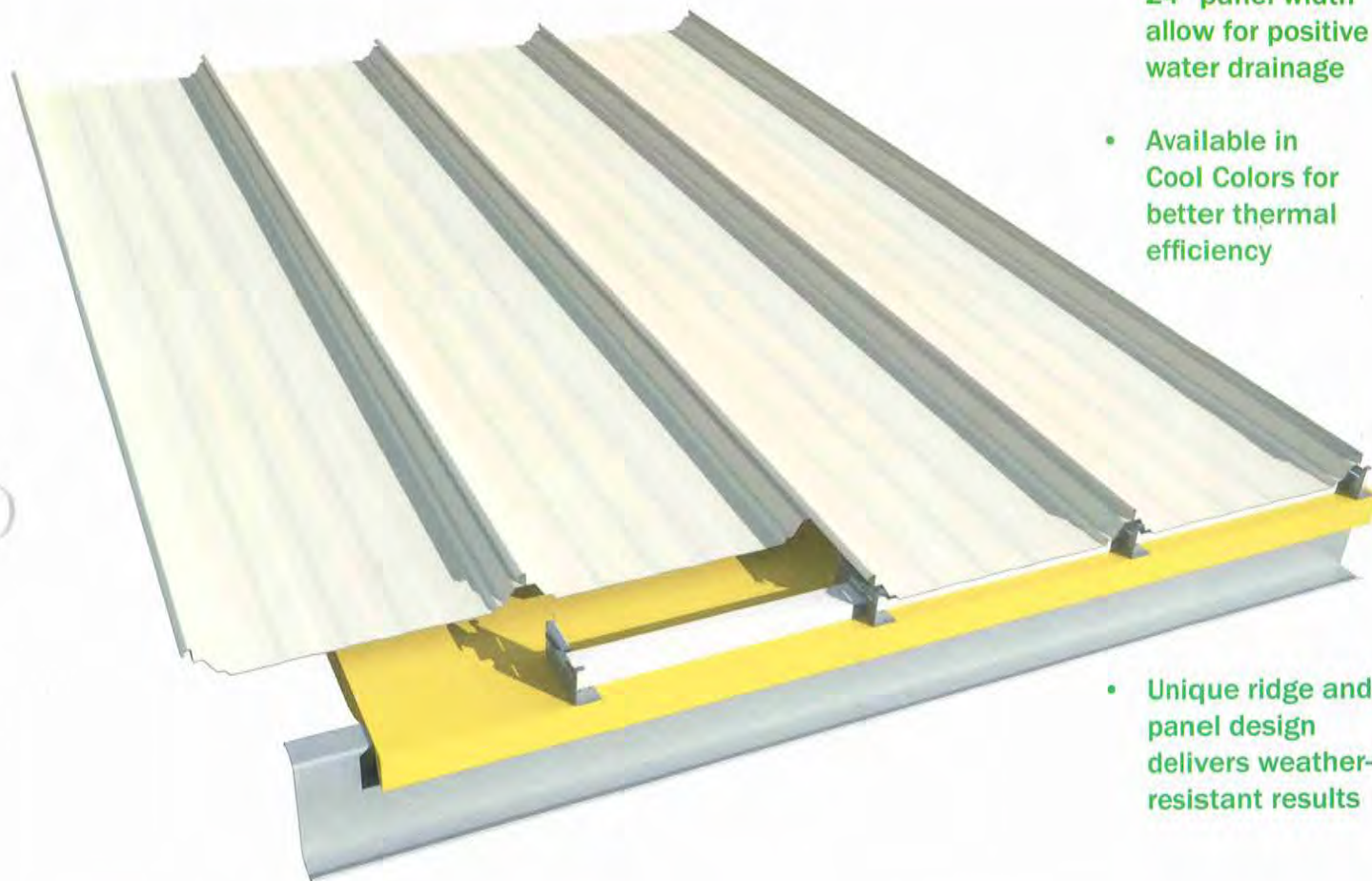
Note: Oil canning in the flat areas of panels is inherent of coil steel products and shall not be cause for product refusal. All color formulations changed in 2004. Contact VP with regard to prior formulations.



VP Buildings
3200 Players Club Circle
Memphis, TN 38125
1-901-748-8000
vp.com
6023 Revised 9/04 Spectrum

VARCO PRUDEN ROOF SYSTEMS

STYLE	FEATURES
SSR ROOF SYSTEM	INTERLOCKING PANELS PROVIDE LONG TERM WEATHERTIGHT PERFORMANCE FOR LOW-SLOPE ROOF APPLICATIONS



- 3" high ribs and 24" panel width allow for positive water drainage
- Available in Cool Colors for better thermal efficiency
- Unique ridge and panel design delivers weather-resistant results

SSR roof panels combine utility and value while meeting high-performance requirements. The panels are mechanically seamed to a full 360° interlock for superior weathertightness.



BUILD SMART BUILD GREEN WITH VP
RECYCLED STEEL COOL PAINTS ENERGY SAVING INSULATION



SSR PANELS COMBINE THE STRENGTH OF STEEL WITH SUPERIOR DESIGN AND LONG-LIFE FINISHES FOR YEARS OF TROUBLE-FREE PERFORMANCE

SSR ROOF SYSTEM

If you are looking for value with durability, VP's SSR Standing Seam Roof offers economical construction and superior performance backed by an available 20-year weather-tightness warranty.

SSR panels come standard in 24-gauge steel, with 22-gauge optional, all with standard Galvalume® finish. See VP's Standard Wall & Roof Colors (#6021) for KXL finish selections. The KXL paint system is a PVDF finish applied to the Galvalume® surface to give a long-life color that resists fading and chalking. KXL is a 1 mil nom. PVDF finish with 70% Kynar® 500 or Hylar® 5000 standard. Standard roof pitches range from 1/4":12" up to 4":12", to achieve the roof slope you desire.

SSR panels are factory-formed and field-machine seamed in place yielding a single unit membrane. The patented SSR ridge system is efficiently installed requiring only one weather-sealed joint. The special clips used to attach SSR panels to structural members are designed to allow panel movement up to 1-5/8" inch in either direction (or up to 3-1/4" movement) to compensate for thermal effects.

VP's concealed clips minimize the need for through-the-roof fasteners. UL Class 90 rating for wind uplift and FM Class 1-60, 1-90 and 1-120 ratings are available for most applications.

SSR panels can accommodate up to 6 inches of faced fiberglass blanket insulation for high levels of energy efficiency. Panels are available in lengths up to 50 feet, which minimizes end lap conditions. The entire roof is a single membrane allowing for quick construction and strength at a lower cost. SSR's patented ridge system and unique panel design provides a long-lasting, weather-resistant roof.

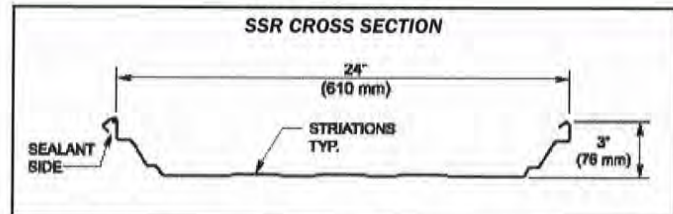
Varco Pruden Buildings meets the highest standards and certifications in the industry, including IAS and Miami-Dade County, Florida Product Approvals.

For information about this or any other VP product or service, contact your local authorized VP Builder.



FEATURES

- Economical
- Field-seamed weather-resistant joint
- Roof slopes as low as 1/4" in 12"
- UL 90 wind uplift rating available
- 24" coverage
- FM Class 1-60, 1-90 and 1-120 ratings available
- Lengths up to 50'-0"



NOTE: ALL PANELS FORMED FROM LIGHT GAUGE METAL MAY EXHIBIT WAVINESS, ALSO KNOWN AS "OIL CANNING," COMMONLY OCCURRING IN, BUT NOT RESTRICTED TO, FLAT PORTIONS OF A PANEL. THIS INHERENT CHARACTERISTIC IS NOT A DEFECT OF MATERIAL OR MANUFACTURING AND IS NOT CAUSE FOR REJECTION.



2063 Revised 6/11 5M PSI
 Varco Pruden Buildings, 3200 Players Club Circle, Memphis, TN 38125
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 Find your independent Authorized VP Builder at www.vp.com



STANDARD WALL, TRIM & ROOF COLORS

WALL PROFILES: PANEL RIB WALL, RPR & VEE RIB • ROOF PROFILES: SSR, HWR & PANEL RIB ROOF

Cool Arctic White



Cool Cotton White



Cool Egyptian White



Cool Sierra Tan



Cool Granite Gray



Cool Zinc Gray



Cool Straw Gold



Cool Dark Bronze



Cool Colonial Red



Cool Hemlock Green



Cool Leaf Green



Cool Bermuda Green



Cool Cobalt Blue



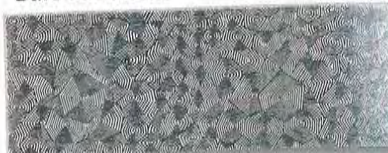
Cool Imperial Blue



Cool Ebony (trim only)



Bare Galvalume*



* Available for liners, SSR & Panel Rib Roof

Colors available for Tech Four, ImpresaClad, ThermalClad insulated and Tuffwall insulated panels are shown on the product information cards. See the SLR II Color selection card, item # 6020 for available colors. See the TextureClad Color selection card, item # 6023 for available colors

This card provides an approximation of actual paint colors and Galvalume appearance. Variations may occur between sample materials and finished product. For actual paint color, ask for a metal sample chip.

Long-Term Beauty, Unmatched Protection and Superior Quality – You Get All Three

PAINT FINISHES

Varco Pruden uses high quality paint systems designed to provide long-term performance and protection. Each coating is formulated with thoroughly researched, tested and field proven pre treatments, primers, resins and pigments that can meet your design and performance requirements. All colors shown approximate actual paint colors as accurately as possible. Actual paint colors may vary. Colors in this guide are for reference only. VP Buildings reserves the right to change color offerings shown here without notice. Metal samples with paint are available.

VP's KXL™ FINISH on Hot Dipped Galvanized & Galvalume® Panels

This paint system combines ceramic pigmentation with polyvinylidene fluoride for superior, long-lasting performance. PVDF finishes are respected for their durability, resistance and color retention. Our KXL finishes are warranted for up to 25 years.

70% PVDF finishes meet both Kynar 500 and Hylar 5000 specifications. Kynar 500® is a registered trademark of Arkema. Hylar 5000® is a registered trademark of Solvay Solexis. Galvalume® is a registered trademark of BIEC International, Inc.

Note: All panels formed from light gauge metal may exhibit waviness, also known as "Oil Canning," commonly occurring in, but not restricted to, flat portions of a panel. This inherent characteristic is not a defect of material and is not cause for rejection

VP's KXL paint finishes are formulated to meet owners and specifiers needs for "Cool Roof" applications including LEED certified and Title 24 projects. Please refer to the information chart for Solar Reflectivity Values, Emissivity ratings and calculated Solar Reflectivity Index. Low slope values apply to roof slopes 2:12 or lower; Steep slope applies to roof pitches greater than 2:12.

PHYSICAL AND PERFORMANCE PROPERTIES

Specular Gloss at 60	ASTM D 523 ⁽¹⁾	Typical: 20-35
Pencil Hardness	ASTM D 3363	HB to 2H
T-Bend	ASTM D 4145	DT to 3T ⁽²⁾ No loss of adhesion
Cross Hatch Adhesion	ASTM D 3359	No loss of adhesion
Reverse Impact	ASTM D 2794	HDG or Galvalume: 3x metal thickness inch-pounds, no loss of adhesion
Humidity Resistance 100% RH 2,000 hours	ASTM D 2247	HDG or Galvalume: No field blisters
Salt Spray Resistance 2,000 hours	ASTM B 117	HDG or Galvalume: creep from scribe no more than 1/16" (2mm) no blisters
South Florida Exposure	ASTM D 2244 ASTM D 4214	Color: No more than 5ΔE Hunter units at 25 years Chalk: Rating no less than 8 at 25 years. Film integrity: 30 years
Flame Test	ASTM E 84	Class A coating
Water Immersion 500* Hours 110F	ASTM D 870	No loss of adhesion
Drew Cycle Weatherometer 1000 Hours	ASTM D 3361	Color change: No more than 5Δ Hunter units. Chalk: Rating no less than 8
Abrasion Resistance	ASTM D 968 Method A	65 +/- 10 liters

1. American Society for Testing and Materials. 2. KXL is not designed to bridge cracks in the substrate. Due to variability of heavy gauge and HDG metal, some fracturing or rupturing of the substrate is possible with subsequent rupturing of the coatings.

COOL ROOF INFORMATION – Consult specifier or agencies to meet specific requirements

Solar Reflective Analysis as of December 2009 ASTM - E-903, C-1549, C-1371, E-1980					LEED 3.0 Low Slope	LEED 3.0 Steep Slope	Energy Star Low Slope	Energy Star Steep Slope
VP's COLOR FINISH NAME WITH COLOR CODE	Initial SRV	Radiative Emissivity	Results SRI*	Minimum 78 SRI	Minimum 29 SRI	Minimum .65 SRV	Minimum .25 SRV	
Bare Galvalume	none	.68	.10	56	NO	YES	YES	YES
Cool Arctic White	451R810	.63	.86	75	NO	YES	NO	YES
Cool Bermuda Green	455R1101	.29	.87	29	NO	YES	NO	YES
Cool Cobalt Blue	456R1384	.30	.86	30	NO	YES	NO	YES
Cool Colonial Red	454R1016	.33	.87	35	NO	YES	NO	YES
Cool Cotton White	451R838	.75	.87	92	YES	YES	YES	YES
Cool Dark Bronze	457R1089	.34	.87	36	NO	YES	NO	YES
Cool Ebony (Trim Only)	458R645	.30	.85	30	NO	YES	NO	YES
Cool Egyptian White	451R809	.63	.86	75	NO	YES	NO	YES
Cool Granite Gray	452R1633	.54	.87	63	NO	YES	NO	YES
Cool Hemlock Green	455R1102	.30	.86	30	NO	YES	NO	YES
Cool Imperial Blue	456R21385	.30	.85	30	NO	YES	NO	YES
Cool Leaf Green	455R1198	.29	.86	29	NO	YES	NO	YES
Cool Sierra Tan	453R1154	.50	.87	57	NO	YES	NO	YES
Cool Straw Gold	453R1160	.60	.86	71	NO	YES	NO	YES
Cool Zinc Gray	452R1583	.36	.87	39	NO	YES	NO	YES

* Solar Reflectivity Index includes Solar Reflectivity Values and Emissivity calculations. Values are for initial installation.



6021 Revised 10/10
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DOOLEY'S
TRUCK SHOP

Our (Stieg) concerns of the proposed large truck sales and repair business on the 101 Farm.

So what is a good use for this property as well as the 80 acres to the north? These are our ideas based on our history of the area and what I know of the future plans for this general area.

THE LOCATION

Hwy #117 / Dayton Parkway / I 94 will be within one half mile of this area. Sewer is already on the property.

A land speculator has purchased the 80 acres to the north – used car lots???

– Hwy 101, a narrow 2 lane road with very heavy traffic

.Dayton Parkway (Brockton Interchange) will add a lot to the already mess

No shoulders – think breakdowns

Big backups already

Two large new housing developments already within ½ mile. 900 homes

SOUNDS TRAVEL

Truck motor braking, sounds travel a long ways

Truck repair and sales

Brooklyn Blvd. West???

Rogers has turnkey sites

Humvee

Others along freeway

KOA

Right across the road

Be a good neighbor (why would M.G. want to give water to a business that would cause them angst?)

“Play nice in the sandbox!”

80 ACRES BORDERING TO THE NORTH

Land speculator just waiting to sell

Think used car lots, etc.

Think Brooklyn Blvd.

NATURAL RESOURCES

Large percentage wetland and flood plain and trees

Will the water really stay on the property?

The only outlet flows onto and through most of the Stieg farm - a very small ditch

Very large trees

SUMMATION

Is this the best Corcoran can do for this land –

You will be setting a precedence for many acres and businesses to come.

Prime for such things as, office warehouse: pleasing frontage; office park

Companies that don't need frontage, but be very close to the freeway

It would be very, very difficult to have a do-over.

You have the ability and responsibility to do the right thing for all the reasons we've listed.

Think things through

"Don't fall in love with the first gal you meet!"

Our grandkids will curse us

Do you know of a more valuable tax base part for our city? A semi-truck sales and service lot??? That should pull in highly desirable businesses

This is an entrance to our city which should have a very colorful sign saying (You are entering the city of Corcoran) (or how about a used semi-truck lot!!!) This is where 4 cities meet. How does Corcoran stack Up???

This seems to call for a well thought out plan for this area or should it just "happen"

Please feel free to respond, positive or negative

Respectfully,

Dennis and Jan Stieg 763-420-3147



TO: Corcoran Planning Commission

FROM: Kendra Lindahl, Landform

DATE: August 27, 2020 for the September 3, 2020 Planning Commission Meeting

RE: **PUBLIC HEARING.** Conditional Use Permit to allow a new Accessory Building exceeding the maximum size allowed at 9226 Cain Road (PID 14-119-23-22-0004) (City File No. 20-026)

60-DAY REVIEW DEADLINE: October 5, 2020

1. Application Request

The applicant has requested approval of a conditional use permit to allow a 1,680 sq. ft. detached accessory building with 10-foot high sidewalls on this 20.28-acre site. A conditional use permit is required to allow a total of 5,165 sq. ft. of accessory building where 3,969 sq. ft. is the maximum area allowed in the Rural Residential zoning district.

2. Context

Zoning and Land Use

The property is guided Rural/Ag Residential on the Future Land Use Map and is zoned Rural Residential (RR). The property is located outside the Metropolitan Urban Service Area (MUSA).

Surrounding Properties

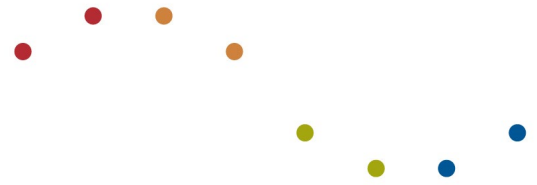
The surrounding properties are also guided Rural/Ag Residential and zoned Rural Residential.

Natural Characteristics of the Site

The Natural Resource Inventory Map identifies two streams and a wet prairie on the site.

The Parks and Trails map shows the east portion of the site in a Greenway Corridor and an on-road trail on Cain Road and on a possible future extension of 93rd Avenue.

The site has a number of natural resources identified by Hennepin County including a number of probable and potential wetlands on the eastern 2/3 of the site and the northwest portion of the site. There is also a stream (unnamed creek HENN_9251) in the northwest portion of the site that is subject to DNR buffer protection (a 50-foot buffer is required) and a stream on the east side of the site. No impacts are proposed.



The 2040 Roadway Functional Classification Map shows Cain Road as a Minor Collector and shows a possible future extension of 93rd Avenue (a minor collector) from Cain Road to County Road 116. If this street extension were constructed in the future, it could impact this property.

3. Analysis of Request

A. Level of City Discretion in Decision-Making

The City's discretion in approving or denying a conditional use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the conditional use permit.

B. Conditional Use Permit

The property currently contains one home and six accessory buildings, which total 5,165 sq. ft. The applicant indicates that some of the accessory buildings may be removed in the future but no removal is proposed with this application.

The applicant would remove existing trees where the new structure will be located and is not proposing any new landscaping with this project.

The building has a door with a covered porch and two standard garage doors on the elevation facing northeast toward the home and a single window on the southeast elevation.

The property is 20.28 acres and is permitted 19 animal units.

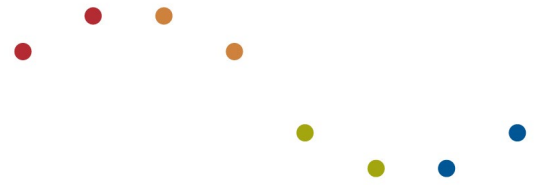
The applicant is proposing a new 1,680 sq. ft. accessory building primarily for storage of vehicles and recreational equipment. Section 1030.020, Subd. 4(G) of the Zoning Ordinance allows the landowner to request a CUP to exceed the limitations for building area on an accessory building if the following conditions are met:

- 1. The proposed use shall be in conformance with all City regulations.*

The building is located in the front yard, but complies with all setback requirements. However, staff notes that the survey shows a front yard setback of 148 feet measured from the centerline of Cain Road. The Zoning Ordinance requires the setback to be measured from the edge of street easement line. This reduces the front setback to 115 feet, which is well above the minimum 50-foot setback requirement.

The building is planned with steel roof and siding. The height of the wainscoting is not dimensioned on the plans, but staff estimates it at three feet high. The building has 2-foot overhangs and eaves, which meets the Zoning Ordinance standards.

The renderings show a white building with tan roof and wainscoting; however, the materials samples provided appear to be a tan building with brown accents. The applicant should clarify the proposed building colors for the Planning Commission.



Section 1060.050, Subd. 1(D) allows metal siding and roofing via a Certificate of Compliance if it meets the standards adopted by the Minnesota State Building Code and has been treated with a factory applied color coating system against any fading or degradation. The materials proposed by the applicant meet these standards.

2. *A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands and any recorded easements.*

A survey has been provided showing the existing structures, but the survey does not show the wetlands or streams on site. The City typically requires these items to be shown on the survey; however, it does not appear that the proposed structure will impact these areas and staff is comfortable with the survey as proposed. However, grading plan details will be required as outlined in the City Engineer's memo.

3. *Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.*

- a. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The proposed building complies with the goals of the Comprehensive Plan. The project maintains the rural character in this portion of the City. No public improvements are needed to support the project.

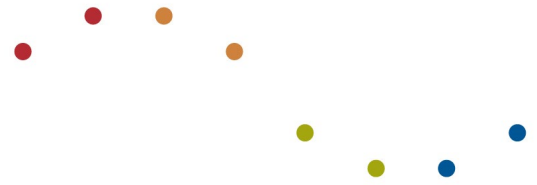
- b. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*

The establishment of the conditional use will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The additional building will allow for inside storage of materials that are currently stored outside and will comply with the building standards in the Zoning Ordinance.

- c. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The property is surrounded by other large residential lots, many of which have multiple or large accessory buildings.

- d. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*



The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The building is typical for a rural residential property in Corcoran and is developed in a manner similar to surrounding properties.

- e. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

No additional public facilities are required.

- f. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The conditional use conforms to the applicable regulations of the Rural Residential District.

- g. *The conditional use and site conforms to performance standards as specified by this Chapter.*

Staff has analyzed the performance standards of this Chapter and finds that the building conforms to other standards specified in the Zoning Ordinance.

- 4. *The building materials standards required by this Section have been met.*

The building materials standards in Section 1030.020 and 1060.050 have been met.

4. Conclusions

Staff has reviewed the plans with the applicable standards outlined in the Comprehensive Zoning Plan and Zoning Ordinance and finds that the standards for a CUP to exceed the allowable accessory building size and standards to allow metal siding and roofing have been met. Any outstanding issues that must be addressed have been included as conditions in the attached draft resolutions.

5. Recommendation

Move to recommend approval of the conditional use permit for an accessory building.

Attachments

- a. Resolution approving Conditional Use Permit
- b. Site Location Map
- c. Parks and Trails Map
- d. Engineer's memo dated August 27, 2020
- e. Applicant's Narrative dated July 14, 2020
- f. Survey received August 6, 2020
- g. Building plans received August 6, 2020

RESOLUTION NO. 2020-XX

Motion By:
Seconded By:

**APPROVAL OF A CONDITIONAL USE PERMIT FOR AN ACCESSORY BUILDING AT 9226
CAIN ROAD (PID 14-119-23-22-0004) (CITY FILE NO. 20-026)**

WHEREAS, Rick Emery is requesting approval of a conditional use permit to allow for the construction of an accessory building exceeding the maximum size allowed by ordinance on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission has reviewed the conditional use permit at a duly called public hearing and recommends approval.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request for a conditional use permit approval, subject to the following findings and conditions:

1. Approval is granted to allow for the construction of a new accessory structure as shown on application and plans received by the City on July 14, 2020 and additional information submitted on August 6, 2020, except as amended by this resolution.
2. The applicant shall comply with all conditions in the City Engineer's memo dated August 27, 2020.
3. A conditional use permit is approved to allow for a new 1,680 sq. ft. accessory building, which brings the total accessory building area to 5,165 sq. ft., where the maximum allowable area is 3,969 sq. ft., subject to the following findings:
 - a. The proposed use is in conformance with all City regulations.
 - b. The proposed building complies with the goals of the Comprehensive Plan. The project maintains the rural character in this portion of the City.
 - c. The establishment of the conditional use will not be detrimental to or endanger the public health, safety, morals or comfort of the community. The additional building will allow for inside storage of materials that are currently stored outside and will comply with the building standards in the Zoning Ordinance.
 - d. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The property is surrounded by other large residential lots, many of which have multiple or large accessory buildings.
 - e. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the

RESOLUTION NO. 2020-XX

district. The building is typical for a rural residential property in Corcoran and is developed in a manner similar to surrounding properties.

- f. Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use. No public facilities are required.
 - g. The conditional use conforms to the applicable regulations of the Rural Residential District.
 - h. The conditional use and site conforms to performance standards as specified by this Chapter. Staff has analyzed the performance standards of this Chapter and finds that the building conforms to other standards specified in the Zoning Code.
 - i. The building material standards in Section 1030.020 and 1060.050 of the Zoning Ordinance have been met.
4. A certificate of compliance to allow metal roof and siding on this accessory building addition is also approved as part of the CUP.
 5. The building is approved for residential accessory uses only. The property cannot be used for any commercial purposes.
 6. The landowner must comply with the animal regulations in Chapter 81 of the City Code, including fencing requirements, if animals will be brought on site.
 7. The property is not allowed to exceed the maximum number of animal units allowed by Chapter 81 of the City Code. Nineteen animal units are permitted on this site.
 8. A building permit is required prior to beginning construction.
 9. FURTHER, that the following conditions be met prior to issuance of building permits:
 - a. The applicant must provide final building material colors for staff review and approval prior to issuance of building permit.
 - b. The applicant/landowner must record the approving resolution at Hennepin County and provide proof of recording to the City.
 10. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and the required improvements.

RESOLUTION NO. 2020-XX

VOTING AYE

- Thomas, Ron
- Bottema, Jon
- Lother, Brian
- Anderson, Thomas
- Schultz, Alan

VOTING NAY

- Thomas, Ron
- Bottema, Jon
- Lother, Brian
- Anderson, Thomas
- Schultz, Alan

Whereupon, said Resolution is hereby declared adopted on this XXth day of September 2020.

Ron Thomas - Mayor

ATTEST:

Jessica Beise – Administrative Services Director

City Seal

RESOLUTION NO. 2020-XX

ATTACHMENT A

That part of the North Half of the Northwest Quarter of the Northeast Quarter of Section 14,
Township 119, Range 23, Hennepin County, Minnesota, except road.

Technical Memo



To: Kendra Lindahl, AICP, City Planner
From: Kent Torve, PE
Date: August 27, 2020
Subject: Emery CUP

Background

The purpose of this memorandum is to provide review comments on the application submitted for the Emery CUP.

Grading

A grading plan shall be submitted for City review and approval.

The grading plan shall include:

- Existing and proposed contours
- Building elevations
- Other related setbacks

Wetlands

- Proposed work does not require a wetland delineation assuming the grading impacts are above an elevation of 932.0

Escrow

- A grading and erosion control escrow in the amount of \$1,000 will be required to be submitted with the grading permit



Hennepin County Property Map

Date: 8/26/2020



PARCEL ID: 1411923220004

OWNER NAME: Rick D & Kay A Emery

PARCEL ADDRESS: 9226 Cain Rd, Corcoran MN 55340

PARCEL AREA: 19.78 acres, 861,658 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATA:

SALE CODE:

ASSESSED 2019, PAYABLE 2020

PROPERTY TYPE: Residential

HOMESTEAD: Homestead

MARKET VALUE: \$507,000

TAX TOTAL: \$7,452.38

ASSESSED 2020, PAYABLE 2021

PROPERTY TYPE: Residential

HOMESTEAD: Homestead

MARKET VALUE: \$528,000

Comments:

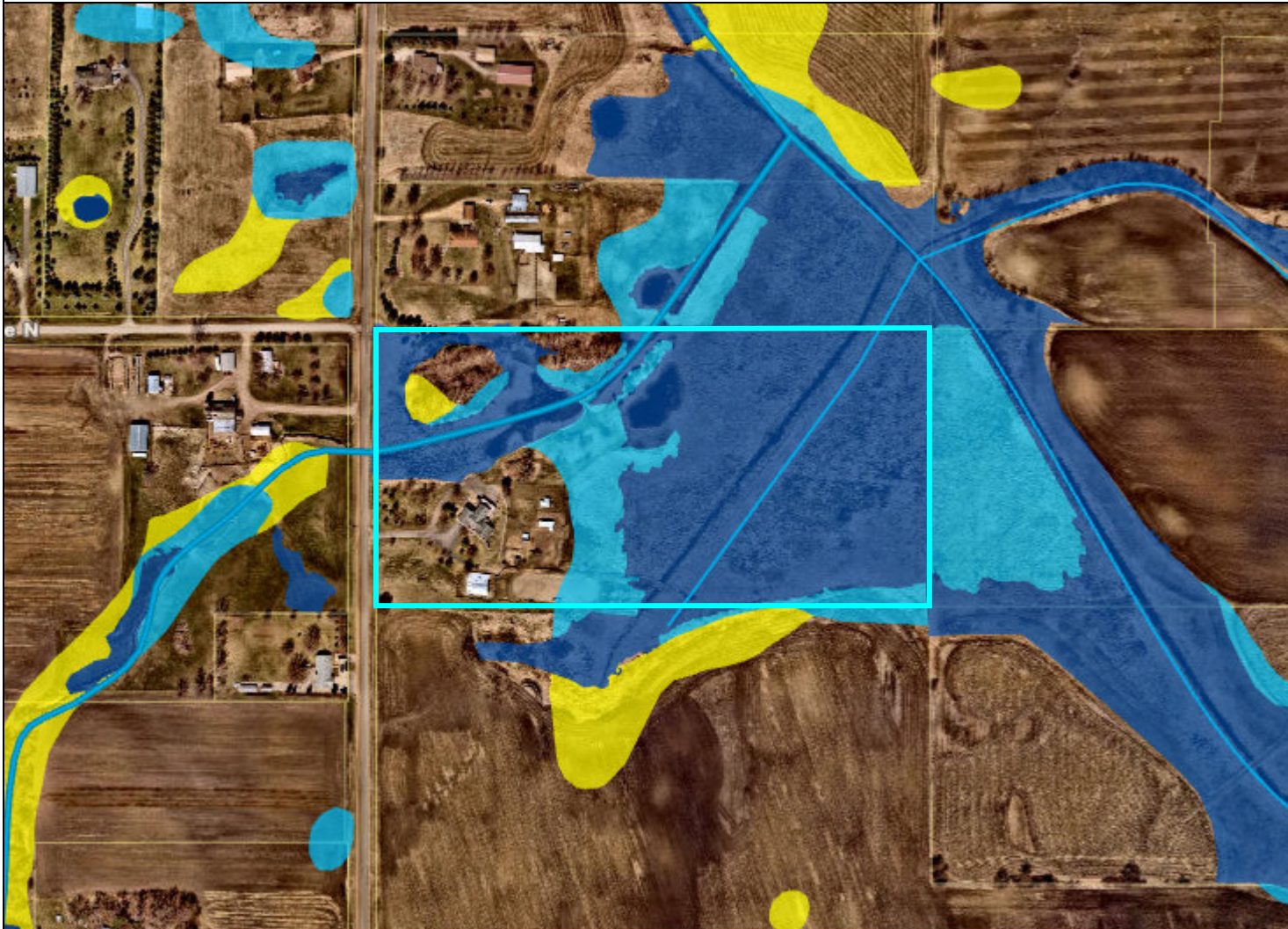
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Hennepin County Natural Resources Map

Date: 8/26/2020



Legend

— Streams

DNR Buffer Protection - Public Ditches

— Ditch (16.5 ft)

— Natural (50 ft)

Wetlands

— Potential Wetland - HCWI

— Probable Wetland - HCWI

— Probable Wetland - NWI

PID: 1411923220004
Address: 9226 CAIN RD,
CORCORAN
Owner Name: RICK D & KAY A EMERY
Acres: 19.78

Comments:

1 inch = 400 feet



This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

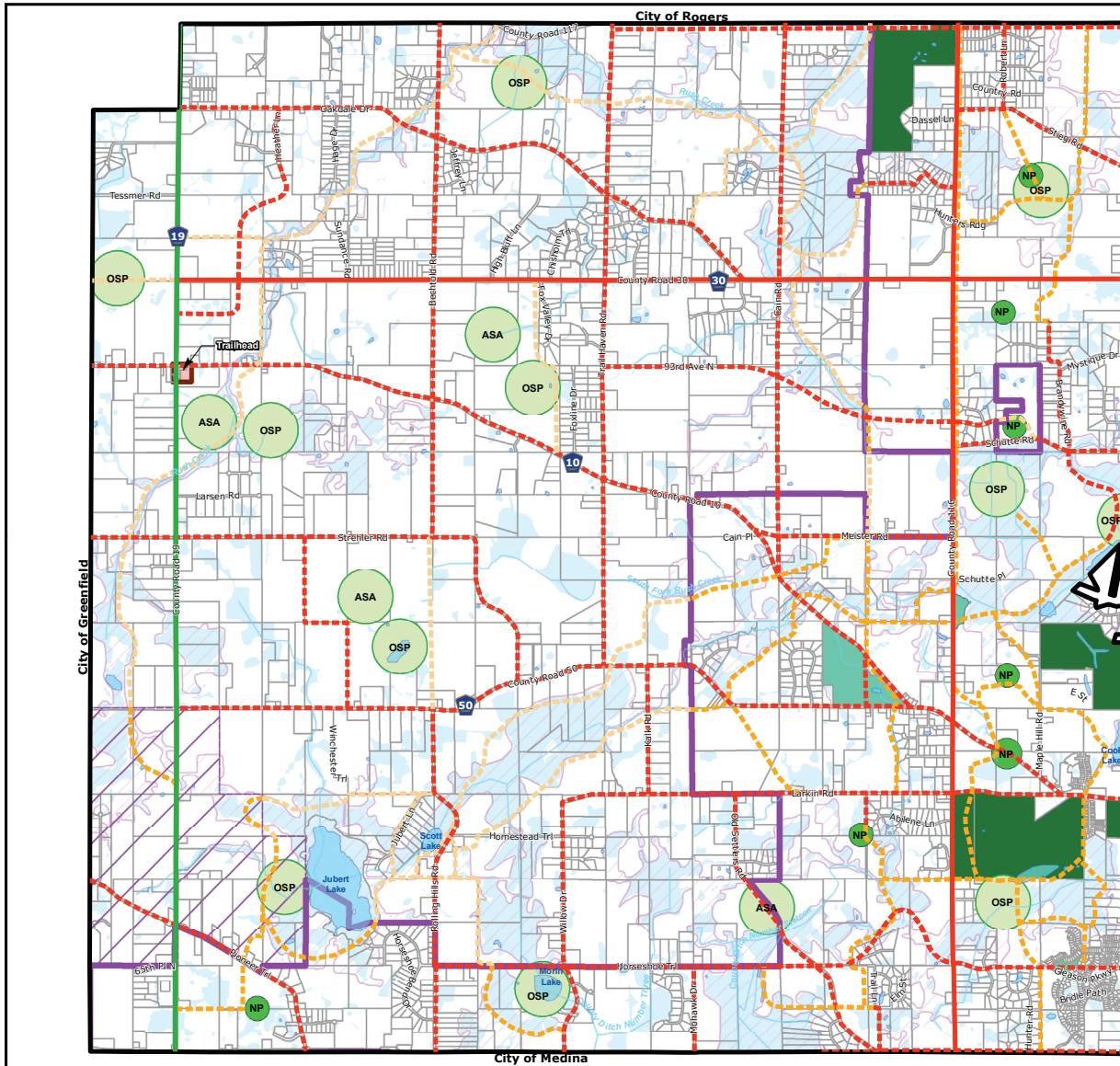
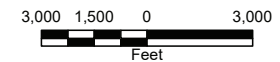
Map 5-1 Parks and Trails Plan

Existing Parks and Trails

- Regional Trail
- Existing On Road Trail
- City Park
- Trailhead
- Private Park/Open Space

Proposed Parks and Trails

- Proposed On Road Trail
- Proposed Off Road Trail
- Proposed Off Road Trail outside 2040 Development Area
- Neighborhood Park
- Community Park
- Greenway Corridor
- Municipal Boundaries
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands



Path: L:\2294\100\2040CompPlan\Parks and Trails Map.mxd
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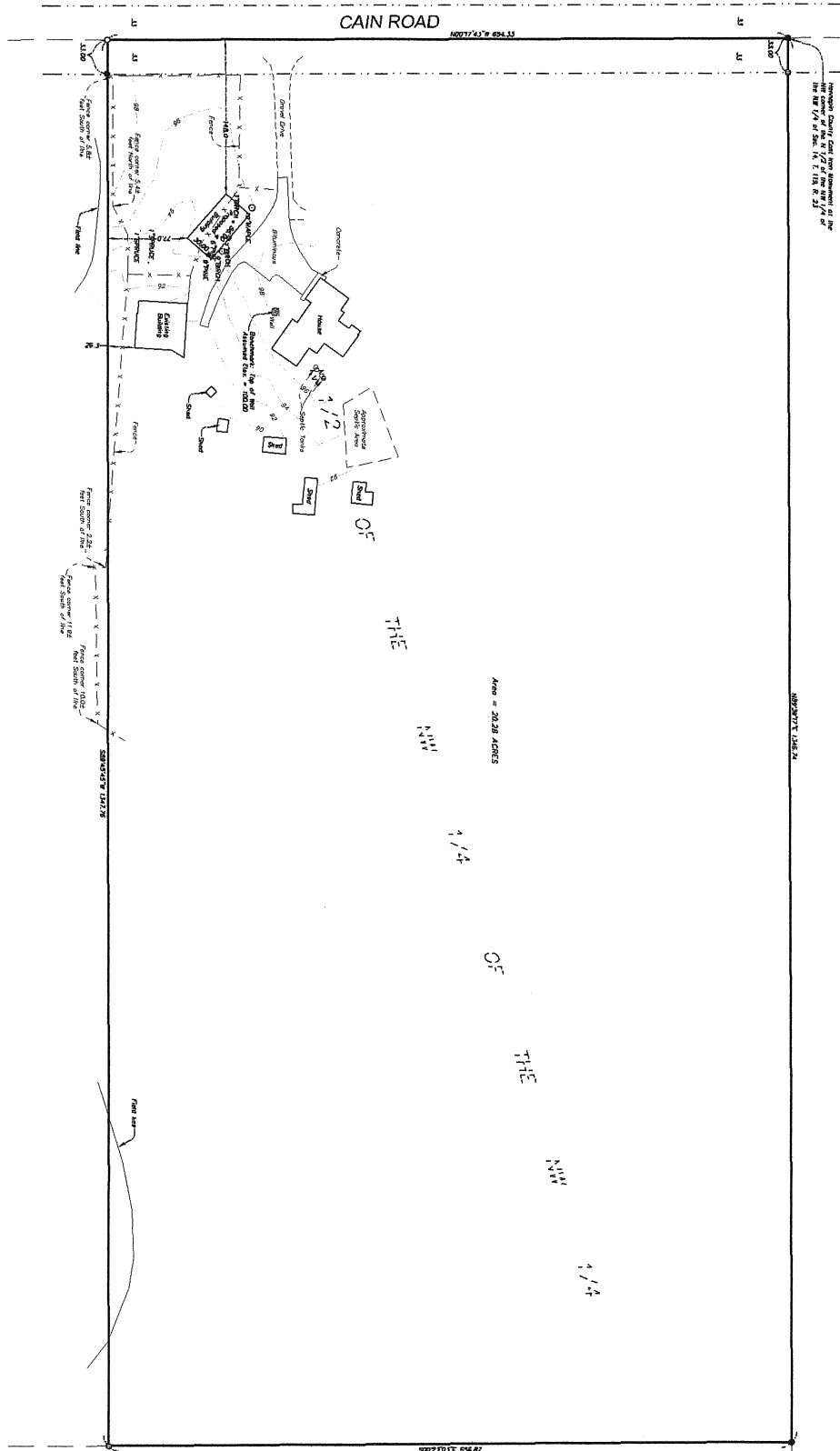
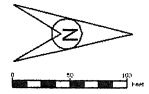
Rick Emery

Attachment

BUILDING DESCRIPTION:

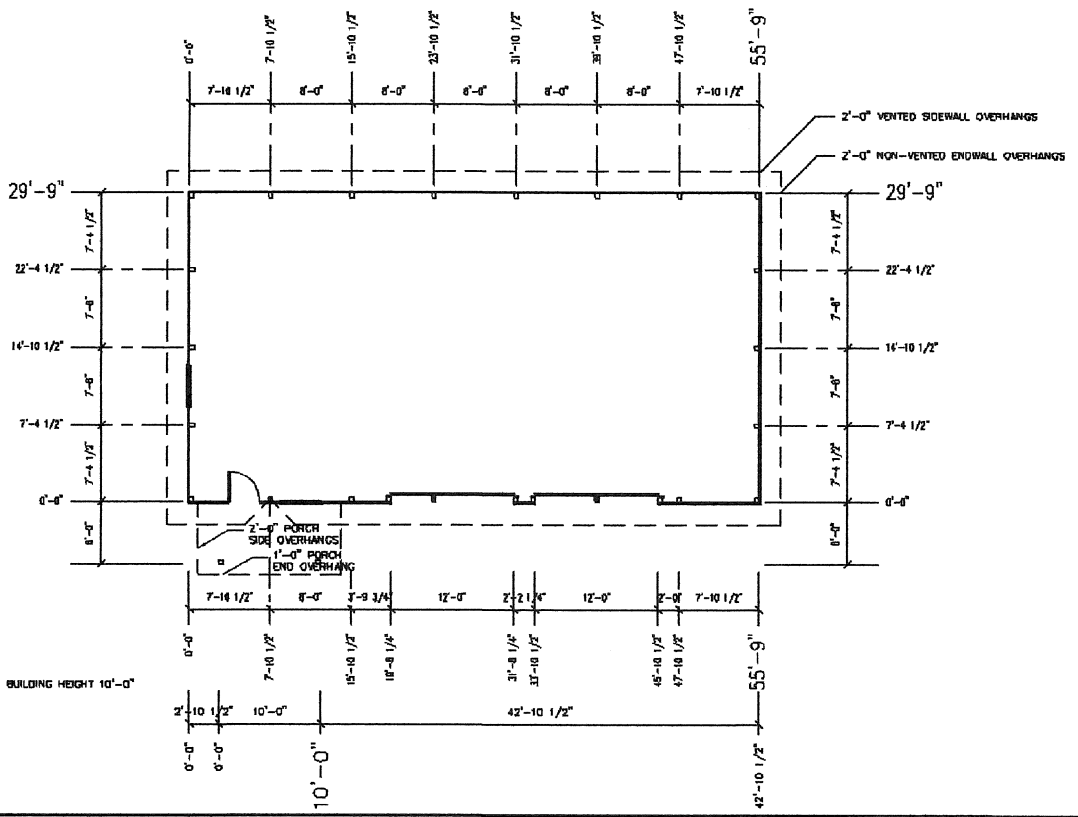
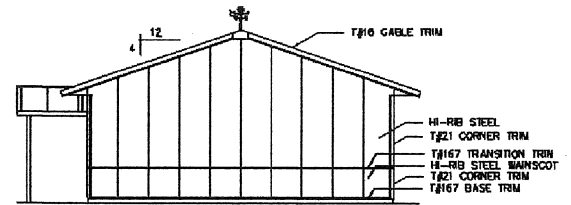
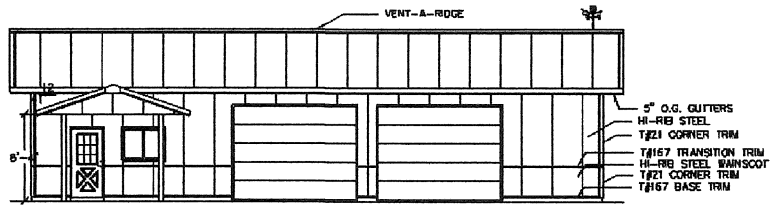
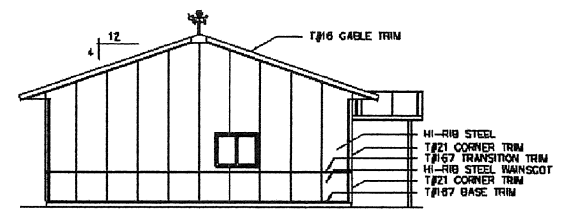
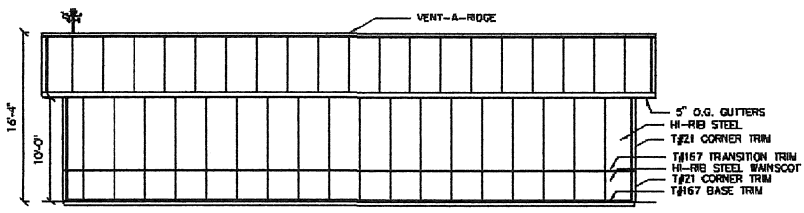
The proposed garage/storage building is for purposes of storing adaptive bikes and sports equipment, wheelchair lift van, and/or a car restoration project (parked outside and currently in pieces). The application is for a conditional use permit because our outbuilding square footage will exceed the maximum of 3969 square feet. (In a few short years we will remove a couple of those because our horse and remaining ponies are aged). The building will be 1680 square feet, making our total footage 5165. The current square footage is 3485.

Certificate of Survey & Topographic Survey



PROPERTY DESCRIPTION:
 That part of the North Half of the Northwest Quarter of the Northwest Quarter of Section 14, Township 119, Range 23, Hennepin County, Minnesota, except road.

Certificate of Survey on the N 1/2 of the NW 1/4 of the NW 1/4 of Section 14, Township 119, Range 23, Hennepin County, Minnesota. Revised:	I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. <i>Rick Emery</i> Rick E. Otto License #40062 Date: 8-3-20	Requested By: Date: 7-7-20	Drawn By: M.L.O.	Scale: 1" = 50'	Checked By: P.E.O.	www.ottoassociates.com 9 West Division Street St. Paul, MN 55313 (763)682-4727 Fax: (763)682-3622	• denotes iron monument found ○ denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062 Project No. 20-0349
	Rick Emery OTTO ASSOCIATES Engineers & Land Surveyors, Inc.					Project No. 20-0349	

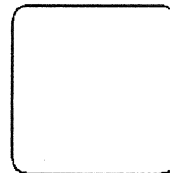


SUPPLEMENT TO FORM 86
 Owner's Signature: _____

Date: _____

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DATE:	_____
CHECKED BY:	_____
DATE:	_____
REVISED DATE:	_____
REVISED DATE:	_____
REVISED DATE:	_____
REVISED DATE:	_____



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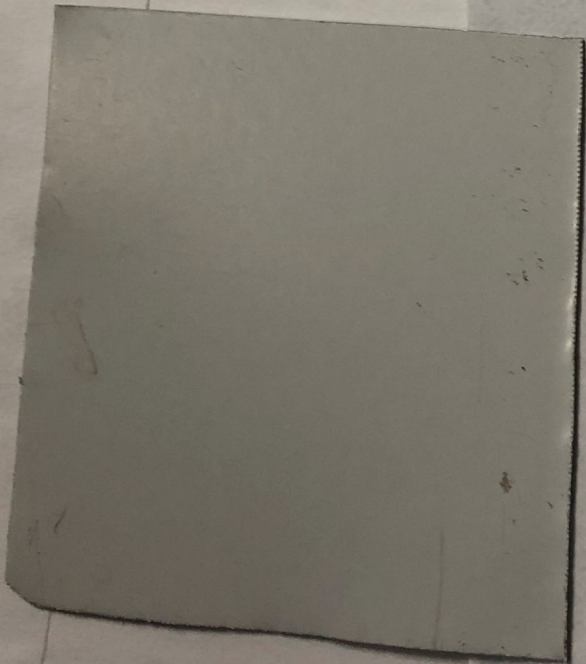
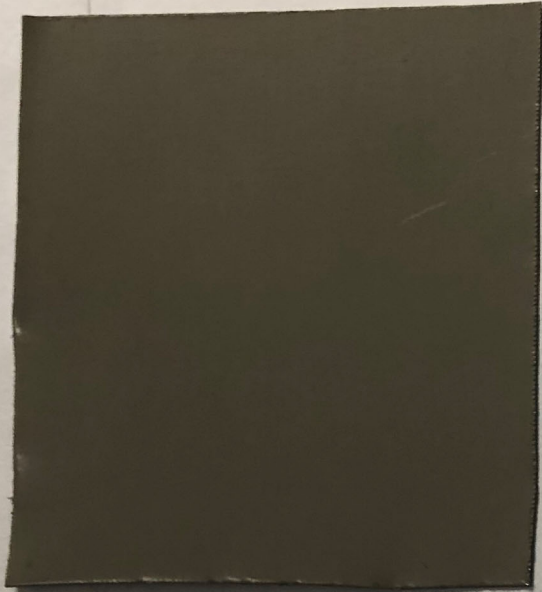
SIDING & ROOFING PANELS (FLUOROFLEX 1000™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.

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MEMORANDUM

DATE August 12, 2020

TO Brad Martens

CC City Council, Planning Commission, Parks & Trails Commission

FROM Kendra Lindahl, City Planner

RE Active Corcoran Planning Applications

Projects/Comments in blue italics are new

Project marked with an * have moved from active to approved

The following is a summary of project status for current, active projects:

1. **Encroachment agreement on 70th Avenue to provide access to PID 26-119-23-33-0001 (city file 20-021).** The property owner is planning to construct a new home on this vacant parcel. The existing 70th Avenue right-of-way extends to the property line but the road improvements stop short. The property owner will need an encroachment agreement to build a private driveway from the existing cul de sac over the unimproved right-of-way to the property line. Once the request is complete, it would be scheduled for Council approval.
2. **Site Plan, Conditional Use Permit and Variance for Nelson International at 10409 CR 101 (PID 01-119-23-41-0001) (city file no. 20-022).** The Council reviewed a concept plan for this site in January. The project is a new 35,000 sq. ft. building for truck sales and service. *The feasibility studies for the planned infrastructure were completed and the Planning Commission held a public hearing on August 6th. The Planning Commission tabled the item and requested that the applicant address the outstanding issues. The item is scheduled for the September 3rd Planning Commission meeting and the September 24th City Council meeting.*
3. **Eagle Brook Church Site Plan, Conditional Use Permit and Preliminary Plat for the Property located at 7015 20th Avenue (PID 36-119-23-44-0008, 36-119-23-44-0010, 36-119-23-44-0009, 36-119-23-44-0013, 36-119-23-44-0014) (city file no. 20-023).** The applicant is requesting approval to combine the existing parcels into one lot for a 70,000 square foot church and one outlot for future development. The application was reviewed at a public hearing at the July 2nd Planning Commission meeting and the applicant requested that this item be pulled from the July 23rd agenda so that they could evaluate possible changes. *The applicant has been meeting with concerned neighbors and submitted revised plans on August 10th. This item is scheduled for City Council action on August 27th.*
4. **Hochstedler request for a Conditional Use Permit at 21925 Oakdale Drive (PID 04-119-23-34-0006) (city file no. 20-025).** The applicant is requesting a CUP to add a 7,200 square foot agricultural building where a maximum of 3,969 square feet is permitted. *This item was reviewed at a public hearing at the August 6th Planning Commission meeting and City Council action is expected on August 27th.*
5. **Emery request for a Conditional Use Permit at 9226 Cain Road (PID 14-119-23-22-0004) (city file no. 20-026).** The applicant is requesting a CUP to add a 1,680 square foot building creating a total of 5,165 square feet where a maximum of 3,969 square feet is permitted. This item is being reviewed for completeness and is tentatively scheduled for a public hearing at the September Planning Commission and Council meetings.

6. Paulsen Farms Final Plat and Development Agreement for an OS&P Plat (PID 09-119-23-34-0001) (city file no. 20-027). *This item is now complete and is scheduled for City Council review on August 27th.*
7. **City-Initiated Ordinance Amendment Regarding Non-Residential Uses in Residential Districts (city file 20-028).** *The City Council asked staff to present options to consider changes to these standards. Staff presented options in the July 23rd Council meeting. The City Council directed staff to schedule a work session where the item could be discussed in more detail. The City Administrator has sent an email to Council members requesting feedback on availability on different dates to schedule the work session.*
8. **Conditional Home Occupation License for display for Sale Accessory Dwelling Units at 21000 Sunny Hill Lane (PID 10-119-23-42-0018) (city file 20-029).** *Nicole Beckstrand operates YardHomeMN in St. Paul, MN where they manufacture small homes (detached accessory dwelling units). She indicated in her narrative that she is unable to display the units in St. Paul and would like to display them at her home in Corcoran. Staff is reviewing the application for completeness and to determine whether this request is eligible to apply for a Conditional Home Occupation License. If it is complete and eligible for a CHOL, staff will schedule the item for a public hearing at the Planning Commission and City Council review.*

Also, there are several projects that have been approved, but are still not filed and closed out:

1. **Corcoran Business Park (City file 06-005).** The City Council granted a one-year extension to the final plat approval, which expired on April 12, 2011. Staff has spoken to the applicant and is still working to close out this project. Staff has spoken to the applicant and will schedule a meeting when more information is available on the Loretto sewer project.
2. **Hope Ministries Conditional Use Permit for Cemetery and Vacation of Drainage & Utility Easement at 19951 Oswald Farm Road (City file 12-002).** Hope Ministries submitted a request for a conditional use permit to allow a cemetery west of the existing church. The application was approved by the City Council on March 22nd and site work had begun. The letter of credit for site improvements has been released, but we are holding the escrow pending completion of the approved landscaping. The applicant has indicated that they are considering a site plan amendment application to modify the approved plans. Staff met again with Pastor Brian Lothar in July 2017 to discuss the outstanding issues and future expansion plans on the property.
3. **Sawgrass Preliminary Plat, Preliminary PUD Development Plan and Rezoning for Schendel property at 20400 County Road 10 (City file 14-027).** The City Council approved the request on December 11, 2014 and granted the applicant 2 years to apply for the final plat and final PUD development plan. Peachtree Partners did not buy the property, but a different developer could still proceed with the approved plan. Several extensions have been approved. The landowner is requesting another extension to the preliminary plat approval, which was previously granted extensions that expire in February. M/I Homes is proposing to take over the project with a few amendments to the proposed plan. Council reviewed the request at the February 27th meeting.
4. **Commercial Door Addition at 7670 Commerce Street (City file 15-010).** The City received an application for approval of a building addition, which required a conditional use permit, interim use permit, variance and site plan approval. The project was reviewed at a public hearing at the June 4th Planning Commission meeting and was approved by the City Council on June 25th. The required landscaping will be finalized and constructed after the downtown infrastructure project is completed. The City will release the remaining escrow when the planting is completed. Staff is working with the landowner to complete the outstanding items.
5. **Comlink Midwest Site Plan, CUP, Variance and Rezoning at 23405 CR 10 (City file 19-011).** The request is to allow construction of a contractor's yard in the Rural Commercial (CR) district over 3-5 years. Phase 1 is for the 20,000 square foot Utility Construction building. This item was reviewed at a public hearing at the July 9th Planning Commission and Council approved on July 25th meeting. The approval included changes to the building architecture were approved by the Council at the August 22nd meeting. The applicant has indicated that they have found a site in a different city and will be restoring this site and closing out the file.

6. **Wessel Property PUD Sketch Plan and EAW for 22020 Hackamore Road (PID 35-119-23-43-0001, 35-119-23-44-0001, 35-119-23-11-0001 and 35-119-23-12-0002) (City File 19-018).** The sketch plan was reviewed by the Council on September 26th and staff was directed to begin the Environmental Assessment Worksheet. The EAW was acted on by the Council in January 2020.
7. **Savoie Minor Subdivision at 21801 Homestead Trail (City file 19-021).** This two-lot subdivision is was approved by the Council on October 24th. The council had previously approved this subdivision, but the applicant let it expire and an extension was approved. The subdivision was approved on October 24, 2019.
8. **Sketch Plan for “Nelson International” at 10409 County Road 101 (city file 19-023).** The applicant submitted a sketch plan for an approximately 33,000-sq. ft. truck sales/repair operation. The Council reviewed this item on January 23rd.
9. **Park Dedication Ordinance Update (city file no. 20-004).** The park dedication fees are based on the comprehensive plan. The 2040 Comprehensive Plan was adopted in November and included some changes that require us to reevaluate our park dedication fee formula and make some minor edits to the ordinance. The Parks Commission will review on May 21st, the Planning Commission held a public hearing on June 4th and City Council approved on June 11th.
10. **Annual Ordinance Codification (city file no. 20-005).** Staff prepares and annual codification to incorporate all of the previous year’s ordinance amendments into the City Code. The new PDF of the Code is now complete and available at City Hall and online.
11. **Request for Variance, Preliminary and Final Plat for St. Jane Chantel cemetery (PID 21-119-23-33-0004) (city file no. 20-001).** Gene Kissner is requesting approval of a Preliminary Plat, Final Plat and Variance to subdivide the 3.76-acre St. Jane Chantel parcel owned by Church of St. Thomas the Apostle. The portion north of County Road 50 contains the cemetery and will be retained by the church and Kissners will purchase the portion south of County Road 50. The Planning Commission held a public hearing on March 5th and recommended approval. Council approved the request on March 26th.
12. **Bellwether 4th Final Plat and Final PUD (city file no.20-002).** Pulte Homes of Minnesota, LLC (applicant) has submitted a request for approval of a Final Plat and Final PUD plan application for “Bellwether 4th Addition”, a residential development of 74 new single-family homes and one outlot on 45.49 acres of property. The Planning Commission reviewed on March 5th and recommended approval. Council approved the request on March 26th.
13. **Zoning Map Changes (city file no. 20-003).** Minnesota statues require cities to update their zoning map to bring it into compliance with the comprehensive plan within 9 months of adoption. The 2040 Comprehensive Plan was adopted in November and these map amendments will ensure consistency. The Planning Commission held a public hearing on March 5th and recommended approval. Council approved the request on March 26th.
14. **Tessmer Topo/Wetland Waiver (PID 07-119-23-21-0002) (city file no.20-007).** The applicant is requesting a waiver of the topography and wetland delineation requirements for this parcel. This parcel will be platted with the property to the west for a small division, but no development is proposed for this parcel. Council approved the request on March 26th.
15. ***Corcoran Self Storage PUD Amendment (city file no. 20-009).** The applicant is requesting an amendment to the phasing plan for the project. Staff is currently reviewing the application for completeness, but it appears that the request *was* administratively approved.
16. **Vollrath request for Ag Preserve designation and initiate expiration for 42.09 acres of land south of County Road 50 (PID 29-119-23-24-0001) (City File 20-010).** The Council approved the request on March 26th.
17. **Paulsen Farms OSP Preliminary Plat (09-119-23-34-0001) (city file no. 20-011).** The applicant has submitted an Open Space & Preservation Plat for the 88 acres on County Road 30. The plat would

include 20 lots and preservation of 47 acres of open space. Staff is currently reviewing this application for completeness. The Planning Commission held a public hearing on May 7th, Parks and Trails Commission reviewed on May 21st and City Council approved on May 28th.

18. **M/I Homes Concept Plan for a modification of the approvals for “Sawgrass” on the 103-acre parcel at 20400 County Road 10 (PID 23-119-23-42-0003) (City file no. 20-012).** The Council approved an extension to the 2014 preliminary approvals so that the applicant could proceed with a final plat, final PUD development and PUD amendment. This concept plan is to outline the PUD amendments required for the new plan and ensure Council support before submitting a formal submittal. The Council was expected to review this item at their April 23rd meeting, but the applicant has withdrawn the application and will proceed with a formal final plat and final PUD application..
19. **Eagle Brook Church Concept Plan at the NW quadrant of Hackamore Road and County Road 101 (city file 20-013).** Eagle Brook Church has submitted a concept plan for a new church on this site. The City Engineer is completing a feasibility study. The Council reviewed the plan at the April 23rd meeting.
20. ***Corcoran Crossroads Administrative Permit and Variances at 7625 County Road 116 (city file 20-014).** The new owner of Corcoran Crossroads has applied for variances for expansion of the existing legal, non-conforming canopy structure and signs. *The application for the variances was reviewed at the July 2nd Planning Commission meeting and the City Council approved the request on July 23rd.*
21. **Laura Gibson has requested approval of a Special Home Occupation License at 7105 County Rd 19 (PID 30-119-23-31-0001) (city file 20-015).** The applicant is requesting an Administrative Permit for a Special Home Occupation License to operate a hair salon business. There will be no employees and up to 28 clients per week. Staff has reviewed and sent notices of intent to surrounding property owners. The application has been administratively approved.
22. ***Karineimi Addition Preliminary Plat at 6780 Rolling Hills Road and 6855 Willow Drive (PID 33-119-23-22-0004 and 33-119-23-21-0001) (City file 20-016).** The applicant has submitted a preliminary plat to create four lots from the newly created Lot 1, Block 1, Rolling Hills Acres and the adjacent 40 acres to the east. The 40-acre parcel have four development rights which will be used for the subdivision. The application was reviewed at a public hearing at the Planning Commission on June 4th and City Council approved the request on June 25th.
23. **Comprehensive Plan Amendment, Rezoning, Preliminary Plat and Preliminary PUD Development Plan for “Tavera” at the property at the northwest corner of Hackamore Road and County Road 116 (PID 35-119-23-44-0001, 35-119-23-11-0001, 35-119-23-12-0002, 35-119-23-41-0001 and 35-119-23-43-0001) (City File 20-017).** The applicant has submitted an application for development of 549 homes on the 273.57-acre site. The Council reviewed an EAW and Concept plan for the site earlier this year. The project includes a mix of single-family, villa, twinhome and townhome units. The phasing plan shows development in 8 phases. The application was reviewed by the Parks and Trails Commission on May 21st and a public hearing was held at the Planning Commission on June 4th. City Council approved the request on June 25th.
24. **Tabor Request for Metropolitan Agricultural Preserve Initiation of Expiration for 42.09 acres of land at 19450 Gleason Road (PID 36-119-23-12-0001) (City file 20-018).** The landowner is requesting expiration of the Agricultural Preserve designation effective immediately as allowed under the 2019 changes to Minnesota Statute. This item was approved at the May 28th Council meeting.
25. ***Conditional Use Permit and Variance for the Tom Spanier property located at 10580 Cain Road (PID 02-119-23-23-004) (city file no. 20-019) (City File 20-019).** The applicant has requested approval of a conditional use permit and variance for an accessory building. This project was reviewed and approved in 2015 and was never built. The approvals expired after one year on November 23, 2016. The applicant is now ready to move forward with the project and is requesting approval again with no changes. The application was reviewed at a public hearing at the Planning Commission on June 4th and City Council approved the request on June 25th.

26. ***Sign Variance for the Marathon/Tom Thumb at 9350 County Road (PID 07-119-23-43-0004) (City File 20-020)**. The applicant has submitted a variance application to allow the number of and square footage of freestanding and wall signage to exceed what is allowed by ordinance. The application is was reviewed at the Planning Commission on July 2nd *and City Council approved the request on July 23rd*.

27. ***Final PUD Development Plan, Final Plat and Easement Vacation for “Bellwether 5th Addition” (Outlot A, Bellwether 4th Addition) (city file no. 20-024)**. Pulte Homes of Minnesota, LLC has submitted a request for approval of a Final Plat and Final PUD plan application for “Bellwether 5th Addition”, a residential development of 46 new single-family homes and one outlot on 18.43 acres of property. The application includes vacation of the existing drainage and utility easement over the outlot. The application was reviewed by the Parks and Trails Commission review on June 18th, Planning Commission on July 2nd and *Council approved the request on July 23rd*.



CITY OF CORCORAN

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MEMO

Meeting Date: September 3, 2020
 To: Planning Commission
 From: Brad Martens, City Administrator
 Re: City Council Report

The Planning Commission last met on August 6, 2020. The following is a recap of some of the items discussed at City Council meetings since that time. A full recap can be found by reviewing the approved City Council minutes on the website

August 13, 2020 Council Meeting

- Liquor License Fee Review
 - Approved the reduced fee for the 2020-2021 licensing calendar
- Body Camera Policy Public Hearing and Adoption
 - Held the public comment hearing; authorized staff to implement the policy and purchase equipment as presented
- CARES Act Funding Goals
 - Directed staff to develop a fund use plan to support internal operations
- Unreserved Fund Balance Policy
 - Reviewed the current policy; Council took no action to change the policy
- Bond Refunding and Call Opportunities
 - Directed staff to proceed with the bond refunding and call opportunities as presented; estimated savings to the City is over \$400,000
- 2021 Capital Improvement Plan Purchases
 - Approved the purchases as presented
- Code Enforcement Update
 - Heard an update on active code enforcement activities

- Pandemic Response Update
 - Matt and Brad provided an update to the Council
- Charter Commission Update
 - Informed the Council that the Charter Commission will be considering a ward system for the 2022 election at their upcoming meeting;
- Work session
 - Scheduled a work session to discuss residential zoning district regulations

August 27, 2020 Council Meeting

- Final Plat for Paulsen Farms
 - Approved the final plat to allow 20 single family lots near County Road 30 and Bechtold Road
- Concept Plan – Cook Lake Corcoran
 - Reviewed a concept for a proposed development at 19220 County Road 10 with two four-story buildings (one senior condo, one market rate apartments), a daycare, and memory care facility; Council provided feedback to the applicant
- Eagle Brook Church
 - This item was pulled from the agenda per the request of the applicant due to the entire Council not being present; to be considered at the September 24th meeting
- Bond Refunding Series 2020B; Prepayment and Redemption of Bond Series 2014A
 - Approved the refunding and prepayment resolutions as presented; estimated savings to the City is over \$400,000
- Short-Term Full-Time Police Officer
 - Directed staff to hold an internal process for the position and authorized the City Administrator to appoint the selected candidate
- Closed Session – Southeast Watermain Easement Acquisition
 - Held the closed session; authorized the Mayor and staff to finalize and execute easement agreements for the Southeast Watermain project as outlined
- Pandemic Response Update
 - Staff provided an update on the ongoing pandemic response

Attachments:

None